



DRON & WRIGHT

PROPERTY CONSULTANTS

Schedule of Condition and Proposed Works

Relating to:

House No. 3
West Hampstead Cottages
West Hampstead Fire Station
325 West End Lane
London NW6 1RR

Prepared by:-

Dron & Wright



July 2019

O:\JOB\26849 - West Hampstead Cottages (Project Management)\06 Photos\LBO Photo Schedule

WEST END OFFICE
54 Conduit Street
London W1S 2YY
T: 020 7891 2345

CITY OFFICE
18 St Swithins Lane
London EC4N 8AD
T: 020 7891 2345

Regulated by RICS



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Appendix A

- **Existing and Proposed Joinery**

Appendix B

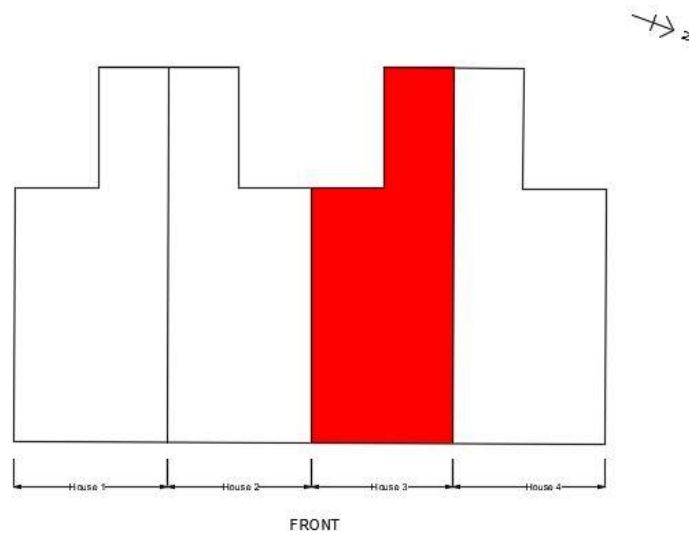
- **Proposed Secondary Glazing Details**

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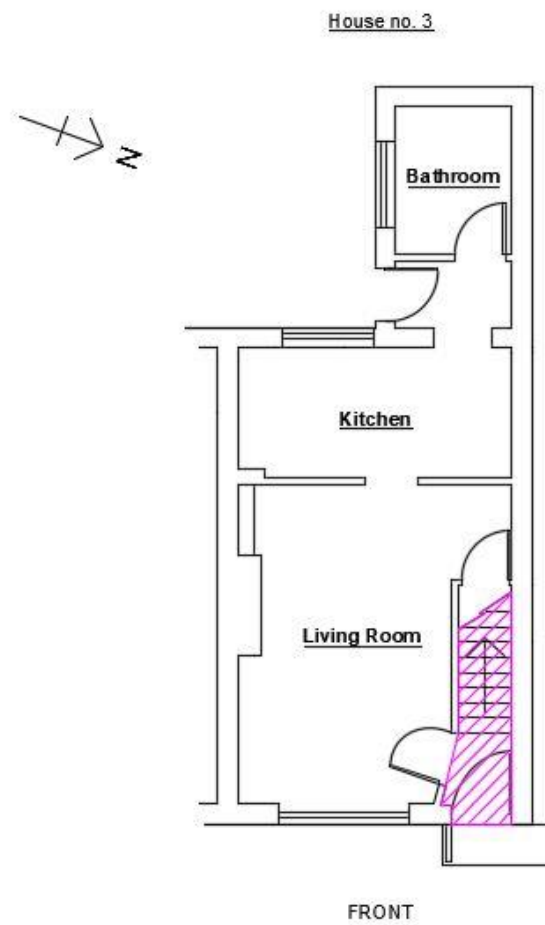
House No. 3



3.0 Internal Areas

3.1 Ground Floor

3.1.1 Hall and Stairwell



General view of hall and stairwell



3.1.1.1 Building Fabric

3.1.1.1.1 Staircase

The first floor is accessed via a traditional timber string type staircase complete with closed timber risers and rounded edge goings. All former floor coverings have been removed. A general view of the staircase shown below:



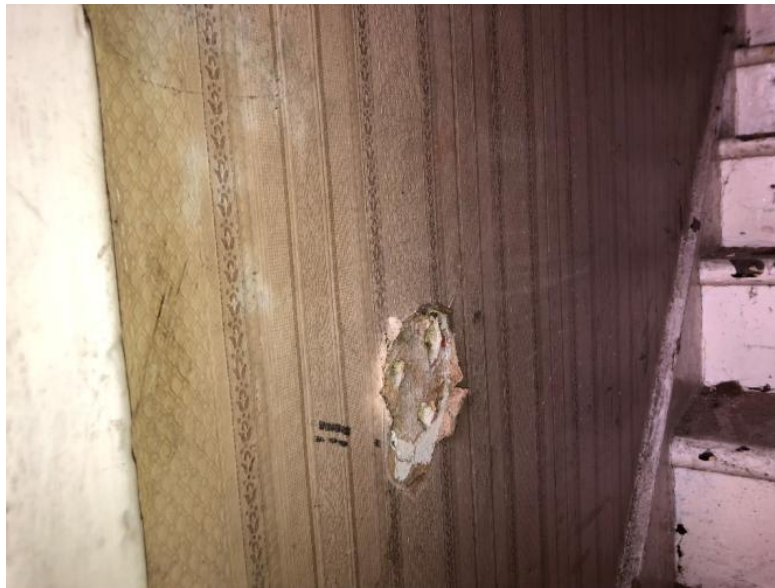
General view of staircase

The upper section of the staircase incorporates a set of winders turning at a 90 degree angle to the first floor landing as per the image below:



Stair winders to first floor landing

A wall mounted timber handrail appears to have been removed from the south wall. The position of the former fixing brackets remains visible as per the image below:



Position of former fixing brackets

○ **Condition**

The visible timber surfaces appear to be in fair condition with no visible defects.

○ **Proposed Works**

- Retain timber staircase as existing.
- Redecorate exposed stair stringers with brush applied satinwood paint.
- Install new edge-fixed carpet floor coverings to staircase.
- Replace existing wall mounted timber handrail with new stained timber 'mopstick' handrail.

○ **Impact Assessment of Heritage Significance**

- Retain timber staircase as existing – *Significance: neutral effect on significance*
- Redecorate exposed stair stringers with brush applied satinwood paint - *Significance: neutral effect on significance*
- Install new edge-fixed carpet floor coverings to staircase - *Significance: neutral effect on significance*
- Replace existing wall mounted timber handrail with new stained timber 'mopstick' handrail - *Significance: positive effect on significance*



3.1.1.1.2 Floor

The existing floor comprises a solid structure with a granolithic concrete screed finish as shown below:



View of hall floor surface

- **Condition**

The concrete surface appears in fair condition throughout with no visible defects.

- **Proposed Works**

- Clear all surface dirt and debris.
- Install new edge-fixed carpet floor coverings.

- **Impact Assessment of Heritage Significance**

- Clear all surface dirt and debris – *Significance: neutral effect on significance*
- Install new edge-fixed carpet floor coverings – *Significance: neutral effect on significance*



3.1.1.1.3 Walls

The walls are of solid masonry construction and appear to have been finished with a two-coat lime-based plaster. Where visible, some areas appear to have been re-finished in a gypsum based plaster. The walls have been decorated with patterned wallpaper as per the image below:



General view of stairwell walls

○ Condition

All wallpaper finishes are stained and discoloured throughout however the wall surfaces appear generally sound as per the image below:

○ Proposed Works

- Strip off and dispose of all existing wallpaper coverings.
- All loose, friable or damaged plaster surfaces are to be removed to a stable substrate. (The full extent of all damaged plasterwork is to be assessed following removal of all decorative wall coverings).
- Where removed, all plaster surfaces to be reinstated using non-hydraulic lime-based plaster applied to the level of the existing finishes.
- All stable and un-damaged plaster surfaces will be retained.
- All new and existing plaster surfaces to be covered with lining paper and decorated with emulsion paint.



○ **Impact Assessment of Heritage Significance**

- Strip off and dispose of all existing wallpaper coverings – *Significance: neutral effect on significance*
- All loose, friable or damaged plaster surfaces are to be removed to a stable substrate – *Significance: neutral effect on significance*
- Where removed, all plaster surfaces to be reinstated using non-hydraulic lime-based plaster applied to the level of the existing finishes - *Significance: neutral effect on significance*
- All stable and un-damaged plaster surfaces will be retained – *Significance: neutral effect on significance/fabric*
- All new and existing plaster surfaces to be covered with lining paper and decorated with emulsion paint - *Significance: neutral effect on significance*



3.1.1.1.4 Ceiling

The ceiling appears to be comprised of lime-based plaster applied on timber laths. The ceiling surfaces have been decorated with ceiling paper covered with emulsion paint.

In the centre of the ceiling is a fixing hole complete with electrical wiring for a light fitting. The light fitting has been removed. There is no coving or cornicing detail. A general view of the ceiling is below:



View of hall ceiling

○ Condition

The decorative finishes are and discoloured throughout and the ceiling paper de-bonding in areas. The plastered surfaces appear to be in fair condition with no visible defects.

○ Proposed Works

- Strip off painted ceiling paper and dispose.
- Any underlying loose or friable surfaces to be removed to a stable substrate and reinstated using non-hydraulic lime based plaster.
- Redecorate all new plaster surfaces with emulsion paint.



○ **Impact Assessment of Heritage Significance**

- Strip off painted ceiling paper and dispose - *Significance: neutral effect on significance*
- Any underlying loose or friable surfaces to be removed to a stable substrate and reinstated using non-hydraulic lime based plaster - *Significance: neutral effect on significance*
- Redecorate all new plaster surfaces with emulsion paint - *Significance: neutral effect on significance*



3.1.1.2 Joinery

3.1.1.2.1 Skirting Boards

The skirtings comprise a simple painted timber board with a pencil filleted top edge and gloss painted finish as per the image below:



Typical view of hall skirting board

There are no skirtings fitted to the north wall as per the image below:



No skirtings fitted to north wall



○ **Condition**

The decorated surfaces are discoloured and dirty throughout. The timber skirtings appear generally sound with minor areas of impact damage.

○ **Proposed Works**

- Retain existing timber skirtings.
- Where missing, install new timber skirtings to match details and dimensions of the existing.
- Prepare all new and existing surfaces and decorate with new brush applied satinwood paint.

○ **Impact Assessment of Heritage Significance**

- Retain existing timber skirtings - *Significance: neutral effect on significance/fabric*
- Where missing, install new timber skirtings to match details and dimensions of the existing - *Significance: neutral effect on significance*
- Prepare all new and existing surfaces and decorate with new brush applied satinwood paint - *Significance: neutral effect on significance*

**3.1.1.2.2 Dado Rail**

No dado rail installed.

3.1.1.2.3 Picture Rail

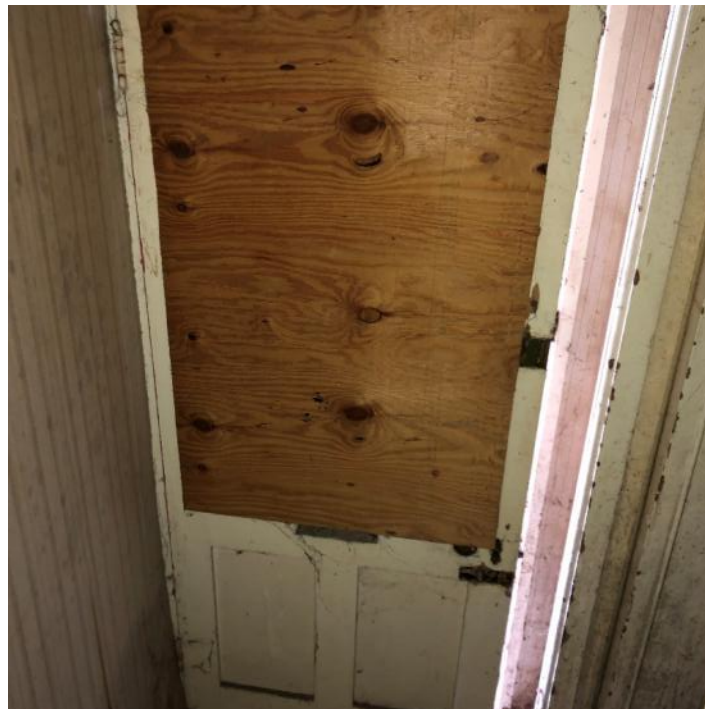
No picture rail installed.

