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DESIGN ACCESS STATEMENT: - PROPOSED SAFETY HANDRAIL AT ROOF LEVEL

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1.0 INTRODUCTION

This Planning, Design & Access Statement has been prepared on behalf of our client, 106 Fitzjohn's Avenue Management Limited, in respect of providing a safety handrail to the flat roof area surrounding the raised water tank housings at roof level.

The application is for the installation of a rigid key clamp type modular galvanised tube safety handrail system, securely fixed and erected at roof level. It will provide a necessary edge protection safety guard rail for the regular maintenance required to the water tanks.

For reference the building 106 Fitzjohn's Avenue is scheduled to undergo external decorations, repair and maintenance to its external fabric.

2.0 NATIONAL PLANNING POLICY FRAMEWORK

- 2.1 Pursuant to section 38(6) of the Planning and Compulsory Purchase Act 2004, applications for planning permission must be determined in accordance with the development plan, unless material considerations indicate otherwise. The NPPF is a material consideration. It was published in March 2012 and constitutes guidance for local planning authorities and decision makers.
- 2.2 Section 12 of the NPPF deals with conserving and enhancing the historic environment, in paragraphs 126 to 141. The NPPF places much emphasis on heritage "significance", which it defines as:

"The value of a heritage asset to this and future generations because of its heritage interest. That interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset's physical presence, but also from its setting."

- 2.3 Paragraph 128 of the NPPF requires applicants to describe the significance of any heritage assets affected by a proposal, including the contribution of their setting, to a proportionate level of detail. Setting is defined as;

"The surroundings in which an asset is experienced. All heritage assets have a setting, irrespective of the form in which they survive and whether they are designated or not. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance, or may be neutral."

- 2.4 Paragraph 129 of the NPPF requires essentially the same approach from local planning authorities: to identify and assess the "particular significance" of any heritage asset, against which the impacts of a proposal are to be assessed. The same paragraph highlights taking measures to avoid or minimise conflict between a heritage asset's conservation and any aspect of a proposal.

- 2.5 Paragraph 132 applies specifically to designated heritage assets, such as listed buildings and conservation areas. According to this paragraph, when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation. The more important the asset, the greater the weight should be. Significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting. 106 Fitzjohn's is not a listed building and in this instance, whilst there will be a slight alteration with the handrail proposal at roof level, such an inclusion will not harm or detract from the heritage asset of this property.

- 2.6 Paragraph 133 deals with substantial harm to or total loss of significance, of a designated heritage asset. In this instance the handrail proposal at roof level would not cause substantial harm to, or total loss of significance, to this property.

The London Plan (2016)

- 2.7. The London Plan (2016) is the overall strategic plan for London and it forms part of the development plan for Greater London.
- 2.8 Policy 7.8 seeks to ensure that heritage assets are valued, conserved, restored and reused. All development affecting the significance of heritage assets should be sympathetic in terms of scale, form, materials and architectural detailing.

Local Development Plan Camden Local Plan (2017)

- 2.9 The Camden Local Plan was published in 2017 and sets out the Council's planning policies, replacing the Core Strategy and Development Policies planning documents which were adopted in 2010. The local plan sets out Camden Council's vision, objectives and spatial strategy for future development in the Borough up to 2031.
- 2.10 The relevant policies within the local plan are D1: Design, and D2: Heritage. The applicable parts of these policies have been reproduced below:

Policy D1 Design—*The Council will seek to secure high quality design in development. The Council will require that development:*

a. respects local context and character;

- b. *preserves or enhances the historic environment and heritage assets in accordance with Policy D2 Heritage;*
- c. *is sustainable in design and construction, incorporating best practice in resource management and climate change mitigation and adaptation;*
- d. *is of sustainable and durable construction and adaptable to different activities and land uses;*
- e. *comprises details and materials that are of high quality and complement the local character;*
- f. *integrates well with the surrounding streets and open spaces, improving movement through the site and wider area with direct, accessible and easily recognisable routes and contributes positively to the street frontage;*
- g. *is inclusive and accessible for all;*
- h. *promotes health;*
- i. *is secure and designed to minimise crime and antisocial behaviour;*
- j. *responds to natural features and preserves gardens and other open space;*
- k. *incorporates high quality landscape design (including public art, where appropriate) and maximises opportunities for greening for example through planting of trees and other soft landscaping;*
- l. *incorporates outdoor amenity space;*
- m. *preserves strategic and local views;*
- n. *for housing, provides a high standard of accommodation; and*
- o. *carefully integrates building services equipment.*

Policy D2 Heritage—*The Council will preserve and, where appropriate, enhance Camden’s rich and diverse heritage assets and their settings, including conservation areas, listed buildings, archaeological remains, scheduled ancient monuments and historic parks and gardens and locally listed heritage assets.*

Conservation areas are designated heritage assets. In order to maintain the character of Camden’s conservation areas, the Council will take account of conservation area statements, appraisals and management strategies when assessing applications within conservation areas.

