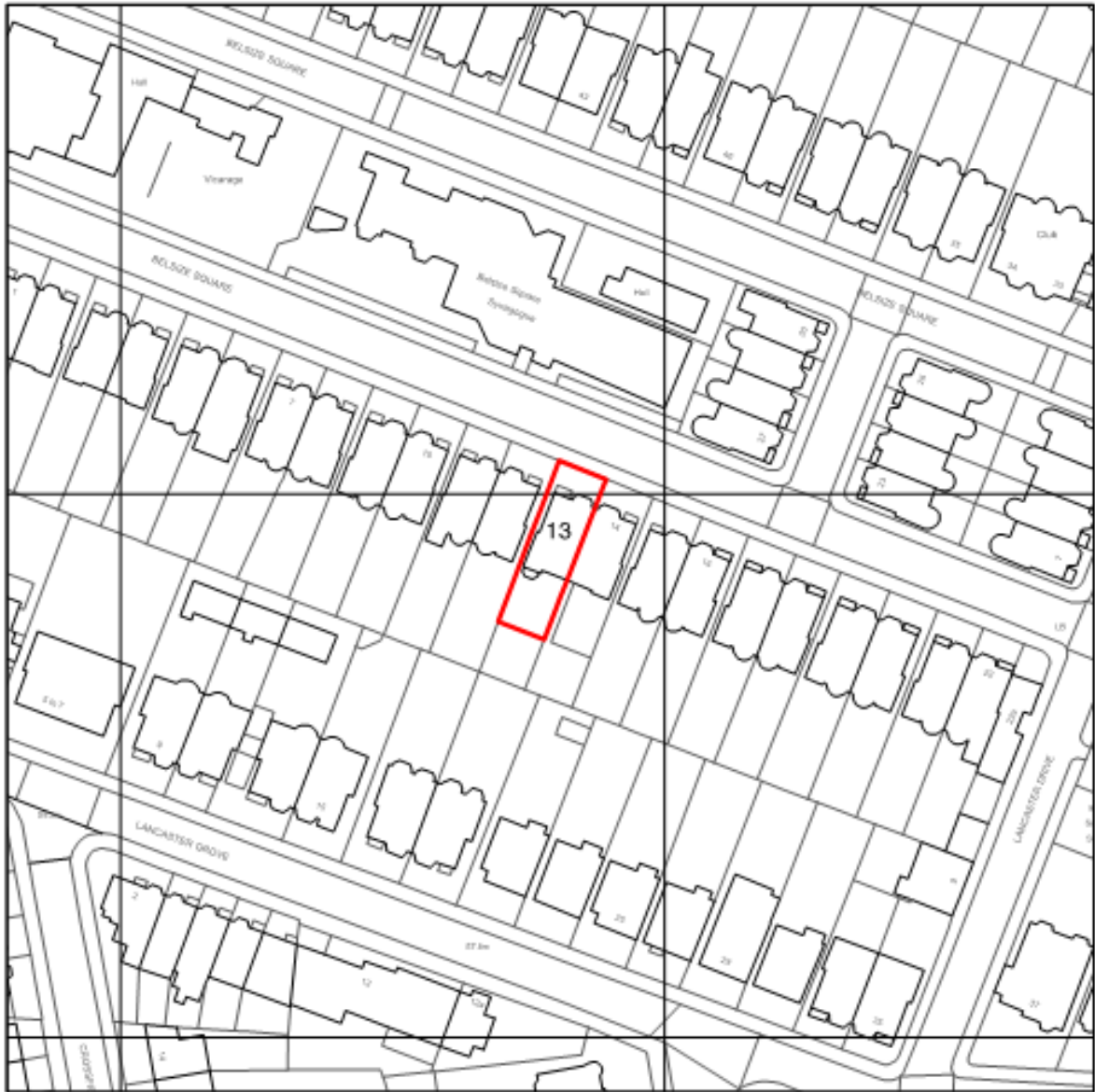



Flat 1, 13 Belsize Square NW3 4HT

2019/3404/P



Author	Date
For Planning	01/07/19

0 10 20 30 40 50m



Photos - Flat 1, 13 Belsize Square NW3 4HT



1. Front elevation



2. Close up lower ground front elevation



3. Rear elevation of dwelling



4. Birdseye view of the semi-detached villas, no. 13 Belsize Square with the irregular two storey bay window.

Delegated Report		Analysis sheet		Expiry Date:	27/09/2019
(Members Briefing)		N/A		Consultation Expiry Date:	02/09/2019
Officer			Application Number(s)		
Alyce Jeffery			2019/3404/P		
Application Address			Drawing Numbers		
Flat 1 13 Belsize Square London NW3 4HT			See draft decision notice		
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature		
Proposal(s)					
Replacement of the existing lower ground floor front and side elevation timber sash windows with double glazed timber sash windows, replacement of the existing lower ground floor timber windows and doors with metal double glazed windows and doors, removal of the peddle dash to the rear bay window for smooth render and associated external alterations.					
Recommendation(s):		Grant conditional planning permission			
Application Types:		Full Planning Permission			

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice			
Informatives:				
Consultations				
Adjoining Occupiers:	No. of responses	0	No. of objections	0
Summary of consultation responses:	<p>Site notice displayed from: 9/08/2019 until 2/09/2019 Press notice printed from: 8/08/2019 until 1/09/2019</p> <p>No representations received from the public.</p>			
<p>Belsize CAAC</p> <p><i>Officer response in italics</i></p>	<p>Belsize CAAC objects to use of metal material at the rear elevation and window glazing subdivisions.</p> <p><u><i>Officer response:</i></u></p> <p><i>See section on Design and Heritage</i></p>			
Belsize Residents Association	No response to date			

Site Description

The subject site is a 4-storey (plus roof accommodation) semi-detached villa converted into flats, this application relates to flat A, the lower ground floor flat. The building is located on the south side of Belsize Square, which is characterised by the repeated forms of stucco villas, whose design gives a strong sense of identity and unity of appearance to the area.