3.1.1.2.4 Doors**▪ Door to Living Room**

This door is detailed in under the 'Living Room' section in item 1.1.2 of this report.

▪ Front Entrance Door

The front entrance door comprises a panelled hardwood timber door with a gloss painted finish and glazed upper panels. The details and dimensions of this door are included in Appendix A. An image of this door is as below:



View of entrance main entrance door

The door furniture has been removed leaving remnants of former fittings, as per the image below:



View of remaining interior ironmongery

The exterior face of the door has been overboarded and the underlying surfaces and ironmongery are not visible as per the image below:



View of exterior face of door

○ **Condition**

The decorated surfaces are discoloured, damaged and in poor condition throughout. The timber surfaces appear to be in generally sound condition, although there are areas of surface damage and redundant fixing holes where door furniture has been removed.

The exterior surfaces of the door and ironmongery are over-boarded and so cannot be inspected. The interior face of the glazed vision panels are also overboarded and so cannot be inspected.



○ **Proposed Works**

- Remove timber boarding and assess condition of interior and exterior surfaces.
- Where defective timber surfaces are identified, carry out timber repairs as necessary to match the detail and dimensions of the existing.
- To glazed panels, install new obscured glazing with applied lead strips to external surface, as detailed in Appendix A.
- Prepare and redecorate all previously decorated surfaces; exterior surfaces to be decorated with brush applied exterior gloss paint and interior surfaces with brush applied satinwood paint.
- Install new interior and exterior ironmongery; ironmongery details to be confirmed.

○ **Impact Assessment of Heritage Significance**

- Remove timber boarding and assess condition of interior and exterior surfaces - *Significance: neutral effect on significance*
- Where defective timber surfaces are identified, carry out timber repairs as necessary to match the detail and dimensions of the existing - *Significance: neutral effect on significance*
- To glazed panels, install new obscured glazing with applied lead strips to external surface, as detailed in Appendix A - *Significance: neutral effect on significance*
- Prepare and redecorate all previously decorated surfaces; exterior surfaces to be decorated with brush applied exterior gloss paint and interior surfaces with brush applied satinwood paint - *Significance: neutral effect on significance*
- Install new interior and exterior ironmongery; ironmongery details to be confirmed - *Significance: neutral effect on significance*



3.1.1.2.5 Door Architraves

The living room entrance door and main entrance door each incorporate timber softwood door linings with complete with 'Ovolo' style architraves as per the images below.



Living room door joinery detail



Main entrance door joinery detail

All timber surfaces are decorated with a gloss painted finish. A cross section of this detail is included in Appendix A.

Cont/..



- **Condition**

All timber surfaces appear to be in fair condition although the decorated are chipped and discoloured throughout.

- **Proposed Works**

- Retain all door linings and architraves as existing,
- Prepare timber surfaces and redecorate with brush applied satinwood paint.

- **Impact Assessment of Heritage Significance**

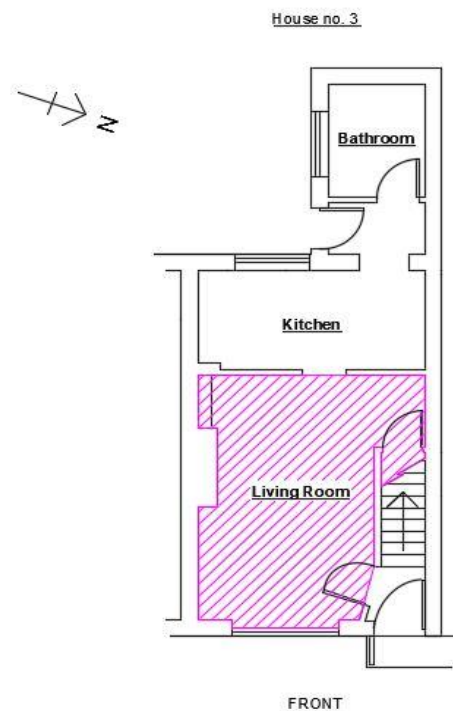
- Retain all door linings and architraves as existing - *Significance: neutral effect on significance/fabric*
- Prepare timber surfaces and redecorate with brush applied satinwood paint - *Significance: neutral effect on significance/fabric*

3.1.1.2.6 Windows

There are no windows in this area.



3.1.2 Living Room



3.1.2.1 Building Fabric

3.1.2.1.1 Floor

The existing floor comprises a solid structure with a plain screeded concrete surface. All former floor coverings have been removed as per the image below:



Living Room floor surface



○ **Condition**

There are localised areas of cracking to the screeded concrete surfaces alongside localised areas of surface abrasion as per the image below:



Surface abrasion adjacent to entrance door

The remaining concrete surfaces appear to be sound and free from other visible defects.

○ **Proposed Works**

- Clear all surface dirt and debris.
- Once cleared, remove any loose and friable materials and repair as necessary to match existing,
- Install new edge-fixed carpet floor coverings throughout.

○ **Impact Assessment of Heritage Significance**

- Clear all surface dirt and debris - *Significance: neutral effect on significance*
- Once cleared, remove any loose and friable materials and repair as necessary to match existing - *Significance: neutral effect on significance*
- Install new edge-fixed carpet floor coverings throughout - *Significance: neutral effect on significance*



3.1.2.1.2 Walls

The walls are of solid masonry construction and appear to have been finished with a two-coat lime-based plaster. All wall surfaces have been decorated with patterned wallpaper as per the image below:



General view of Living Room walls

○ Condition

The wallpaper finishes are discoloured and stained throughout and appear to have been vandalised with graffiti in some areas as per the image below:



View of graffiti on wall surface

The majority of plaster surfaces appear sound and free from visible defects, however some plaster surfaces have suffered damage due to water ingress, as per the images below.



Damp affected wall surfaces to south-west corner



Damp affected wall surfaces to east wall

Damp affected surfaces are located between floor level and approximately 1.2 metres in height and extend to the east and south-west aspects of the room.

A section of damaged and damp affected plasterwork is also located at high level to the west of the room. The plaster finishes in this area are no longer stable and have debonded exposing the underlying masonry, as per the image below:



Damaged and damp affected plaster surfaces at high level

To the north-west corner of the room, lath and plaster wall surfaces covering approximately 1 square metre have been stripped away exposing the underside of the adjacent staircase as per the image below:



Damaged and damp affected plaster surfaces at high level



- **Proposed Works**
 - Re-locate Kitchen Door Opening:
 - Form new kitchen door opening to south-west corner of the room, below existing staircase.
 - Infill existing kitchen door opening using clay brickwork with two-coat non-hydraulic lime based plaster surfaces to exterior surfaces.
 - Adapt existing joinery to suit new arrangement.
 - Details of proposed works are included in Appendix D.
 - Existing walls:
 - Strip off and dispose of all existing wallpaper coverings.
 - All loose, friable and damp affected plaster surfaces are to be removed to a stable substrate. (The full extent of damaged plasterwork is to be assessed following removal of all decorative wall coverings).
 - Where removed, plaster surfaces to be reinstated using non-hydraulic lime-based plaster applied to the level of the existing finishes.
 - All stable and un-damaged plasterwork will be retained.
 - All new and existing plaster wall surfaces to be covered with lining paper and re-decorated with emulsion paint.
- **Impact Assessment of Heritage Significance**
 - Re-locate Kitchen Door Opening:
 - Form new kitchen door opening to south-west corner of the room, below existing staircase - *Significance: reinstate original opening - positive effect on significance*
 - Infill existing kitchen door opening using clay brickwork with two-coat non-hydraulic lime based plaster surfaces to exterior surfaces - *Significance: reinstate original opening - positive effect on significance*
 - Adapt existing joinery to suit new arrangement - *Significance: enhancement to significance*



- Existing walls:
 - Strip off and dispose of all existing wallpaper coverings - *Significance: neutral effect on significance*
 - All loose, friable and damp affected plaster surfaces are to be removed to a stable substrate - *Significance: neutral effect on significance*
 - Where removed, plaster surfaces to be reinstated using non-hydraulic lime-based plaster applied to the level of the existing finishes - *Significance: neutral effect on significance*
 - All stable and un-damaged plasterwork will be retained - *Significance: neutral effect on significance/fabric*
 - All new and existing plaster wall surfaces to be covered with lining paper and re-decorated with emulsion paint - *Significance: neutral effect on significance*



3.1.2.1.3 Ceiling

The ceiling is comprised of a two coat lime-based plaster surface applied to timber laths. All ceiling surfaces are covered with polystyrene tiles and decorated with emulsion paint. A modern plaster coving is installed to the wall/ceiling junctions. Where sections of this coving are missing, a simple filleted coving detail is visible below. A general view of the ceiling is shown below.



General view of Living Room ceiling



View of plaster coving detail



○ **Condition**

Sections of the polystyrene tile finishes and modern plaster covings have de-bonded and fallen away in areas, exposing the underlying plaster surfaces as per the image below:



De-bonded polystyrene tiles and covings

To the centre of the room is a damaged area of approximately 1 square metres in size. Here, the polystyrene tile finishes, plasterwork and underlying timber laths have been removed, exposing the underlying timber floor structure, as per the image below:



Damaged polystyrene tiles and plasterwork

The remaining ceiling surfaces appear to be in fair condition and free from visible defects.



○ **Proposed Works**

- Remove all modern plaster coving and polystyrene tile finishes and dispose.
- All loose or friable plaster surfaces are to be removed to a stable substrate. (The full extent of damaged plasterwork is to be assessed following removal of all decorative wall coverings),
- Where removed, all damp affected plaster surfaces to be reinstated using non-hydraulic lime-based plaster applied to the level of the existing finishes,
- Missing timber laths to be reinstated as part of this process
- All stable and un-damaged plasterwork will be retained,
- All new and existing plaster plasterwork to be decorated with emulsion paint.

○ **Impact Assessment of Heritage Significance**

- Remove all modern plaster coving and polystyrene tile finishes and dispose - *Significance: enhancement to significance*
- All loose or friable plaster surfaces are to be removed to a stable substrate - *Significance: neutral effect on significance*
- Where removed, all damp affected plaster surfaces to be reinstated using non-hydraulic lime-based plaster applied to the level of the existing finishes - *Significance: neutral effect on significance*
- Missing timber laths to be reinstated as part of this process - *Significance: enhancement to significance*
- All stable and un-damaged plasterwork will be retained - *Significance: neutral effect on significance/fabric*
- All new and existing plaster plasterwork to be decorated with emulsion paint - *Significance: neutral effect on significance*



3.1.2.2 Joinery

3.1.2.2.1 Skirting Boards

Timber skirting boards have been fitted to all perimeter walls and comprise a simple painted timber board with a pencil filleted top edge. All skirtings have been decorated with a gloss painted finish as per the image below:



Typical view of Living Room skirting board

○ Condition

The decorated surfaces are discoloured and dirty throughout. The timber skirtings appear generally sound with minor areas of impact damage.

○ Proposed Works

- Prepare existing skirting boards and redecorate with new brush applied satinwood paint.

○ Impact Assessment of Heritage Significance

- Prepare existing skirting boards and redecorate with new brush applied satinwood paint - *Significance: neutral effect on significance/fabric*

3.1.2.2.2 Dado Rail

No dado rail installed.

3.1.2.2.3 Picture Rail

No picture rail installed.



3.1.2.2.4 Doors

▪ Living Room Entrance Door

The living room entrance door comprises a solid timber five panelled door with a gloss painted finish. The details and dimensions of this door are included in Appendix A. An image of this door is as below:



View of Living Room door

The outer face of the door has been overboarded, as per the image below:



Overboarding to external face of door

The door is fitted with stainless steel door handles and a brass effect cylinder latch as per the image below:



Existing door furniture

○ **Condition**

All timber surfaces appear sound and in fair condition although the decorations are stained and discoloured throughout. The stainless steel door furniture is damaged as per the image below:



Damaged door furniture



○ **Proposed Works**

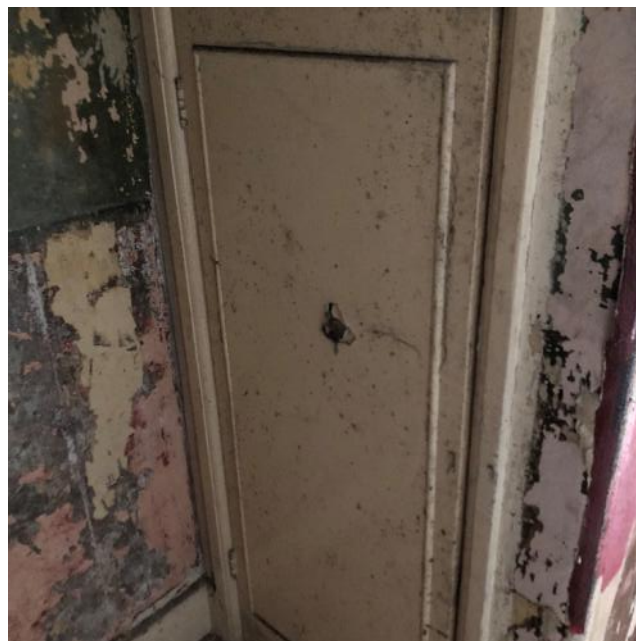
- Remove remaining damaged door furniture and dispose.
- Remove overpanelling and dispose, making good underlying timber surfaces as necessary.
- Thoroughly prepare all timber surfaces and redecorate with brush applied satinwood paint.
- Install new door furniture – details to be confirmed.