The Council will: require that development within conservation areas preserves or, where possible, enhances the character or appearance of the area; resist the total or substantial demolition of an unlisted building that makes a positive contribution to the character or appearance of a conservation area; resist development outside of a conservation area that causes harm to the character or appearance of that conservation area; and preserve trees and garden spaces which contribute to the character and appearance of a conservation area or which provide a setting for Camden’s architectural heritage.

The Council will seek to protect other heritage assets including non-designated heritage assets (including those on and off the local list), Registered Parks and Gardens and London Squares. The effect of a proposal on the significance of a non-designated heritage asset will be weighed against the public benefits of the proposal, balancing the scale of any harm or loss and the significance of the heritage asset.

Camden Council Planning Guidance 1: Design (CPG.1), (updated March 2018).

- 2.11 Camden’s Planning Guidance 1: Design forms part of the Council’s supplementary planning documentation. The document notes that the addition of storeys or roof alterations are likely to be acceptable where:
 - i) *Alterations are architecturally sympathetic to the age and character of the building and retain the overall integrity of the roof form*

This is contrasted with circumstances in which roof alteration of addition is likely to be unacceptable:

- i) *Where there is likely to be an adverse effect on the skyline, the appearance of the building or the surrounding street scene;*
- ii) *Buildings already higher than neighbouring properties where an additional storey would add significantly to the bulk or unbalance the architectural composition;*
- iii) *Buildings whose roof construction or form are unsuitable for roof additions such as shallow pitched roofs with eaves;*
- iv) *The building is designed as a complete composition where its architectural style would be undermined by any addition at roof level;*
- v) *Buildings are part of a group where differing heights add visual interest and where a roof extension would detract from this variety of form;*
- vi) *Where the scale and proportions of the building would be overwhelmed by additional extension.*

Fitzjohn's Netherhall Conservation Area Appraisal Statement (March 2001).

2.12 The conservation area statement was adopted in 2001. It provides a description of the conservation area, outlines the general issues facing the conservation area and identifies development pressures which were deemed to be of concern at the time of adoption.

2.13 The issues deemed to be of specific importance in preventing the erosion of significance within Fitzjohn's Netherhall Conservation Area—and of relevance to this application—have been outlined below:

Roof alterations—A feature of the architecture of the mid to late Victorian period is the visibility of the roof. Insensitive alterations can harm the character of the roofscape with poor materials, intrusive dormers, inappropriate windows, and in many instances there is no further possibility of alterations.

Design—Not all development has been successful in contributing to the character of the Conservation Area. Where development has not positively contributed to the character and appearance of the Conservation Area, it concerns:

- i) *the use of inappropriate materials;*
- ii) *inappropriate bulk, massing and / or height;*
- iii) *inappropriate signage;*
- iv) *impact upon views;*
- v) *possible impact upon soil stability.*

2.14 These issues have been noted and we believe that the introduction of a safety guard / handrail will not be harmful to the character of the building and has been taken into account when submitting this proposal.

3.0 LOCATION AND GENERAL DESCRIPTION

Number 106 Fitzjohn's Avenue is predominantly a residential road, which runs north to south from Hampstead to Swiss Cottage.

The Site is located within the Fitzjohn's Netherhall Conservation Area (FNCA), described as being *"dominated by Fitzjohn's Avenue running through the centre..."*, and this being a *"mature avenue ... [where the] generous width and length of the road and numerous detached houses make it the most prominent street of the area"*

The Site is easily accessible by public transport, within walking distance of Hampstead, Swiss Cottage and Belsize Park underground stations and Finchley Road & Frognal and Finchley Road overground stations. The nearest bus stops to the Site are located on Fitzjohn's Avenue and these primarily support local services. As a result, the Site has a Public Transport Accessibility Level (PTAL) of 4.