The villas along Belsize Square feature original two-storey curved bay windows to the rear elevation, however (due to either bomb damage or unauthorised removal) the subject dwelling does not feature the original bay windows, but a two-storey bay window on the outer edge instead of the inner edge to the rear elevation, which has been erected without planning permission.

The site is located within the Belsize Conservation Area and is noted as making a positive contribution to the special character and appearance of the Conservation Area.

Relevant History

8803942 – Conversion into six self-contained units. **Granted 08/03/1989.**

8803941 - Conversion into eight self-contained units. **Refused 25/01/1989.**

9200383 - Retention of timber storage shed in the rear garden. **Refused 11/06/1992.**

9201393 - Erection of a roof terrace within the rear roof slope. **Granted 15/04/1993.**

CTP/G7/16/13/18135 - Erection of a two storey rear extension. **Refused 02/04/1974.**

CTP/G7/16/13/16702 - Erection of an extension at roof level and the conversion of the attic at 13 Belsize Square, NW3 to a self-contained flat. **Conditional 30/08/1973.**

CTP/G7/16/13/15469 - Roof extension and attic conversion. **Refused 11/05/1973.**

Relevant policies

National Planning Policy Framework 2019

London Plan 2016

Camden Local Plan 2017

A1 Managing the impact of development

D1 Design

D2 Heritage

Other Planning Policies / Guidance

CPG Altering and extending your home (2019)

CPG Design (2019)

CPG Amenity (2018)

Belsize Conservation Area Statement

Assessment

1. Proposal

1.1. Planning permission is sought for replacement of the existing lower ground floor front and side elevation timber sash windows with double glazed timber sash windows, replacement of the existing lower ground floor timber windows and doors with metal double glazed windows and doors, removal of the peddle dash to the rear bay window for smooth render and associated external alterations including replacement of the existing lower ground side elevation timber door with a timber door.

1.2. Assessment

Design and heritage

1.3. The Council's design policies are aimed at achieving the highest standard of design in all developments, including where alterations and extensions are proposed. Policy D1 of the Local Plan requires development to be of the highest architectural and urban design quality, which improves the function, appearance and character of the area; and Policy D2 states that the Council will preserve, and where appropriate, enhance Camden's rich and diverse heritage assets and their settings, including conservation areas and listed buildings.