○ **Impact Assessment of Heritage Significance**

- Remove remaining damaged door furniture and dispose - *Significance: neutral effect on significance*
- Remove overpanelling and dispose, making good underlying timber surfaces as necessary - *Significance: enhancement to significance*
- Thoroughly prepare all timber surfaces and redecorate with brush applied satinwood paint - *Significance: neutral effect on significance*
- Install new door furniture – details to be confirmed - *Significance: enhancement to significance*

▪ **Under-Stair Cupboard Entrance Door**

The under-stair cupboard entrance door comprises a solid timber two panel door with a painted finish. The details and dimensions of this door are included in Appendix A. Each face of the door has been overboarded, concealing the panels beneath as per the image below:



View of Under-stair cupboard entrance

The door is fitted with 1 no. overpainted metal draw bolt to the outer face, as per the image below:



Door furniture

○ Condition

All timber surfaces appear sound and in fair condition although the decorations are stained and discoloured throughout.. The draw bolt is damaged and partially missing as per the image above. The overboarding to the inner face of the door is damaged revealing the underlying panelled timber surface, as per the image below:



Damage to overboarded surface



○ **Proposed Works**

- Remove damaged door furniture and dispose.
- Remove overpanelling from inner and outer face of door and dispose, making good underlying timber surfaces as necessary.
- Thoroughly prepare all timber surfaces and redecorate with brush applied satinwood paint.
- Install new metal door furniture – details to be confirmed.

○ **Impact Assessment of Heritage Significance**

- Remove damaged door furniture and dispose - *Significance: neutral effect on significance*
- Remove overpanelling from inner and outer face of door and dispose, making good underlying timber surfaces as necessary - *Significance: enhancement to significance*
- Thoroughly prepare all timber surfaces and redecorate with brush applied satinwood paint - *Significance: neutral effect on significance*
- Install new metal door furniture – details to be confirmed - *Significance: neutral effect on significance*

3.1.2.2.5 Door Architraves

The hallway entrance door and under-stair cupboard doorway incorporate softwood timber door linings and 'Ovolo' style moulded timber architraves. All timber surfaces are decorated with a gloss painted finish. A cross section of this detail is included in Appendix A. This joinery arrangement is as per the image below:



Door lining and architrave detail



The kitchen entrance door doorway incorporates timber door lining; however the door architrave is missing save for one remaining section to the northern aspect of the door as per the image below:



Missing door architrave detail

The remaining section of matches the 'Ovolo' style architrave of the adjacent doors as per the image below:



Kitchen entrance door lining and architrave detail



- **Condition**

The door linings and architraves to the understair cupboard and living room entrance doors appear to be in sound condition and free from visible defects, although the decorated surfaces are worn and discoloured throughout.

The door linings and architraves to the kitchen are partially missing. The remaining timber surfaces have suffered damaged due to water ingress and as such are in poor condition, as per the image below:



Damaged lining and architrave to Kitchen entrance

- **Proposed Works**

- Living Room Entrance and understair cupboard:
 - Retain all door jambs, stops and architraves as existing.
 - Prepare timber surfaces and redecorate with brush applied satinwood paint.
- Kitchen entrance door:
 - Strip out existing timber linings and dispose.
 - Close up existing kitchen door opening and form new door opening to kitchen as per details included in Appendix A.
 - Supply and install new timber door linings and architraves to newly formed kitchen entrance door. All new joinery to match the details and dimensions of those installed to the existing living room entrance door.



○ **Impact Assessment of Heritage Significance**

- Living Room Entrance and understair cupboard:
 - Retain all door jambs, stops and architraves as existing - *Significance: neutral effect to significance/fabric*
 - Prepare timber surfaces and redecorate with brush applied satinwood paint - *Significance: neutral effect to significance/fabric*
- Kitchen entrance door:
 - Strip out existing timber linings and dispose - *Significance: no loss of historic fabric*
 - Close up existing kitchen door opening and form new door opening to kitchen as per details included in Appendix A - *Significance: reinstate original opening - positive effect on significance*
 - Supply and install new timber door linings and architraves to newly formed kitchen entrance door. All new joinery to match the details and dimensions of those installed to the existing living room entrance door - *Significance: reinstate original opening - positive effect on significance*



3.1.2.2.6 Windows

The windows comprise 1 no. timber framed, three light casement unit with metal framed lights and single glazed sheet glass. Opening units are fitted to the left and right-hand sides whilst the central light is fixed.

Each opening light incorporates 1 no. metal slide stay and cockspur window latch.

The inner face of the window incorporates timber reveals complete with bull-nosed timber window board and moulded timber architraves. All inner surfaces have been decorated with gloss paint. Details of the existing timber architrave are included in Appendix A.

The outer face of the window is over-boarded. The inner face of this window is as below:



View of existing window



View of opening unit

○ **Condition**

The outer face of the window unit is over-boarded and as such is not visible. The inner surfaces generally appear to be in sound condition, although all surfaces are dirty and soiled throughout.

○ **Proposed Works**

- Remove outer boarding and thoroughly inspect window units for damage and deterioration.
- Carry out localised timber repairs to external surfaces as necessary.
- Rake out existing glazing putties, remove existing sheet glazing and replace with single glazed sheet glass with applied leaded strips to outer face. Full details of the proposed installation are included in Appendix A.
- Ease and adjust all hinges, stays and latches to ensure opening units functioning as intended.
- Prepare all previously decorated surfaces and redecorate with brush applied satinwood paint to internal surfaces and brush applied exterior gloss paint to external surfaces.
- Install new metal framed slimline horizontal sliding secondary glazing units to inner face of windows as detailed in Appendix B.



○ **Impact Assessment of Heritage Significance**

- Remove outer boarding and thoroughly inspect window units for damage and deterioration - *Significance: neutral effect on significance*
- Carry out localised timber repairs to external surfaces as necessary - *Significance: neutral effect on significance*
- Rake out existing glazing putties, remove existing sheet glazing and replace with single glazed sheet glass with applied leaded strips to outer face - *Significance: neutral effect on significance*
- Ease and adjust all hinges, stays and latches to ensure opening units functioning as intended - *Significance: neutral effect on significance*
- Prepare all previously decorated surfaces and redecorate with brush applied satinwood paint to internal surfaces and brush applied exterior gloss paint to external surfaces - *Significance: neutral effect on significance*
- Install new metal framed slimline horizontal sliding secondary glazing units to inner face of windows as detailed in Appendix B - *Significance: minimal effect on significance. Enhanced environmental impact and usability of the property without replacing original units.*



3.1.2.3 Additional Features

3.1.2.3.1 Chimney Piece

To the centre of the south wall is a chimney breast incorporating an open fireplace with 1930's style glazed style surround. This appears to have been over clad with a timber framework and boarding which since been removed, leaving the timber support framework in place as per the image below:



View of existing fireplace

To the front of the fireplace the former inset hearth appears to have been removed and infilled with concrete as per the image below:



View of infilled hearth



○ **Condition**

The existing ceramic tile fire surround generally appears to be in fair condition with localised areas of damage to the low level tilework. All surfaces are dusty and dirty throughout.

○ **Proposed Works**

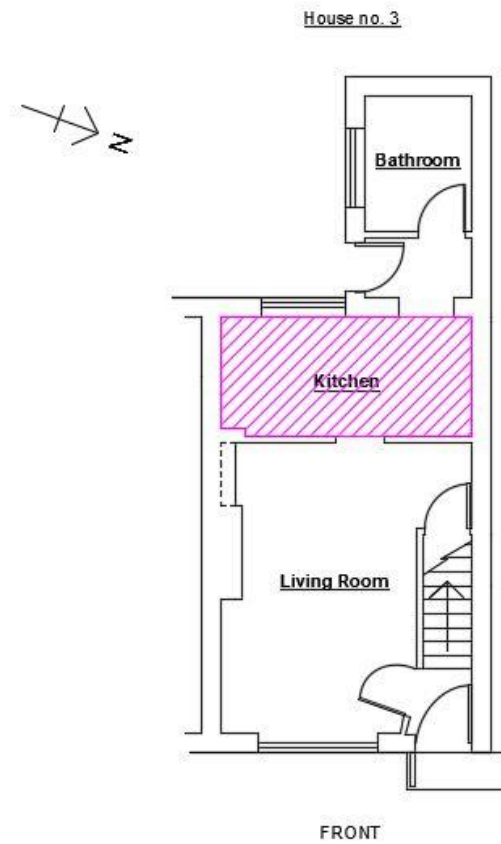
- Strip out redundant timber framework and fixings and make good surfaces as necessary.
- Thoroughly sweep the open chimney flue to remove all soot and debris.
- Install concealed plywood timber boarding on timber framework to flue opening above fireplace. Timber boarding to incorporate air vent to allow ventilation to flue above.
- Retain existing ceramic tiled fire surround and thoroughly clean all ceramic tiled surfaces.
- New edge fixed floor coverings to be installed up to the level of the existing fire surround and over the existing infilled hearth arrangement.

○ **Impact Assessment of Heritage Significance**

- Strip out redundant timber framework and fixings and make good surfaces as necessary - *Significance: positive effect on significance*
- Thoroughly sweep the open chimney flue to remove all soot and debris - *Significance: neutral effect on significance*
- Install concealed plywood timber boarding on timber framework to flue opening above fireplace. Timber boarding to incorporate air vent to allow ventilation to flue above - *Significance: positive effect on significance*
- Retain existing ceramic tiled fire surround and thoroughly clean all ceramic tiled surfaces - *Significance: neutral effect on significance/fabric*
- New edge fixed floor coverings to be installed up to the level of the existing fire surround and over the existing infilled hearth arrangement - *Significance: positive effect on significance*



3.1.3 Kitchen



General view of Kitchen



3.1.3.1 Building Fabric

3.1.3.1.1 Floor

The existing floor comprises a solid structure with a screeded concrete surface as per the image below:



View of Kitchen Floor Surface

○ **Condition**

The concrete screed and structure appear to be in sound condition and free from visible defects, although all the floor surfaces is covered with surface dirt and debris throughout.

○ **Proposed Works**

- Clear all surface dirt and debris,
- Once cleared, assess all concrete surfaces for damage or deterioration. If any loose or friable materials are found, carry out concrete repairs to match the profile of the existing,
- Install new sheet vinyl floor coverings.

○ **Impact Assessment of Heritage Significance**

- Clear all surface dirt and debris - *Significance: neutral effect on significance*
- Once cleared, assess all concrete surfaces for damage or deterioration. If any loose or friable materials are found, carry out concrete repairs to match the profile of the existing - *Significance: neutral effect on significance*
- Install new sheet vinyl floor coverings - *Significance: neutral effect on significance*



3.1.3.1.2 Walls

The walls are of solid masonry construction and appear to have been finished with a two-coat lime-based plaster. Where visible, parts of the room appear to have been re-finished with a modern gypsum-based plaster.

All wall surfaces are decorated with patterned vinyl wallpaper. This has been vandalised in areas with graffiti as per the image below:



General view of Kitchen walls

Wall surfaces to the south aspect of the room have been covered with white ceramic 120 x 120 mm tiles to dado height, as per the image below:



Ceramic tile wall finishes.



○ **Condition**

All decorative finishes are stained and discoloured throughout. Wallpaper finishes are de-bonding in places.