FITZJOHN'S NETHERHALL CONSERVATION AREA

- 3.1 The Fitzjohn's Netherhall Conservation Area was designated on the 1st of March 1984, and extended in 1988, 1991, and 2001 to form the current boundary. A majority of the conservation area falls within the original designation. The Conservation Area Appraisal and Management Strategy was completed in January 2001.
- 3.2 The conservation area sits on the southern slopes of Hampstead between Rosslyn Hill and Finchley Road, slightly below the hills of Hampstead village and heath. The street layout is dominated by Fitzjohn's Avenue, which runs through the centre of the conservation area with other major roads running parallel to both its east and west. The boundary of the conservation area is defined by Hampstead High Street on the western side, and Rosslyn Hill on the east.
- 3.3 Overall, the built character of the conservation area is largely of grand urban dwellings laid out with generous gardens and surrounded by the more densely organised areas of the Hampstead Village, Belsize Village, and Finchley Road.
- 3.4 The application site is located in the conservation area, which is centred around Fitzjohn's Avenue. The area was predominantly built over a ten-year period, from the late 1870s to the late 1880s, and marks the prevalent architectural and aesthetic styles and preoccupations of the late nineteenth-century.
- 3.5 The road layout resembles an organised grid, with Fitzjohn's Avenue on the north / south axis being the prime street in terms of grandeur, scale and length. The fact that Fitzjohn's Avenue runs through the heart of the conservation area means that views along the road will naturally command importance.
- 3.6 The architectural influences are the Queen Anne style and the Domestic Revival style, with an array of purple, orange, yellow and red brickwork both rubbed and carved, decorative ironwork, bargeboards and roof detailing on display. The impressive scale of the developments is a noticeable feature of their facades, with one grand detached house following another along the road. Building heights within the area are largely four / five storeys, with some including additional attic accommodation but this height varies with the roof slopes employed and the topography of the street.
- 3.7 Pevsner describes the area in his "The Buildings of England London 4: North series:"

"Whole streets of informal, picturesquely grouped red brick houses, relieved variously by terracotta ornament, tile-hanging and painted timber balconies and porches, were built around Fitzjohn's Avenue, and elsewhere, by the firm of Batterbury & Huxley ..."

- 3.8 Overall, the defining aspect of the conservation area's significance is the range of substantially scaled properties set within generous grounds. The built form of the street dates to a broadly similar period and are improved by the large mature trees and vegetation lining the wide streets. The combination of such components equates to an imposing streetscape with a distinctly suburban character.

HERITAGE SIGNIFICANCE AND SETTING

106 Fitzjohn's Avenue, Hampstead (Not listed) has Heritage Interests.

- 3.9 While the application building is not itself listed, it is considered to make a positive contribution to both the local streetscape and the FNCA more generally.
- 3.10 The property is of some heritage interest, being an example of a typical terraced domestic dwelling laid out in the latter part of the nineteenth century on a street displaying the full spectrum of late Victorian styles. Its primary expression of significance is in its principal street façade and its role as part of the wider street scene in views up and down Fitzjohn's Avenue.
- 3.11 The building's primary artistic/aesthetic value is in its street frontage, whilst the secondary rear elevation is much plainer and enclosed from public view by tree foliage and other buildings to the rear of the property.
- 3.12 The building is not known to possess any particular archaeological interest.
- 3.13 The conservation area is significant as a predominantly residential area with a range of building types mixing architectural styles which were prevalent during the late Victorian period. Some of the significant styles on display in the area include the Queen Anne style, the Domestic Revival, properties of Arts and Crafts form and the neo-Gothic.
- 3.14 It is this mixture of architectural taste alongside the use of certain materials such as yellow, red - orange bricks and terracotta detailing that gives the area such a sense of character. The grandeur of large swathes of the properties within the conservation area, and especially along Fitzjohn's Avenue, provides another source of significance.
- 3.15 Overall it is the combination of relatively well intact large properties dating to the late nineteenth century in a variety of styles, all of high design quality which provides the principal source of the conservation areas interest. The undulating topography and tree-lined grid of streets affording long views are also significant.
- 3.16 The Heritage Statement says that, in terms of the Conservation Area, *"...the defining aspect of the conservation area's significance is the range of substantially scaled properties set within generous grounds. The built form of the street [Fitzjohn's Avenue] dates to a broadly similar period and are improved by the large mature trees and vegetation lining the wide streets. The combination of such components equates to an imposing streetscape with a distinctly suburban character" (paragraph 51). The Heritage Statement goes on to say that, "overall it is the combination of relatively well intact large properties dating mainly date to the late nineteenth century in a variety of styles and all of high design quality which provides the principal source of the conservation areas interest. The undulating topography and tree-lined grid of streets affording long views are also significant" (paragraph 70).*

4.0 THE BUILDING

The property 106 Fitzjohn's Avenue consists of five storeys set as an end terrace to a block of three Victorian buildings, they all include a lower-ground basement. Primarily constructed of a soft yellow stock London brick in Flemish bond, which has discoloured over time. Painted stone arches and horizontal lintels are set above the door and window openings to the front elevation with matching soldier and header bricks above window and door openings to the side and rear elevations. It has pitched and hipped gable roofs, with inserted dormer windows to front and rear. There is an over-sailing decorative eaves clad in slate. All rainwater goods and stack pipes are cast iron. Within the middle part of the upper roof there is a flat area, where the insulated encased water tank housing is placed, which cannot be seen from street level.