1.4. The applicant proposes to replace the existing non-original timber windows to the front and side elevations with double glazed timber sash windows, which would closely reflect the design and appearance of traditional timber windows. The windows are to feature composite glazing bars, further details of the windows will be secured by way of a condition. The existing window security bars would be omitted, which is also supported by officers.

1.5. The replacement timber door to the side elevation is considered acceptable as the door would sit within the existing opening and be of a similar design and material.

1.6. The replacement aluminium windows to the rear elevation, given their location to the rear of the property where they are not subject to public views and very limited private views, are considered acceptable and would preserve the appearance of the building and conservation area. Further details, including section drawings of the windows will be secured by way of a condition.

1.7. Officers consider the removal of the unsympathetic and non-original pebble dash to the rear elevation and reinstatement of the painted render acceptable as it would restore the original appearance of the lower ground rear elevation.

1.8. Special regard has been attached to the desirability of preserving or enhancing the conservation area, under s.72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013.

1.9. The Council's Conservation Officer has reviewed the proposals and does not consider the development to cause harm to the significance or special character of the Belsize Conservation Area.

1.10. As such, the proposals would preserve the character and appearance of the host building and this part of the conservation area in accordance with policies D1 and D2 of the Camden Local Plan.

Neighbour amenity

1.11. Policy A1 seeks to protect the amenity of Camden's residents by ensuring the impact of

development is fully considered. It seeks to ensure that development protects the quality of life of occupiers and neighbours by only granting permission for development that would not harm the amenity of neighbouring residents. This includes privacy, overlooking, outlook and implications on daylight and sunlight.

- 1.12. Given the minor nature of the proposals and the fact that the replacement windows and doors would be in the same location as the existing, officers do not consider that the development would materially increase opportunities for overlooking or impact on neighbouring amenity with regards to the above mentioned impacts.

2. Recommendation

- 2.1. Grant conditional planning permission

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members' Briefing panel on Tuesday 27th August 2019, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2019/3404/P
Contact: Alyce Jeffery
Tel: 020 7974
Date: 18 September 2019

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE

Phone: 020 7974 4444

planning@camden.gov.uk
www.camden.gov.uk

Peter Couper Architects
23 Avondale Road
London
SW19 8JX

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:

Flat 1
13 Belsize Square
London
NW3 4HT

DECISION

Proposal:

Replacement of the existing lower ground floor front and side elevation timber sash windows with double glazed timber sash windows, replacement of the existing lower ground floor timber windows and doors with metal double glazed windows and doors, removal of the peddle dash to the rear bay window for smooth render and associated external alterations.

Drawing Nos: Design and Access Statement dated July 2019; PCA-9100-01 Location Plan; PCA-9100-02 Site Plan; PCA-9100-10 EXIST PLAN; PCA-9100-11 EXIST ELEV A; PCA-9100-12 EXIST ELEV B; PCA-9100-13 EXIST ELEV C; PCA-9100-20 Proposed PLAN; PCA-9100-21 Pro ELEVATION A; PCA-9100-22 Pro ELEVATION B; PCA-9100-23 Pro ELEVATION C.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans;

Design and Access Statement dated July 2019; PCA-9100-01 Location Plan; PCA-9100-02 Site Plan; PCA-9100-10 EXIST PLAN; PCA-9100-11 EXIST ELEV A; PCA-9100-12 EXIST ELEV B; PCA-9100-13 EXIST ELEV C; PCA-9100-20 Proposed PLAN; PCA-9100-21 Pro ELEVATION A; PCA-9100-22 Pro ELEVATION B; PCA-9100-23 Pro ELEVATION C.

Reason: For the avoidance of doubt and in the interest of proper planning.

- 4 Detailed drawings and specifications of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority before the relevant part of the work is begun:

a) Typical details including plans, elevations and sections at 1:10 of replacement windows (including jambs, head and cill);

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website at <https://beta.camden.gov.uk/documents/20142/1269042/Camden+Minimum+Requirements+%281%29.pdf/bb2cd0a2-88b1-aa6d-61f9-525ca0f71319> or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

- 3 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team London Borough of Camden 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444) . Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.

DRAFT

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2019.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Director of Regeneration and Planning

DECISION