The wall surfaces appear generally sound although the plaster finishes and decorations have suffered damage in some areas where redundant wall mounted fittings have been removed as illustrated below:



Damage caused by the removal of former wall mounted fittings

Low level wall surfaces to the north and east of the room appear to have suffered damage and deterioration due to water ingress as per the image below:



Damp affected wall surfaces



○ **Proposed Works**

- Strip off and dispose of all existing wallpaper and ceramic tile coverings,
- All loose, friable and damp affected plaster surfaces are to be removed to a stable substrate. (The full extent of damaged plasterwork is to be assessed following removal of all decorative wall coverings),
- Where removed, plaster surfaces to be reinstated using non-hydraulic lime-based plaster applied to the level of the existing finishes,
- All stable and un-damaged plaster wall surfaces will be retained,
- All new and existing plaster wall surfaces to be re-decorated with emulsion paint and new ceramic tile splashbacks will be fitted to the rear of all newly installed kitchen worksurfaces.

○ **Impact Assessment of Heritage Significance**

- Strip off and dispose of all existing wallpaper and ceramic tile coverings - *Significance: neutral effect on significance*
- All loose, friable and damp affected plaster surfaces are to be removed to a stable substrate - *Significance: neutral effect on significance*
- Where removed, plaster surfaces to be reinstated using non-hydraulic lime-based plaster applied to the level of the existing finishes - *Significance: neutral effect on significance*
- All stable and un-damaged plaster wall surfaces will be retained - *Significance: neutral effect on significance/fabric*
- All new and existing plaster wall surfaces to be re-decorated with emulsion paint and new ceramic tile splashbacks will be fitted to the rear of all newly installed kitchen worksurfaces - *Significance: enhancement to significance*



3.1.3.1.3 Ceiling

The ceiling appears to be comprised of gypsum plasterboard covered with polystyrene ceiling tiles and decorated with emulsion paint. There is no cornicing or coving detail. A general view of the ceiling is shown below.



General view of Kitchen ceiling

○ Condition

The polystyrene ceiling tiles have de-bonded and fallen away throughout the room. The underlying plasterboard finishes are distorted throughout and where exposed appear to have been affected by water ingress. To the centre of the room, a section of plasterboard appears to have fallen away, exposing the underlying timber floor structure, as per the image below:



General view of Kitchen ceiling



○ **Proposed Works**

- Remove polystyrene tiles and plasterboard surfaces in their entirety and dispose.
- Install new gypsum plasterboard ceilings complete with gypsum plaster skim.
- Redecorate all new plaster surfaces with emulsion paint.

○ **Impact Assessment of Heritage Significance**

- Remove polystyrene tiles and plasterboard surfaces in their entirety and dispose - *Significance: neutral effect on significance*
- Install new gypsum plasterboard ceilings complete with gypsum plaster skim - *Significance: neutral effect on significance*
- Redecorate all new plaster surfaces with emulsion paint - *Significance: neutral effect on significance*



3.1.3.2 Joinery

3.1.2.3.1 Skirting Boards

No skirting boards installed, as per the image below:



No skirting boards installed

- **Condition**

Not applicable.

- **Proposed Works**

- Install new timber skirting boards to match the profile and dimensions of the adjacent Living Room. Details of this skirting board are included in Appendix A,
- Prepare new skirting boards and redecorate with new brush applied satinwood paint.

- **Impact Assessment of Heritage Significance**

- Install new timber skirting boards to match the profile and dimensions of the adjacent Living Room - *Significance: positive effect on significance*
- Prepare new skirting boards and redecorate with new brush applied satinwood paint - *Significance: positive effect on significance*

3.1.2.3.2 Dado Rail

No dado rail installed.

3.1.2.3.3 Picture Rail

No picture rail installed.



3.1.2.3.4 Doors

No doors installed, as per the images below:



View of entrance to living room.



View of entrance to rear lobby

Cont/..



- **Condition**

Not applicable.

- **Proposed Works**

- Door to rear lobby:
 - Retain existing door arrangement. No works proposed.
- Kitchen entrance door:
 - Strip out existing timber linings and dispose.
 - Close up existing kitchen door opening and form new door opening to kitchen as per details included in Appendix C.
 - Supply and install new timber door linings and architraves to newly formed kitchen entrance door. All new joinery to match the details and dimensions of those installed to the existing living room entrance door, as per the image below:



View of living room entrance door

- **Impact Assessment of Heritage Significance**

- Door to rear lobby:
 - Retain existing door arrangement. No works proposed - *Significance: N/a*
- Kitchen entrance door:
 - Strip out existing timber linings and dispose - *Significance: reinstate original opening - positive effect on significance*



- Close up existing kitchen door opening and form new door opening to kitchen as per details included in Appendix C - *Significance: reinstate original opening - positive effect on significance*
- Supply and install new timber door linings and architraves to newly formed kitchen entrance door. All new joinery to match the details and dimensions of those installed to the existing living room entrance door - *Significance: reinstate original opening - positive effect on significance*

3.1.2.3.5 Door Architraves

All linings and architraves to the rear entrance lobby have been removed, as per the image below:



Door lining and architrave to rear entrance lobby removed

The kitchen entrance door incorporates timber door linings and a plain architrave with pencil filleted front edge as detailed in Appendix A. All timber has a gloss painted finish as per image below:



Door lining and architrave to kitchen entrance

○ **Condition**

The kitchen entrance door linings and architraves have been affected by damp ingress and as such are in poor condition throughout. All timbers are softened and distorted in a manner indicative of fungal decay. This corresponds with the water damage noted to adjacent wall surfaces as per the image below:



Decayed timber door lining and architrave



- **Proposed Works**

- Kitchen entrance door:

- Remove all existing joinery and dispose.
- Following re-location of door opening (as detailed in 'Doors' item above), install new timber door lining and Ovolo style architrave to match those of the adjacent living room. This proposed joinery detail is included in Appendix A.
- Prepare timber surfaces and decorate with brush applied satinwood paint.

- Rear lobby entrance:

- Install new timber door lining and Ovolo style architrave to match those of the adjacent living room. This proposed joinery detail is included in Appendix A.
- Prepare timber surfaces and redecorate with brush applied satinwood paint.

- **Impact Assessment of Heritage Significance**

- Kitchen entrance door:

- Remove all existing joinery and dispose - *Significance: neutral effect on significance*
- Following re-location of door opening (as detailed in 'Doors' item above), install new timber door lining and Ovolo style architrave to match those of the adjacent living room - *Significance: Enhancement to significance*
- Prepare timber surfaces and decorate with brush applied satinwood paint - *Significance: Enhancement to significance*

- Rear lobby entrance:

- Install new timber door lining and Ovolo style architrave to match those of the adjacent living room - *Significance: Positive effect on significance*
- Prepare timber surfaces and redecorate with brush applied satinwood paint - *Significance: Positive effect on significance*



3.1.2.3.6 Windows

The windows comprise 1 no. timber framed, two light casement unit fitted with single glazed sheet glass. An opening unit is fitted to the right-hand side whereas the left-hand unit is fixed.

The opening light incorporates 1 no. modern metal latch. A friction stay appears to have been removed from the lower edge of the opening unit.

The inner face of the window incorporates timber reveals with no architrave and the window cill is finished with 120 x 120mm ceramic tiles.

All inner surfaces have been decorated with gloss paint.

The outer face of the window is over-boarded. The inner face of this window is shown below:



View of existing window



View of opening unit and ceramic tiled cill



View of opening unit

○ Condition

The outer face of the window unit is over-boarded and as such is not visible. The inner surfaces appear to be in fair condition, although close examination reveals a low quality installation of differing size to surrounding window opening. All surfaces are stained and discoloured throughout.

○ Proposed Works

- Remove outer boarding, casement window unit, window reveals and architraves and dispose.
- Install new timber framed, casement unit complete with clear sheet single glazing and applied lead strips. Full details of replacement window unit are included in Appendix A.
- Prepare all surfaces and redecorate with brush applied satinwood paint to internal surfaces and brush applied exterior gloss paint to external surfaces.
- Install new metal framed slimline horizontal sliding secondary glazing units to inner face of windows as detailed in Appendix B.

○ Impact Assessment of Heritage Significance

- Remove outer boarding, casement window unit, window reveals and architraves and dispose - *Significance: Neutral effect on significance*
- Install new timber framed, casement unit complete with clear sheet single glazing and applied lead strips - *Significance: Neutral effect on significance*
- Prepare all surfaces and redecorate with brush applied satinwood paint to internal surfaces and brush applied exterior gloss paint to external surfaces - *Significance: Neutral effect on significance*
- Install new metal framed slimline horizontal sliding secondary glazing units to inner face of windows as detailed in Appendix B - *Significance: minimal effect on significance. Enhanced environmental impact and usability of the property without replacing original units.*



3.1.3.3 Additional Features

3.1.3.3.1 Chimney Piece

There is no chimney breast in this room. The chimney breast formerly located to the southern aspect of the room has been removed, as per the image below:



View of southern aspect of the room

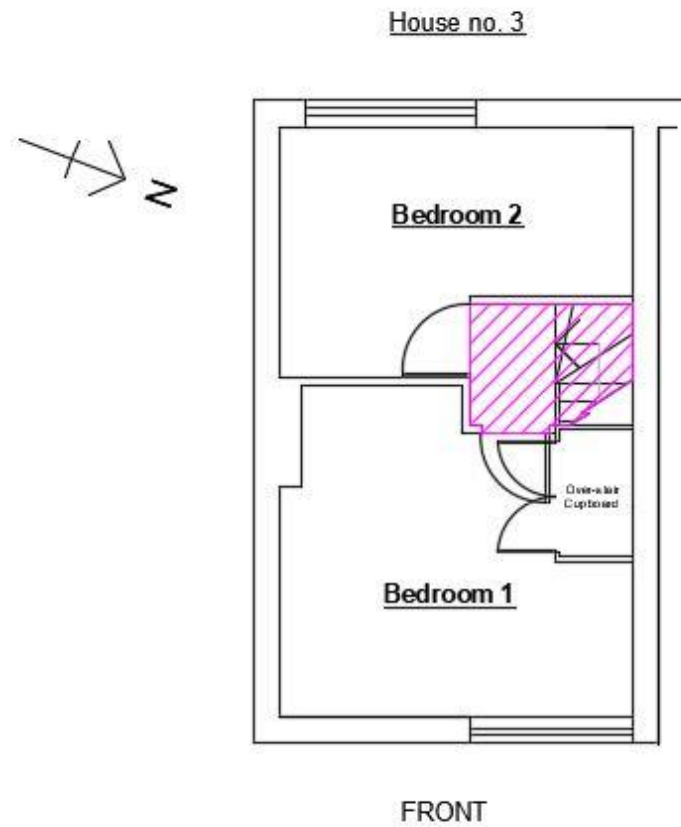
- Condition

Not applicable.



3.2 First Floor

3.2.1 Landing





3.2.1.1 Building Fabric

3.2.1.1.1 Floor

The existing floor comprises timber joists covered with traditional timber boards. Where former edge fixed carpet floor coverings have previously been removed, remnants of carpet underlay and fitted gripper rods are still in place as visible below:



General view of landing floor surfaces

○ Condition

The exposed timber floor surfaces appear to be in fair condition with no visible defects although all surfaces are covered with dirt and debris.

○ Proposed Works

- Clear all surface dirt and debris.
- Retain all existing timber surfaces and re-secure any loose floor boards where necessary,
- Install new edge-fixed carpet floor coverings.

○ Impact Assessment of Heritage Significance

- Clear all surface dirt and debris - *Significance: Neutral effect on significance*
- Retain all existing timber surfaces and re-secure any loose floor boards where necessary - *Significance: Neutral effect on significance*
- Install new edge-fixed carpet floor coverings - *Significance: Neutral effect on significance*



3.2.1.1.2 Walls

The walls are a mixture of solid masonry and timber stud construction and appear to have been finished with a two-coat lime-based plaster. The walls have been finished with patterned wallpaper as per the image below:



General view of landing walls

○ Condition

Decorative wallpaper and paint finishes are stained, discoloured and de-bonding throughout. The wall surfaces appear generally sound although plaster finishes appear friable in some areas.

○ Proposed Works

- Strip off and dispose of all existing wallpaper coverings,
- All loose, friable or damaged plaster surfaces are to be removed to a stable substrate. (The full extent of defective plasterwork is to be assessed following removal of all decorative wall coverings),
- Where removed, plaster surfaces to be reinstated using non-hydraulic lime-based plaster applied to the level of the existing finishes.,
- All stable and un-damaged plaster wall surfaces will be retained,
- All new and existing plaster wall surfaces to be covered with lining paper and decorated with emulsion paint.



