

GENERAL NOTES AWW:

EXTERNAL WALLS:
EXISTING EXTERNAL BRICK WALLS TO BE RETAINED, CLEANED AND MADE GOOD. REPLACED WHERE DAMAGED. REFER TO NBS SPEC C41, C40 FOR REPOINTING AND CLEANING OF BRICKWORK AND CONTRACTOR'S METHOD STATEMENT.

ALL GUTTERS AND DOWNPIPES TO BE REMOVED AND REPLACED WITH CAST IRON FIXTURES AND FITTINGS WITH BLACK PROTECTIVE COATING FINISH, HAMMERITE OR EQUAL APPROVED. ALL AS NBS SPECIFICATION R10 AND M60/175A.

REFER TO SCHEDULE AND RECORDS OF WORKS FOR SCOPE OF REPAIRS TO CORNICES, PARAPETS

SILLS AND RENDERED PLINTHS AND DOWNPIPES. M20 AND R10.

ROOFING:
REFER TO SAFE ACCESS STRATEGY DRAWINGS FOR PROPOSED MAINTENANCE ACCESS. REFER TO SE DRAWINGS FOR FULL DETAILS OF ROOF + FLOOR STRUCTURAL CONNECTIONS

EXTERNAL DOORS:
TEMPORARY DOORS TO BE INSTALLED WHERE REQUIRED

WINDOWS:
EXISTING WINDOWS REMOVED AND REPLACED WITH NEW PAINTED TIMBER FRAMED SINGLE OR DOUBLE GLAZED SASH WINDOWS AND SILLS -

TO BE MEASURED ON SITE BY PREFERRED MANUFACTURER TO FIT EXISTING STRUCTURAL OPENINGS. REFER TO WINDOW SCHEDULE SERIES A-25 2000 AND WINDOW DRWG SERIES A-25 3000 FOR DETAILS AND NBS SPEC L10, L40.

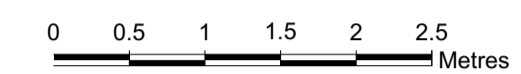
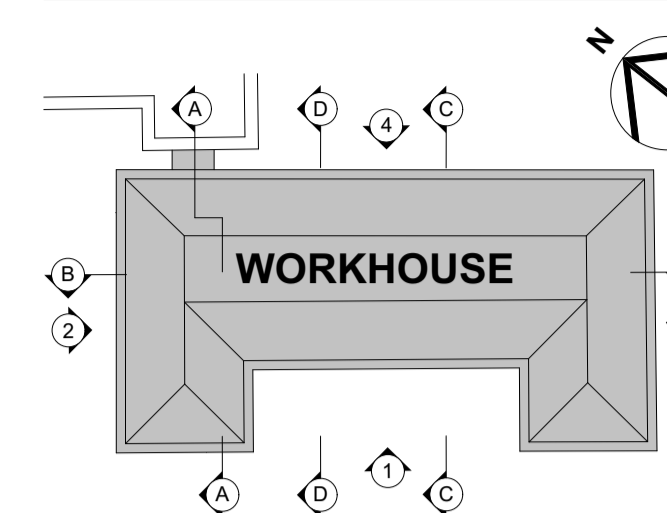
ARCHITECT'S APPROVAL OF APPEARANCE AND QUALITY CONTROL SAMPLE TO BE OBTAINED PRIOR TO PROCEEDING WITH MANUFACTURE OF REMAINING QUANTITY.

ALL BASEMENT SLABS NEW UNLESS INDICATED ON DRAWINGS. REFER TO STRUCTURAL ENGINEER'S DRAWINGS AND DETAILS.

Notes

- All dimensions to be checked on site
- Do not scale off this drawing
- All dimensions are shown in mm unless otherwise stated
- Refer to drawing issue sheet for purpose of issue
- If in doubt ask
- © Llewelyn Davies

Key plan



LEGEND:

- F10/230A AND F10/315 NEW BRICK INFILLS
- F10/230A NEW BRICKWORK TO SE DESIGN
- RETAINED EXISTING BRICKWORK REFER TO DEMOLITION PACKAGE
- H62/110A ROOF SLATING WITH COUNTERBATTENS
- F30/766 NEW CAST STONE COPING UNITS
- NEW CONCRETE RETAINING WALL TO STRUCTURAL ENGINEER'S DESIGN
- M20/160A RENDER SYSTEM
- F10/255 NEW BLOCKWORK INFILLS
- J10/110A LIQUID APPLIED WATERPROOFING MEMBRANE: UP TO 1200MM ABOVE EXTERNAL GROUND LEVEL
- J10/110A LIQUID APPLIED WATERPROOFING MEMBRANE: UP TO 1200MM ABOVE EXTERNAL GROUND LEVEL
- J40/290A & 290B WATERPROOFING MEMBRANE
- J40/290A AND 290B WATERPROOFING MEMBRANE: UP TO 1200MM ABOVE EXTERNAL GROUND LEVEL
- M10/110A WATERPROOFING MEMBRANE: UP TO 500MM ABOVE DPC LEVEL
- J31/130 LIQUID APPLIED WATERPROOFING SYSTEM: NORTH HOUSE PODIUM
- J10/110B WATERPROOFING MEMBRANE TO SOUTH HOUSE TUNNEL SLAB
- J40/297A TANKING TO OUTER FACE OF NEW CONCRETE WALL
- R10/390 CAST IRON PIPEWORK
- VENT PIPE FROM BELOW TO ATMOSPHERE. REFER TO ARUP DRAWINGS FOR MORE INFORMATION
- DENOTES LEVEL
- CAVITY DRAIN INSPECTION PORT AS J40/290A & B
- DENOTES CHEMICAL INJECTION DPC SYSTEM. (STEPPED DPC BY 75MM RISERS)
- SJ F30/610 SEALANT JOINT
- WB J40/298A+B HYDROPHYLIC WATER BAR