The application site was developed alongside the other properties on Fitzjohn's Avenue during the decades following 1876, and the local area is rich in architectural prowess as a result, covering the full spectrum of architectural styles during that period.

While the application site is not listed, it lies within the Fitzjohn's Netherhall Conservation Area (FNCA) and is considered to make a positive contribution to the surrounding area. It conforms to the character of the locality in terms of its form, architectural style and plot size.

Given the location of the site and the nature of the proposed development, the introduction of a safety guard rail at roof level is small and inconsequential to the street scape of Fitzjohn's Avenue. This additional is purposefully designed to avoid harm to the significance of such designated heritage assets including their settings, proportions and articulation. In essence; no works will be carried out to the main building or its elevations, ensuring the parent building retains the setting of the designated heritage assets.

5.0 THE PROPOSAL AND PRODUCT

The application is for the installation of a rigid key clamp type modular galvanised tube safety handrail system, securely fixed and erected at roof level. It will provide a necessary edge protection safety guard rail for the regular maintenance required to the water tanks.

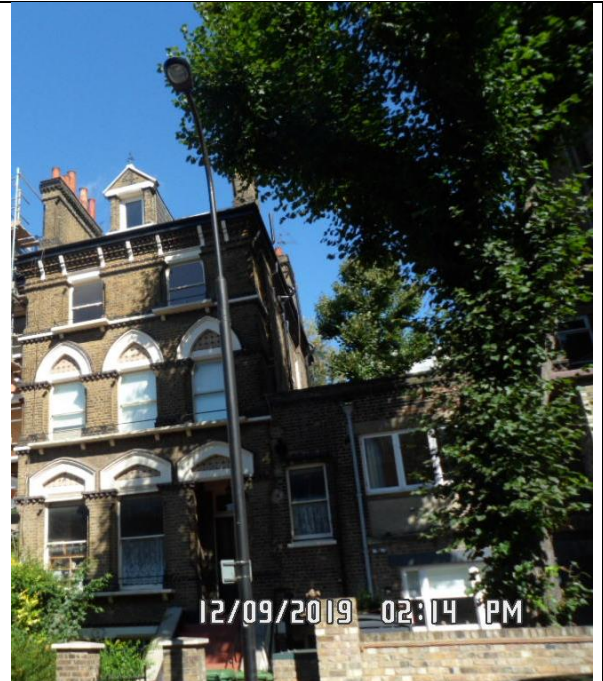
A sample of the roof guard handrail to be used.	Specification
	<p>A rigid key clamp type modular galvanised tube will be used to the upper flat roof part providing a necessary edge protection, around the elevated water tanks.</p> <p>The general size will be 2.6 m long to the front and rear elevations and 3,1 m long to the side elevation. The height will be 0.9 m</p>

The scale of this installation is small, and the appearance will be inconspicuous from the ground and street level. It will also balance the handrails installed to roofs 108 and 110 Fitzjohn's Avenue.