○ **Impact Assessment of Heritage Significance**

- Strip off and dispose of all existing wallpaper coverings - *Significance: Neutral effect on significance*
- All loose, friable or damaged plaster surfaces are to be removed to a stable substrate - *Significance: Neutral effect on significance*
- Where removed, plaster surfaces to be reinstated using non-hydraulic lime-based plaster applied to the level of the existing finishes - *Significance: Neutral effect on significance*
- All stable and un-damaged plaster wall surfaces will be retained - *Significance: Neutral effect on significance/fabric*
- All new and existing plaster wall surfaces to be covered with lining paper and decorated with emulsion paint - *Significance: Neutral effect on significance*



3.2.1.1.3 Timber Panelled Walls

The partition walls forming the head of the stairwell are of stud timber construction with a timber panelled surface. These finishes have been covered with plywood and decorated with emulsion paint as per the image below:



Overboarded timber panelled landing walls

○ Condition

All boarded surfaces appear to be in fair condition and free from any visible defects. All underlying panelled surfaces are concealed and cannot be inspected.

○ Proposed Works

- Remove plywood overboarding and expose underlying timber panelled surfaces.
- Make good surfaces as necessary.
- Prepare and redecorate new and existing timber surfaces with brush applied satinwood paint.

○ Impact Assessment of Heritage Significance

- Remove plywood overboarding and expose underlying timber panelled surfaces - *Significance: Enhancement to significance/fabric*
- Make good surfaces as necessary - *Significance: Neutral effect on significance/fabric*
- Prepare and redecorate new and existing timber surfaces with brush applied satinwood paint - *Significance: Neutral effect on significance/fabric*



3.2.1.1.4 Ceiling

The ceiling appears to be lime-based plaster applied on timber laths. The ceiling surfaces have been covered with ceiling paper and decorated with emulsion paint.

In the north-west corner is a hinged timber access hatch to the roof void above. In the centre of the ceiling is a modern pendant light fitting and plastic ceiling rose. A general view of the ceiling is below:



View of landing ceiling

○ Condition

Approximately 80% of the ceiling paper finishes have de-bonded and fallen away, exposing the underlying plaster surfaces. These appear to be in fair condition with no visible defects save localised hairline cracking.

○ Proposed Works

- Retain existing plaster ceiling surfaces and timber access hatch,
- Remove existing pendant light fitting and replace with new,
- Prepare existing plaster surfaces and redecorate with emulsion paint.

○ Impact Assessment of Heritage Significance

- Retain existing plaster ceiling surfaces and timber access hatch - *Significance: Neutral effect on significance/fabric*
- Remove existing pendant light fitting and replace with new - *Significance: Neutral effect on significance*
- Prepare existing plaster surfaces and redecorate with emulsion paint - *Significance: Neutral effect on significance/fabric*



3.2.1.2 Joinery

3.2.1.2.1 Skirting Boards

Timber skirting boards have been fitted to all perimeter walls and comprise a simple painted timber board with a pencil filleted top edge. All skirtings have been decorated with a gloss painted finish. A typical view of the skirting boards is as below:



Typical view of landing skirting board

○ Condition

The decorated surfaces are discoloured, dirty and chipped throughout. The timber skirtings appear generally sound with minor areas of impact damage.

○ Proposed Works

- Retain existing timber skirtings,
- Prepare and redecorate with new brush applied satinwood paint.

○ Impact Assessment of Heritage Significance

- Retain existing timber skirtings - *Significance: Neutral effect on significance/fabric*
- Prepare and redecorate with new brush applied satinwood paint - *Significance: Neutral effect on significance/fabric*

3.2.1.2.2 Dado Rail

No dado rail installed.



3.2.1.2.3 Picture Rail

No picture rail installed.

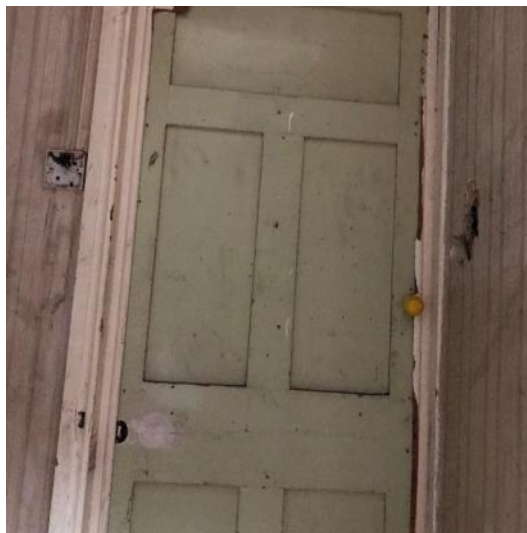
3.2.1.2.4 Doors

The doors to Bedroom 1 and Bedroom 2 comprise solid timber five panelled doors with gloss painted finishes. The panelled surfaces have been overboarded with decorated plywood. Each door is fitted with plastic door knobs and cylinder latches.

The details and dimensions of these doors are included in Appendix A. Images of these doors are as below:



Entrance to Bedroom 1



Entrance to Bedroom 2



- **Condition**

The plastic door furniture and cylinder latches fitted to each door are damaged/partially removed, as per the images below:



Damaged/missing plastic door furniture to Bedroom 1

The Bedroom 1 entrance door appears to have been re-hung and the direction of door-swing reversed. Remnants of a plastic door knob and an overpainted metal escutcheon remain on the now hinged side of the door, as shown below:



Plastic door furniture to Bedroom 2

The Bedroom 1 entrance door appears to have been forced open and as a result has suffered damage to the leading edge, as per the image below:



Split/damaged timber to leading edge of Bedroom 1 entrance door

The plywood boarding to the external face of the Bedroom 2 entrance door has for the most part been removed, exposing the timber panelled surfaces beneath, as per the image below:



Damaged plywood overboarding to Bedroom 2 Entrance door



○ **Proposed Works**

- Remove plywood boarding and plastic door furniture from existing doors and dispose, making good underlying surfaces as necessary.
- Carry out repairs to damaged timberwork. All repairs/replacement timbers to match the detail and dimensions of the existing.
- Prepare all timber surfaces and redecorate with brush applied satinwood paint.
- Where removed, install replacement door furniture – ironmongery details to be confirmed.

○ **Impact Assessment of Heritage Significance**

- Remove plywood boarding and plastic door furniture from existing doors and dispose, making good underlying surfaces as necessary - *Significance: Enhancement to significance*
- Carry out repairs to damaged timberwork. All repairs/replacement timbers to match the detail and dimensions of the existing - *Significance: Neutral effect on significance*
- Prepare all timber surfaces and redecorate with brush applied satinwood paint - *Significance: Neutral effect on significance*
- Where removed, install replacement door furniture – ironmongery details to be confirmed - *Significance: Neutral effect on significance*



3.2.1.2.5 Door Architraves

The doors to Bedroom 1 and Bedroom 2 incorporate timber softwood door linings with complete with 'Ovolo' style architraves.

All timber surfaces are decorated with a gloss painted finish. A cross section of this detail is included in Appendix A. A view of the architrave is as below:



Door architrave detail

○ Condition

All timber surfaces appear to be in fair condition although the decorated surfaces are discoloured throughout.

○ Proposed Works

- Retain all door linings and architraves as existing,
- Prepare timber surfaces and redecorate with brush applied satinwood paint.

○ Impact Assessment of Heritage Significance

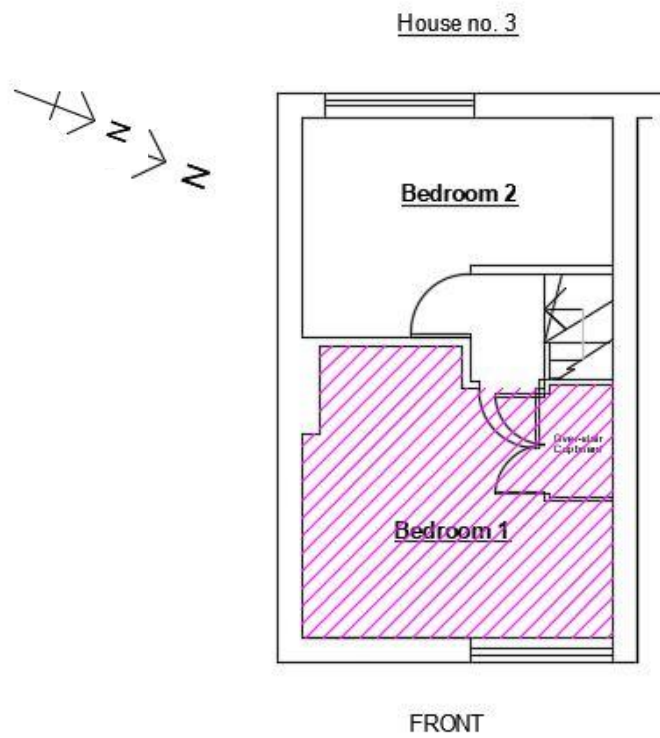
- Retain all door linings and architraves as existing - *Significance: Neutral effect on significance/fabric*
- Prepare timber surfaces and redecorate with brush applied satinwood paint - *Significance: Neutral effect on significance/fabric*

3.2.1.2.6 Windows

There are no windows in this area.



3.2.2 Bedroom 1



General view of bedroom 1



3.2.2.1 Building Fabric

3.2.2.1.1 Floor

The existing floor comprises timber joists covered with traditional timber boards as per the image below:



Bedroom floor surface

○ Condition

The exposed timber floor surfaces appear to be in fair condition with no visible defects, although 1 no. floor board to the western aspect of the room has been removed, as per the image below:



1 no. timber floorboard removed



○ **Proposed Works**

- Clear all surface dirt and debris.
- Replace any missing floorboards with new to match the dimensions and levels of the existing,
- Re-fix existing floorboards where loose,
- Retain existing floor coverings and install new edge-fixed carpet floor coverings throughout.

○ **Impact Assessment of Heritage Significance**

- Clear all surface dirt and debris - *Significance: Neutral effect on significance*
- Replace any missing floorboards with new to match the dimensions and levels of the existing - *Significance: Neutral effect on significance*
- Re-fix existing floorboards where loose - *Significance: Neutral effect on significance*
- Retain existing floor coverings and install new edge-fixed carpet floor coverings throughout.



3.2.2.1.2 Walls

The walls are a mixture of solid masonry and timber stud construction and appear to have been finished with a two-coat lime-based plaster. The walls have been finished with patterned wallpaper, as per the image below:



General view of bedroom walls

○ Condition

All decorative finishes are faded and discoloured throughout and the patterned wallpaper is de-bonding in places. The wall surfaces appear generally sound with no visible defects.

○ Proposed Works

- Strip off and dispose of all existing wallpaper coverings.
- All loose, friable or damaged plaster surfaces are to be removed to a stable substrate. (The full extent of defective plasterwork is to be assessed following removal of all decorative wall coverings),
- Where removed, all plaster surfaces to be reinstated using non-hydraulic lime-based plaster applied to the level of the existing finishes,
- All stable and un-damaged plaster wall surfaces will be retained,
- All new and existing plaster wall surfaces to be covered with lining paper and decorated with emulsion paint.



○ **Impact Assessment of Heritage Significance**

- Strip off and dispose of all existing wallpaper coverings - *Significance: Neutral effect on significance*
- All loose, friable or damaged plaster surfaces are to be removed to a stable substrate - *Significance: Neutral effect on significance*
- Where removed, all plaster surfaces to be reinstated using non-hydraulic lime-based plaster applied to the level of the existing finishes - *Significance: Neutral effect on significance*
- All stable and un-damaged plaster wall surfaces will be retained - *Significance: Neutral effect on significance/fabric*
- All new and existing plaster wall surfaces to be covered with lining paper and decorated with emulsion paint - *Significance: Neutral effect on significance*



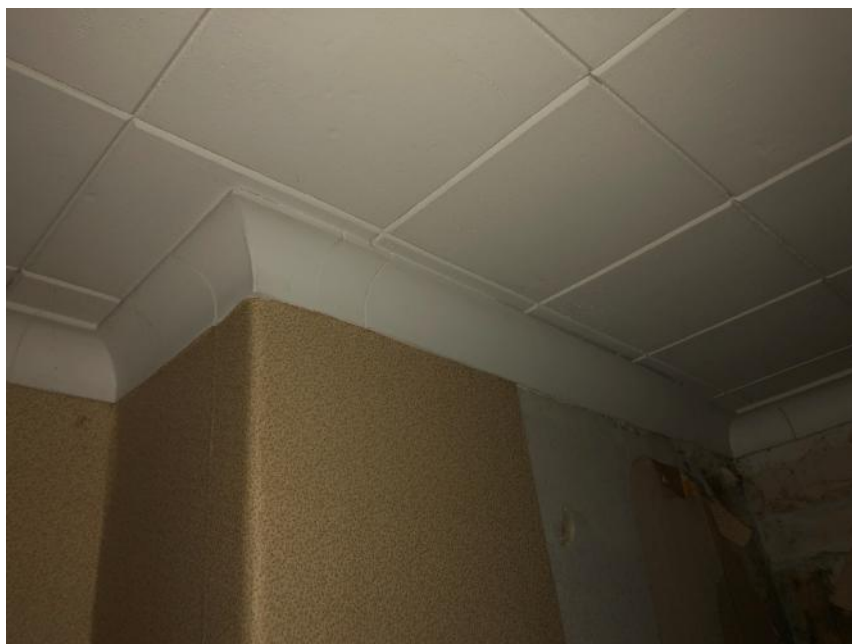
3.2.2.1.3 Ceiling

The ceiling appears to be lime-based plaster applied on timber laths. The ceiling surfaces have been covered with polystyrene tiles and decorated with emulsion paint.