NOTE:

- ALL LEADWORK TO BE IN ACCORDANCE WITH LSA PUBLICATION 'ROLLED SHEET LEAD-THE COMPLETE MANUAL'
- DRAWINGS TO BE READ IN CONJUNCTION WITH SPECIFICATION & FINISHES' SCHEDULE OF WORKS/ MATERIALS & WORKMANSHIP/ MEP & SE DRAWINGS.
- CONTRACTOR TO CONFIRM ALL (MINIMUM AND MAXIMUM) SITE DIMENSIONS WHERE SHOWN AS "SITE DIM" TO ASSIST WITH SECURING BUILDING CONTROL APPROVAL. FOR ALL STRUCTURAL INFORMATION REFER TO AECOM DRAWING PACKAGE.
- FOR ALL MEP INFORMATION REFER TO ARUP DRAWING PACKAGE.
- LEVELS ARE BASED ON GREENHATCH GROUP'S SURVEYED 'FFL' AND 'FL' LEVELS.
- NO WORKS TO COMMENCE ON SITE WITHOUT NOTIFICATION TO LONDON BOROUGH OF CAMDEN AND RECEIVING WRITTEN APPROVAL.
- REFER TO SURVEY DRAWINGS ETC.
- ALL DIMENSIONS TO BE CHECKED ON SITE.

C1	For Contract AWW	08/08/19	ZL	JD
Rev	Description	Date	By	Chk

Structural Consultant Services Consultant

AECOM ARUP

Cost Consultant

EQUALS CONSULTING

Project Title

BEDFORD PASSAGE DEVELOPMENT WORKHOUSE (OLIVER HOUSE)

MARKET HOUSING (C3)

Client

MIDDLESEX ANNEXE LLP

Drawing Title

WORKHOUSE AWW - ELEVATION 02

Project Number Revision

LD15 078.00 C1

Drawing Number

BPD-LDW-WH-ZZ-DR-A-250013

Scale @ A1 Date

1:50 21/08/2018

Architects

LLEWELYN DAVIES

Architects | Planners | Designers

3rd floor | 3-5 Rathbone Place | London | W1T 1JH

T +44(0)20 7907 7900 | E london@ldavies.com

www.ldavies.com



- N25/210C Raised plinth
- N25/210C Guided type fall arrest system
- F30/766 Existing parapet coping to be replaced with new cast stone coping units
- SOP (TOP OF COUNTERBATTENS) 42.328
- TOC (EXISTING) 41.744
- L04 FFL 40.970
- L10/210A New false sash' actuated bottom-hung ACV as NBS L10 to match appearance of existing sash window. Existing sash window to be carefully removed & stored for matching Actuator to be installed during fit out
- L03 FFL
- L02 FFL
- New staircase sliding sash single glazed wood windows without trickle vents
- L01 FFL
- Dry riser inlet
- H71/430 Lead cover flashing lapped over J31/130B perimeter trim all in front of J31/130B liquid applied waterproofing system kerb upstand
- L00 FFL
- F10/255 Existing window infilled using blockwork
- LB1 FFL 24.950
- FFL 24.480
- FFL 23.300

- H71/310 Hip roll
- New lead roofing as H71/110A+B with bullnose flashing eaves detail and wood cored lead rolls at 600 CTRS
- H62/110A Roof slating with counterbattens
- L10/480A+B Roof windows to be installed between new structural frame and associated trims and flashings
- F30/330B New DPC
- L10/210A Existing brick arch retained, existing blocked up window opened ready to receive new sash window as per window schedule
- R10/110A Existing hoppers and down pipes to be replaced
- L10/210A Existing brick arch retained, existing blocked up window opened, new sash window as per window schedule
- M20/310A External cornice ledge to be carefully patch repaired with colour to match existing AFTER cleaning as C40 specification
- C40/362A Retained sandstone cill pretreated as C40/362A and repaired as M20/310A
- C40/362A Existing retained brickwork to receive specialist clean & repointed
- M60/175A Existing cast iron air bricks to be repainted and retained as M60/175A See Schedule of Works for details
- M20/110A Replacement render feature plinth as M20/110A
- J40/290A+B Waterproof membrane as J40/290A+B to terminate internally 1200mm above external ground level
- C45 / 220 Chemical DPC system min. 150mm above external ground level to be agreed with building control / conservation officer
- C90/110C Works associated with retention of existing airbricks
- F10/230A Existing grille to be removed and replaced with reclaimed bricks to match existing