6.0 PHOTOGRAPHS OF BUILDING



FRONT ELEVATION 106 FITZJOHN'S AVENUE



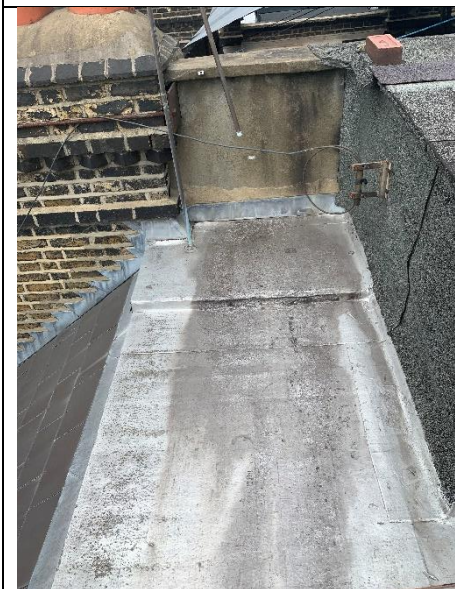
FRONT ELEVATION 106 FITZJOHN'S AVENUE



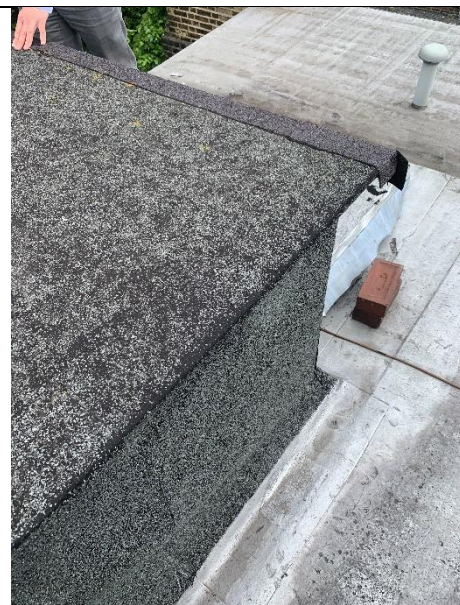
CORNER ELEVATION 106 FITZJOHN'S AVENUE



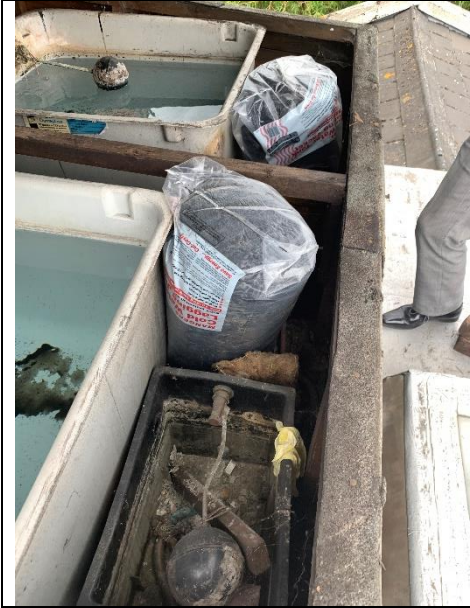



SIDE - REAR ELEVATION



UPPER FLAT ROOF WITH WATERTANK ENCLOSURE



UPPER FLAT ROOF WITH WATERTANK ENCLOSURE

	
<p>WATERTANK ENCLOSURE OPEN</p>	<p>WATERTANK ENCLOSURE CLOSED WITH TOP COVER</p>
	
<p>TOP OF ENCLOSURE OPEN AGAINST PARTY WALL</p>	<p>ACCESS HATCH TO FLAT ROOF AREA</p>

7.0 SUPPLIED INFORMATION

The supplied information is drawing based that record the proposed handrail superimposed and shown onto the existing plans and elevations. As follows

<p>DWG 01</p>	<p>Lewis Berkeley Limited</p>	<p>Sign Location Plan</p>
<p>DWG 02</p>	<p>Lewis Berkeley Limited</p>	<p>Front and Rear Elevations, Roof Plan and Roof Section.</p>
<p>P D & A</p>	<p>Lewis Berkeley Limited</p>	<p>Planning Design and Access Statement</p>

8.0 SUMMARY AND CONCLUSION

Fitzjohn's Avenue is a large unlisted end of terrace property built in the latter stages of the nineteenth century in an affluent London suburb. The building currently consists of five storeys, including a basement. It is primarily constructed of discoloured yellow stock bricks with painted stone arch detailing above the windows to the front elevation. It has an expansive shallow hipped roof covered in slate, with a front and rear projecting dormer window.

Maintenance and redecoration works are scheduled to be carried out to the property to the external fabric in line with the managements planned maintenance works.

The application is for the installation of a rigid key clamp type modular galvanised tube safety handrail system, securely fixed and erected at roof level. It will provide a necessary edge protection safety guard rail for the regular maintenance required to the water tanks.

While the property is not listed, it is considered to provide a positive contribution to both the streetscape and the FNCA more generally, falling within the conservation area as identified within the published conservation area appraisal and management plan (March 2001).

Local Plan Policy D2 guides development in Conservation Areas, reiterating national requirements that they must *"preserve, or where possible, enhance[s] the character and appearance of the area"*, adding that *LB Camden* "will take account of conservation area statements, appraisals and management strategies when assessing applications within conservation areas".

Considering the significance of the heritage assets and the ways in which they are currently experienced and appreciated, the design and installation of this proposal is such that when viewed from ground level the handrail will be inconspicuous to the eye.

In this sense the introduction of the guarding handrail, installed at roof level, will ensure all health and safety requirements for the maintenance of the roof water tanks will be in place.

End of Statement