In the centre of the ceiling is a modern pendant light fitting and plastic ceiling rose. Modern plaster covings have been fitted to the wall/ceiling junctions. A general view of the ceiling is below:



General view of bedroom ceiling



Bedroom ceiling/wall junction



○ **Condition**

The decorative finishes are generally discoloured throughout. The polystyrene tiles have de-bonded in places, exposing the underlying plaster surfaces. There is 1 no. area of damaged plasterwork to the north-east corner of the room of approximately 0.3 square metres as per the image below:



Damaged plasterwork

○ **Proposed Works**

- Strip off existing polystyrene coverings and surface mounted plaster covings and dispose,
- All loose, friable or damaged plaster surfaces are to be removed to a stable substrate. (The full extent of defective plasterwork is to be assessed following removal of all decorative coverings),
- Where removed, all plaster surfaces to be reinstated using non-hydraulic lime-based plaster applied to the level of the existing finishes,
- All stable and un-damaged plaster wall surfaces will be retained,
- Remove existing pendant light fitting and replace with new.
- Prepare existing and new plaster surfaces and redecorate with emulsion paint.



○ **Impact Assessment of Heritage Significance**

- Strip off existing polystyrene coverings and surface mounted plaster covings and dispose - *Significance: Enhancement to significance*
- All loose, friable or damaged plaster surfaces are to be removed to a stable substrate - *Significance: Neutral effect on significance*
- Where removed, all plaster surfaces to be reinstated using non-hydraulic lime-based plaster applied to the level of the existing finishes - *Significance: Neutral effect on significance*
- All stable and un-damaged plaster wall surfaces will be retained - *Significance: Neutral effect on significance/fabric*
- Remove existing pendant light fitting and replace with new - *Significance: Neutral effect on significance*
- Prepare existing and new plaster surfaces and redecorate with emulsion paint - *Significance: Neutral effect on significance*



3.2.2.2 Joinery

3.2.2.2.1 Skirting Boards

Timber skirting boards have been fitted to all perimeter walls and comprise a simple painted timber board with a pencil filleted top edge. All skirtings have been decorated with a gloss painted finish. A typical view of the skirting boards is as per the image below:



Typical view of bedroom skirting board

○ Condition

The decorated surfaces are discoloured, dirty and chipped throughout. The timber skirtings appear generally sound with minor areas of impact damage.

○ Proposed Works

- Retain existing timber skirtings,
- Prepare and redecorate with new brush applied satinwood paint.

○ Impact Assessment of Heritage Significance

- Retain existing timber skirtings - *Significance: Neutral effect on significance/fabric*
- Prepare and redecorate with new brush applied satinwood paint - *Significance: Neutral effect on significance/fabric*

3.2.2.2.2 Dado Rail

No dado rail installed.

3.2.2.2.3 Picture Rail

No picture rail installed.



3.2.2.2.4 Doors

- Entrance Door

The bedroom entrance door is detailed in the 'Landing' section above.

3.2.2.2.5 Door Architraves

The bedroom entrance incorporates a timber softwood door lining complete with 'Ovolo' style architraves.

All timber surfaces are decorated with a gloss painted finish. A cross section of this detail is included in Appendix A. A view of the architrave is as below:



View of entrance door lining and architrave

All timber surfaces appear to be in fair condition although the decorated surfaces are discoloured throughout.

- **Proposed Works**

- Retain door lining and architraves as existing,
- Prepare timber surfaces and redecorate with brush applied satinwood paint.

- **Impact Assessment of Heritage Significance**

- Retain door lining and architraves as existing - *Significance: Neutral effect on significance/fabric*
- Prepare timber surfaces and redecorate with brush applied satinwood paint - *Significance: Neutral effect on significance/fabric*



3.2.2.2.6 Windows

The windows comprise 1 no. timber framed, three light casement unit with metal framed lights and clear sheet single glazing. An opening unit is fitted to the centre and the units to the left and right-hand sides are fixed.

The central opening light incorporates 1 no. metal friction stay and 1 no. cockspur window latch. A general view of the window is as per the image below:



View of existing bedroom 1 window

The upper and southern faces of the window incorporates timber reveals with 'Ogee' style moulded timber architraves. A round-edged timber window board complete with moulded timber beading is also incorporated. All inner surfaces have been decorated with gloss paint.

Details of the existing timber architrave are included in Appendix A. A general view of the architrave is as below:



View of existing bedroom 1 window architrave



View of opening unit



View of existing window board and beading

○ **Condition**

The outer face of the window unit is over-boarded and as such is not visible. The inner surfaces generally appear to be in sound condition, although all decorations are discoloured and dirty throughout.

Cont/..



○ **Proposed Works**

- Remove outer boarding and thoroughly inspect window units for damage and deterioration,
- Carry out localised timber repairs to external surfaces as necessary,
- Rake out existing glazing putties, remove existing sheet glazing and replace with single glazed sheet glass with applied leaded strips to outer face. Full details of the proposed installation are included in Appendix A.
- Ease and adjust all hinges, stays and latches to ensure opening units functioning as intended.
- Prepare all timber and metals surfaces and redecorate internal surfaces with brush applied satinwood paint. External surfaces to be redecorated with brush applied exterior gloss paint.
- Install new metal framed slimline horizontal sliding secondary glazing units to inner face of windows as detailed in Appendix B.

○ **Impact Assessment of Heritage Significance**

- Remove outer boarding and thoroughly inspect window units for damage and deterioration - *Significance: Neutral effect on significance*
- Carry out localised timber repairs to external surfaces as necessary - *Significance: Neutral effect on significance*
- Rake out existing glazing putties, remove existing sheet glazing and replace with single glazed sheet glass with applied leaded strips to outer face- *Significance: Neutral effect on significance*
- Ease and adjust all hinges, stays and latches to ensure opening units functioning as intended - *Significance: Neutral effect on significance*
- Prepare all timber and metals surfaces and redecorate internal surfaces with brush applied satinwood paint. External surfaces to be redecorated with brush applied exterior gloss paint - *Significance: Enhancement to significance*
- Install new metal framed slimline horizontal sliding secondary glazing units to inner face of windows as detailed in Appendix B - *Significance: minimal effect on significance. Enhanced environmental impact and usability of the property without replacing original units.*



3.2.2.3 Additional Features

3.2.2.3.1 Chimney Piece

A chimney breast is located to the south-west corner of the room. The former fireplace opening has been partially infilled. A polished concrete hearth inset level with the surrounding floor finishes remains at the position of the former fireplace as per the image below:



View of former fireplace position

○ Condition

All remaining wall and floor surfaces are in fair condition, although generally dusty and discoloured throughout.

○ Proposed Works

- Infill remaining opening flush with adjacent wall surfaces
- Install 1 no. wall mounted ventilation grille to former fireplace opening to provide ventilation to the redundant chimney flue.

○ Impact Assessment of Heritage Significance

- Infill remaining opening flush with adjacent wall surfaces - *Significance: Minimal effect on significance, however a positive improvement to current state.*
- Install 1 no. wall mounted ventilation grille to former fireplace opening to provide ventilation to the redundant chimney flue - *Significance: Neutral effect on significance*



3.2.2.3.2 Overstair Storage Cupboard

To the north of the room is a timber framed, full height storage cupboard with a timber panelled finish. All external surfaces have been overboarded with plywood to create a flush appearance. Timber panelled surfaces remain visible to the interior surfaces.

The unit incorporates 2 no. timber panelled doors and a raised inner floor providing a division between the bedroom and the stairwell below. All timber surfaces have a gloss painted finish with a textured wallpaper finish applied to the recessed timber panels.

An exterior view of the cupboard is as below:



View of over stair storage cupboard



Interior view of over stair storage cupboard

Door ironmongery includes 2 no. metal hinges per door. All door furniture has been removed, as per the images below:

Cont/..



Remnants of former door handles



Position of former locking mechanism

○ **Condition**

All surfaces generally appear to be in fair condition, although all decorations are dirty discoloured.

Cont/..



○ **Proposed Works**

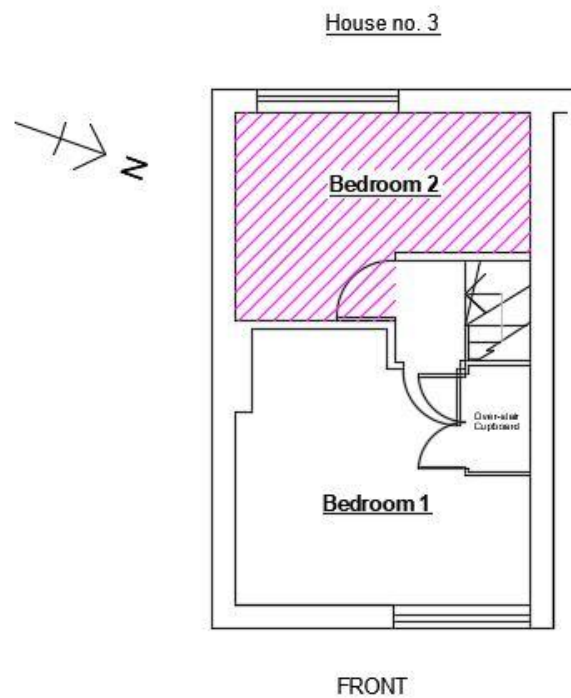
- Remove all plywood overboarding to expose underlying timber surfaces.
- Supply and install 1 no. solid timber shelf in place of existing,
- Prepare existing timber surfaces and redecorate with brush applied satinwood paint.
- Install new door furniture – ironmongery details to be confirmed.

○ **Impact Assessment of Heritage Significance**

- Remove all plywood overboarding to expose underlying timber surfaces - *Significance: Enhancement to significance*
- Supply and install 1 no. solid timber shelf in place of existing - *Significance: Neutral effect on significance*
- Prepare existing timber surfaces and redecorate with brush applied satinwood paint - *Significance: Neutral effect on significance*
- Install new door furniture – ironmongery details to be confirmed - *Significance: Neutral effect on significance*



3.2.3 Bedroom 2



General view of bedroom 2



3.2.3.1 Building Fabric

3.2.3.1.1 Floor

The existing floor comprises timber joists covered with traditional timber boards. An image of the floor is as below:



Bedroom floor surface

○ Condition

The majority of exposed timber floor surfaces appear to be in fair condition with no visible defects. However, a series of damaged floorboards to the north-west corner of the room have been removed, exposing the underlying floor structure, as per the image below:



1 no. lifted timber floor board

- **Proposed Works**
 - Clear all surface dirt and debris and remove all loose remnants of former carpet floor coverings,
 - Replace damaged floorboards to match dimensions of existing.
 - Secure existing floorboards where loose,
 - Retain existing floor coverings and install new edge-fixed carpet floor coverings throughout.
- **Impact Assessment of Heritage Significance**
 - Clear all surface dirt and debris and remove all loose remnants of former carpet floor coverings - *Significance: Neutral effect on significance*
 - Replace damaged floorboards to match dimensions of existing - *Significance: Neutral effect on significance*
 - Secure existing floorboards where loose - *Significance: Neutral effect on significance*
 - Retain existing floor coverings and install new edge-fixed carpet floor coverings throughout - *Significance: Neutral effect on significance*



3.2.3.1.2 Walls

The walls are a mixture of solid masonry and timber stud construction and appear to have been finished with a two-coat lime-based plaster. Where visible, some sections appear to have been re-finished with a gypsum based plaster. The walls have been decorated with patterned wallpaper, the majority which has been removed, as per the image below:



Typical view of bedroom wall

○ Condition

The majority of wallpaper finishes have de-bonded or been stripped off. The majority of plaster surfaces are in poor condition, having suffered damp ingress and patch repaired impact damage. Areas of damp ingress are particularly prevalent to the north and west of the room. Images of the plastered surfaces are as below:



Damp affected and damaged plaster surfaces



Damp affected plaster surfaces

○ **Proposed Works**

- Strip off remaining wall wallpaper coverings,
- All loose, friable or damaged plaster surfaces are to be removed to a stable substrate. (The full extent of defective plasterwork is to be assessed following removal of all decorative wall coverings),
- Where removed, all plaster surfaces to be reinstated using non-hydraulic lime-based plaster applied to the level of the existing finishes,
- All stable and un-damaged plaster wall surfaces will be retained,
- All new and existing plaster wall surfaces to be covered with lining paper and decorated with emulsion paint.

Cont/..



○ **Impact Assessment of Heritage Significance**

- Strip off remaining wall wallpaper coverings - *Significance: Neutral effect on significance*
- All loose, friable or damaged plaster surfaces are to be removed to a stable substrate - *Significance: Neutral effect on significance*
- Where removed, all plaster surfaces to be reinstated using non-hydraulic lime-based plaster applied to the level of the existing finishes - *Significance: Neutral effect on significance*
- All stable and un-damaged plaster wall surfaces will be retained - *Significance: Neutral effect on significance/fabric*
- All new and existing plaster wall surfaces to be covered with lining paper and decorated with emulsion paint - *Significance: Neutral effect on significance*



3.2.3.1.3 Ceiling

The ceiling comprises lime based plaster surfaces applied to timber laths and decorated with emulsion paint. In the centre of the ceiling is modern pendant light fitting and plastic ceiling rose. There are no coving or cornicing details in this room. A general view of the ceiling is below:



General view of bedroom ceiling

○ Condition

The ceilings have been affected by widespread water ingress and as such are in poor condition throughout. Approximately 70% of the plaster surfaces have de-bonded collapsed, exposing the underlying timber laths. The metal lath fixings exhibit surface corrosion throughout. A further image of the ceiling is as below:



Collapsed area of bedroom ceiling

○ **Proposed Works**

- Strip out all remaining damp affected plasterwork and dispose.
- Where removed, assess existing timber laths for damage and decay and replace where necessary.
- Apply new two-coat non-hydraulic lime based plaster finishes to all surfaces.
- Prepare and redecorate with emulsion paint.

○ **Impact Assessment of Heritage Significance**

- Strip out all remaining damp affected plasterwork and dispose - *Significance: Neutral effect on significance*
- Where removed, assess existing timber laths for damage and decay and replace where necessary - *Significance: Neutral effect on significance*
- Apply new two-coat non-hydraulic lime based plaster finishes to all surfaces - *Significance: Neutral effect on significance*
- Prepare and redecorate with emulsion paint - *Significance: Neutral effect on significance*



3.2.3.2 Joinery

3.2.3.2.1 Skirting Boards

Timber skirting boards have been fitted to all perimeter walls and comprise a simple painted timber board with a pencil filleted top edge. All skirtings have been decorated with a gloss painted finish. A typical view of the skirting boards is as per the image below:



Typical view of bedroom skirting board

○ Condition

The decorated surfaces are discoloured, dirty and damaged throughout.

To the north and west sides of the room, skirtings mounted adjacent to damp affected wall surfaces have suffered significant fungal decay and as such are in very poor condition, as per the image below:



View of decayed skirting boards



○ **Proposed Works**

- Thoroughly examine all timber skirtings for damage/decay. Remove all decayed timber sections back to stable timber joinery and dispose,
- Retain existing timber skirtings where stable,
- Where removed, replace timber skirtings to details and dimensions of the existing,
- Prepare all new and existing timber surfaces and redecorate with new brush applied satinwood paint.

○ **Impact Assessment of Heritage Significance**

- Thoroughly examine all timber skirtings for damage/decay. Remove all decayed timber sections back to stable timber and dispose - *Significance: Neutral effect on significance*
- Retain existing timber skirtings where stable - *Significance: Neutral effect on significance/fabric*
- Where removed, replace timber skirtings to match details and dimensions of the existing - *Significance: Neutral effect on significance*
- Prepare all new and existing timber surfaces and redecorate with new brush applied satinwood paint - *Significance: Neutral effect on significance*

3.2.3.2.2 Dado Rail

No dado rail installed.

3.2.3.2.3 Picture Rail

No picture rail installed.

3.2.3.2.4 Doors

▪ **Entrance Door**

The bedroom entrance door is detailed in the 'Landing' section above.



3.2.3.2.5 Door Architraves

The bedroom entrance incorporates a timber softwood door lining complete with 'Ovolo' style architraves.

All timber surfaces are decorated with a gloss painted finish. A cross section of this detail is included in Appendix A. A view of the architrave is as below:



View of entrance door lining and architrave

All timber surfaces appear to be in fair condition although the decorated surfaces are discoloured throughout.

- **Proposed Works**
 - Retain door lining and architraves as existing,
 - Prepare timber surfaces and redecorate with brush applied satinwood paint.
- **Impact Assessment of Heritage Significance**
 - Retain door lining and architraves as existing - *Significance: Neutral effect on significance/fabric*
 - Prepare timber surfaces and redecorate with brush applied satinwood paint - *Significance: Neutral effect on significance/fabric*



3.2.3.2.6 Windows

The windows comprise 1 no. timber framed, three light casement unit with timber framed lights and clear sheet single glazing. An opening unit is fitted to the centre and the units to the left and right-hand sides are fixed.

The central opening light incorporates 1 no. metal friction stay and the partial remains 1 no. metal window latch. A general view of the window is as per the image below:



View of existing bedroom window

The external faces of the window incorporate timber reveals with 'Ogee' style moulded timber architraves and a timber window board complete with rounded edge and moulded timber beading. All timber surfaces have been decorated with gloss paint.

Details of the existing timber architrave are included in Appendix A. A general view of the architrave and window board details are as below:



View of existing bedroom window architrave



View of existing bedroom window board and moulding



View of opening unit

○ **Condition**

The outer face of the window unit is over-boarded and as such is not visible. The northern section of the window appears to have suffered timber decay where adjacent to damp affected wall surfaces. The timber window board, reveal and architrave have softened and distorted in this area as per the image below:



View of damaged timber window board

The remaining timber surfaces appear in fair condition with no visible defects, although all decorations are worn and discoloured throughout.



○ **Proposed Works**

- Remove outer boarding and thoroughly inspect window units for damage and deterioration,
- Carry out localised timber repairs to external surfaces as necessary,
- Remove damp affected timbers to inner face of window and replace to match details and dimensions of the existing,
- Rake out existing glazing putties, remove existing sheet glazing and replace with single glazed sheet glass with applied leaded strips to outer face. Full details of the proposed installation are included in Appendix A,
- Replace missing metal latch and ease and adjust all hinges and stays to ensure opening units functioning as intended,
- Prepare all timber and metal surfaces and redecorate internal surfaces with brush applied satinwood paint. External surfaces to be redecorated with brush applied exterior gloss paint,
- Install new metal framed slimline horizontal sliding secondary glazing units to inner face of windows as detailed in Appendix B.

○ **Impact Assessment of Heritage Significance**

- Remove outer boarding and thoroughly inspect window units for damage and deterioration - *Significance: Enhancement to significance*
- Carry out localised timber repairs to external surfaces as necessary - *Significance: Neutral effect on significance*
- Remove damp affected timbers to inner face of window and replace to match details and dimensions of the existing - *Significance: Neutral effect on significance*
- Rake out existing glazing putties, remove existing sheet glazing and replace with single glazed sheet glass with applied leaded strips to outer face - *Significance: Neutral effect on significance*
- Replace missing metal latch and ease and adjust all hinges and stays to ensure opening units functioning as intended - *Significance: Neutral effect on significance*
- Prepare all timber and metal surfaces and redecorate internal surfaces with brush applied satinwood paint. External surfaces to be redecorated with brush applied exterior gloss paint - *Significance: Neutral effect on significance*
- Install new metal framed slimline horizontal sliding secondary glazing units to inner face of windows as detailed in Appendix B - *Significance: minimal effect on significance. Enhanced environmental impact and usability of the property without replacing original units.*



3.2.3.3 Additional Features

3.2.3.3.1 Chimney Piece

There is no chimney piece in this room. The former chimney breast appears to have been removed and the chimney stack supported by a rolled steel joist, as per the images below:



View of former chimneybreast position



View of rolled steel support joist



- **Condition**

Not applicable.

- **Proposed Works**

- Retain as per existing arrangement.



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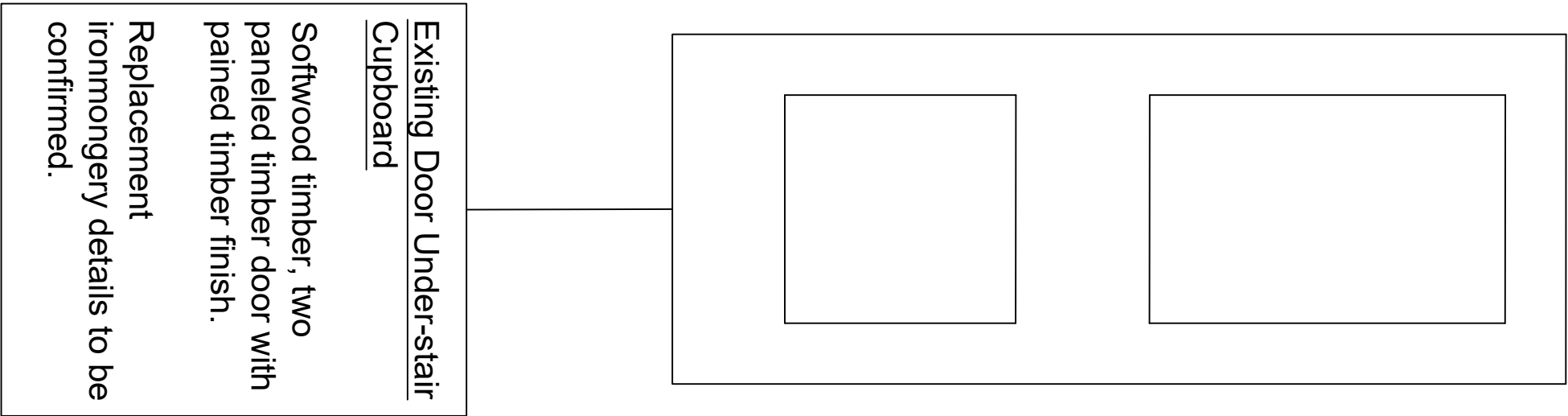
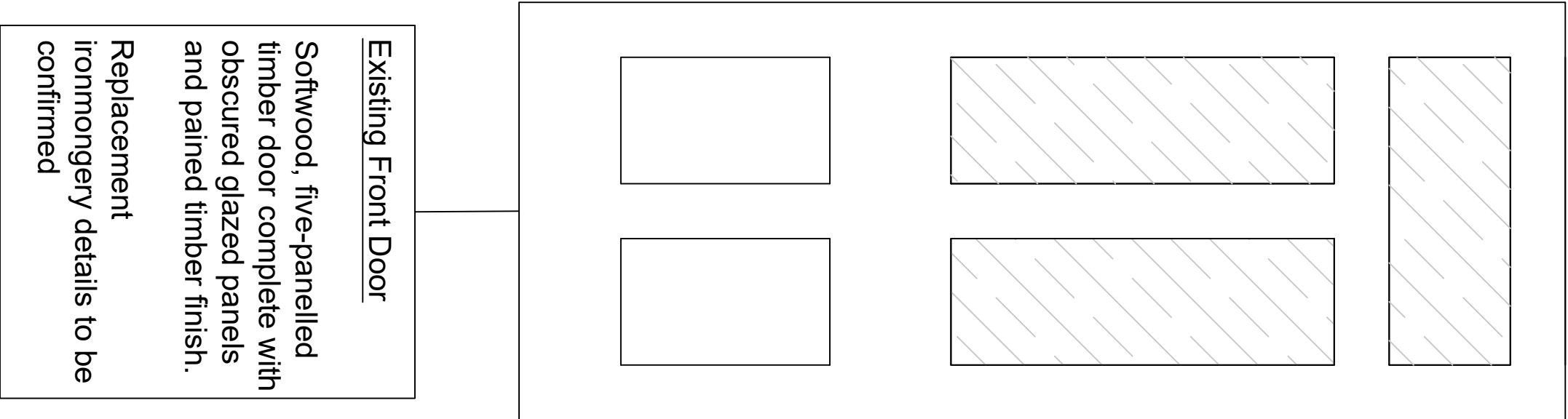
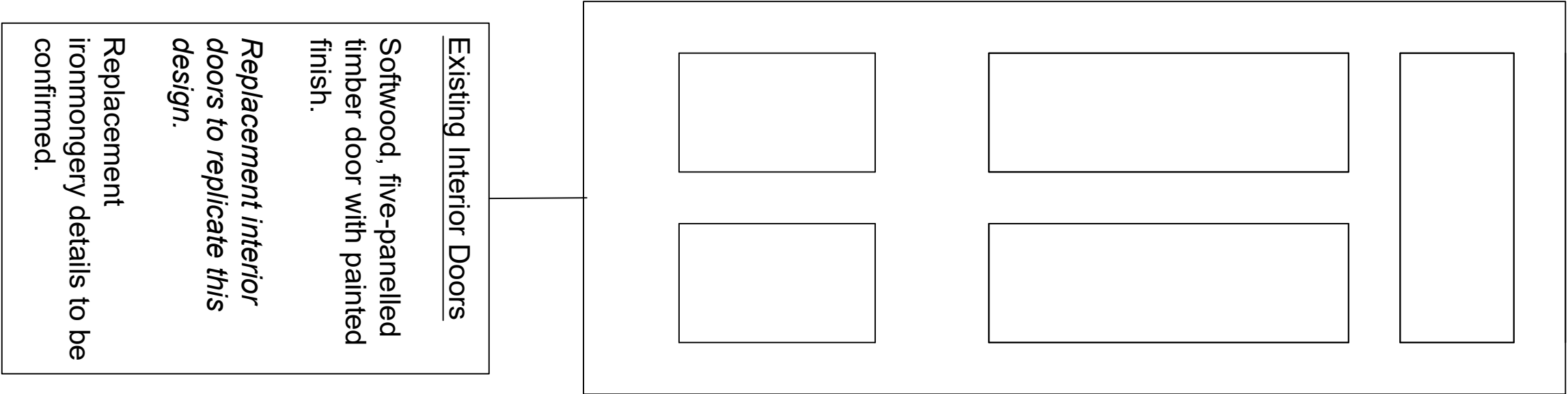
Appendix A

Existing and Proposed Joinery

WEST END OFFICE
33 Cavendish Square
London W1G 0PW
T: 020 7891 2345

CITY OFFICE
18 St Swithins Lane
London EC4N 8AD
T: 020 7891 2345

Regulated by RICS



Rev.	Date	Details
All dimensions and levels are to be checked on site by the Contractor and any discrepancies are to be referred to the Surveyors before any works are put in hand.		

Client London Fire Commissioner

Site Address West Hampstead Fire Station
325 West End Lane
West Hampstead, NW6

Project Firefighter's Cottages

Drawing Title House no. 1 - Details of Existing and Proposed Doors

Job no. 26849


Drawn by CD

Printed 10/08/19

Scale 1:5

Print size A2

Cad Ref. H1D-01



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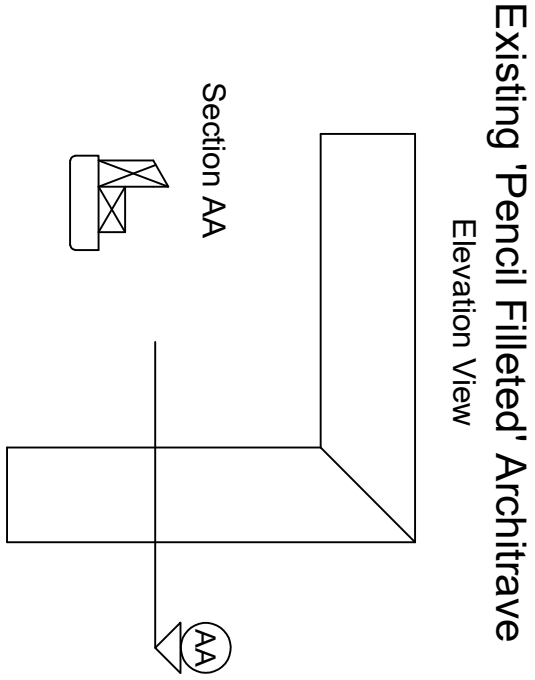
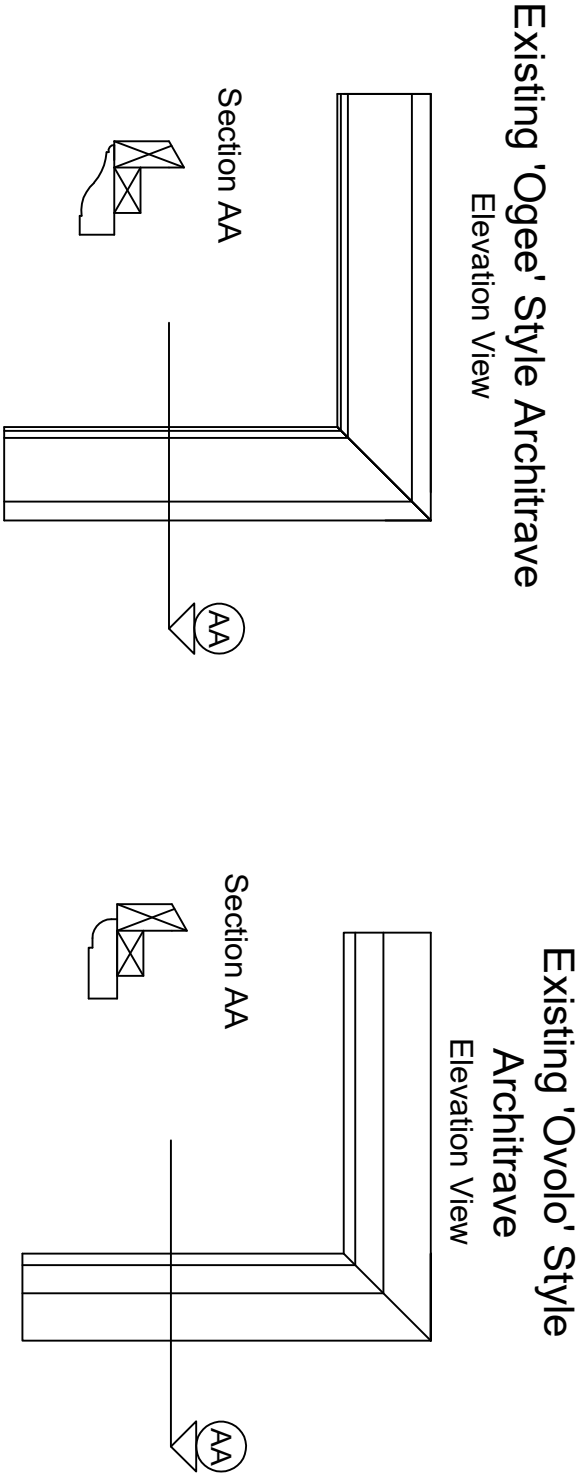
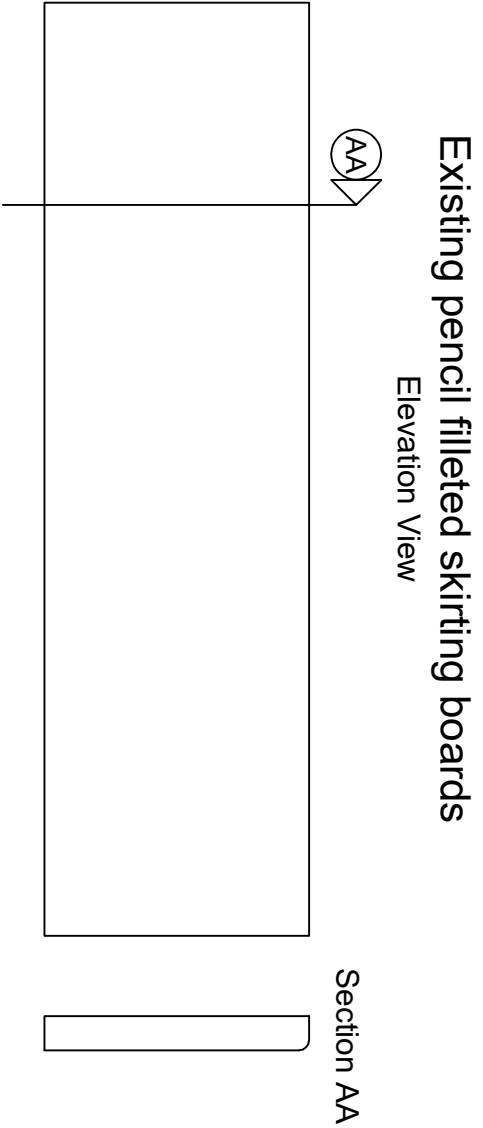
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18 St Swithins Lane

London EC4N 8AD

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droncity@dronwright.co.uk



Rev.	Date	Details
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Site Address West Hampstead Fire Station
325 West End Lane
West Hampstead, NW6
Project Firefighter's Cottages
Drawing Title House no. 3 - Interior
joinery details

Job no. 26849

Drawn by CD

Printed 10/08/19

Scale 1:2

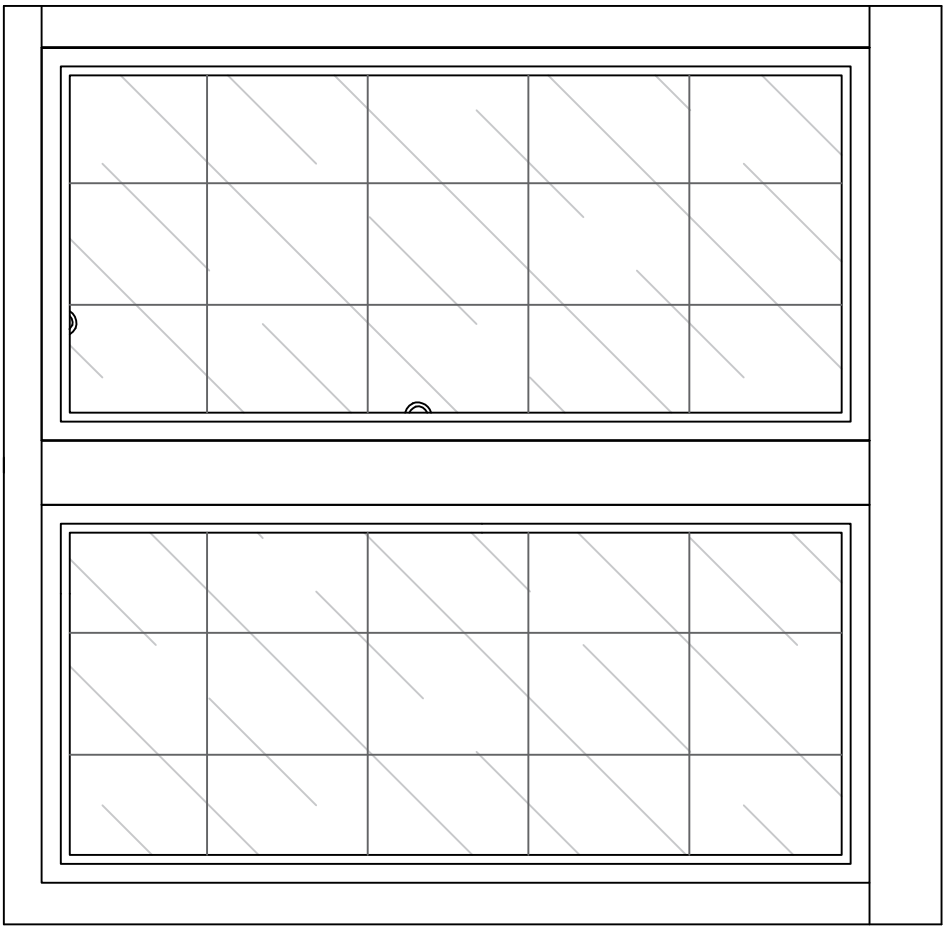
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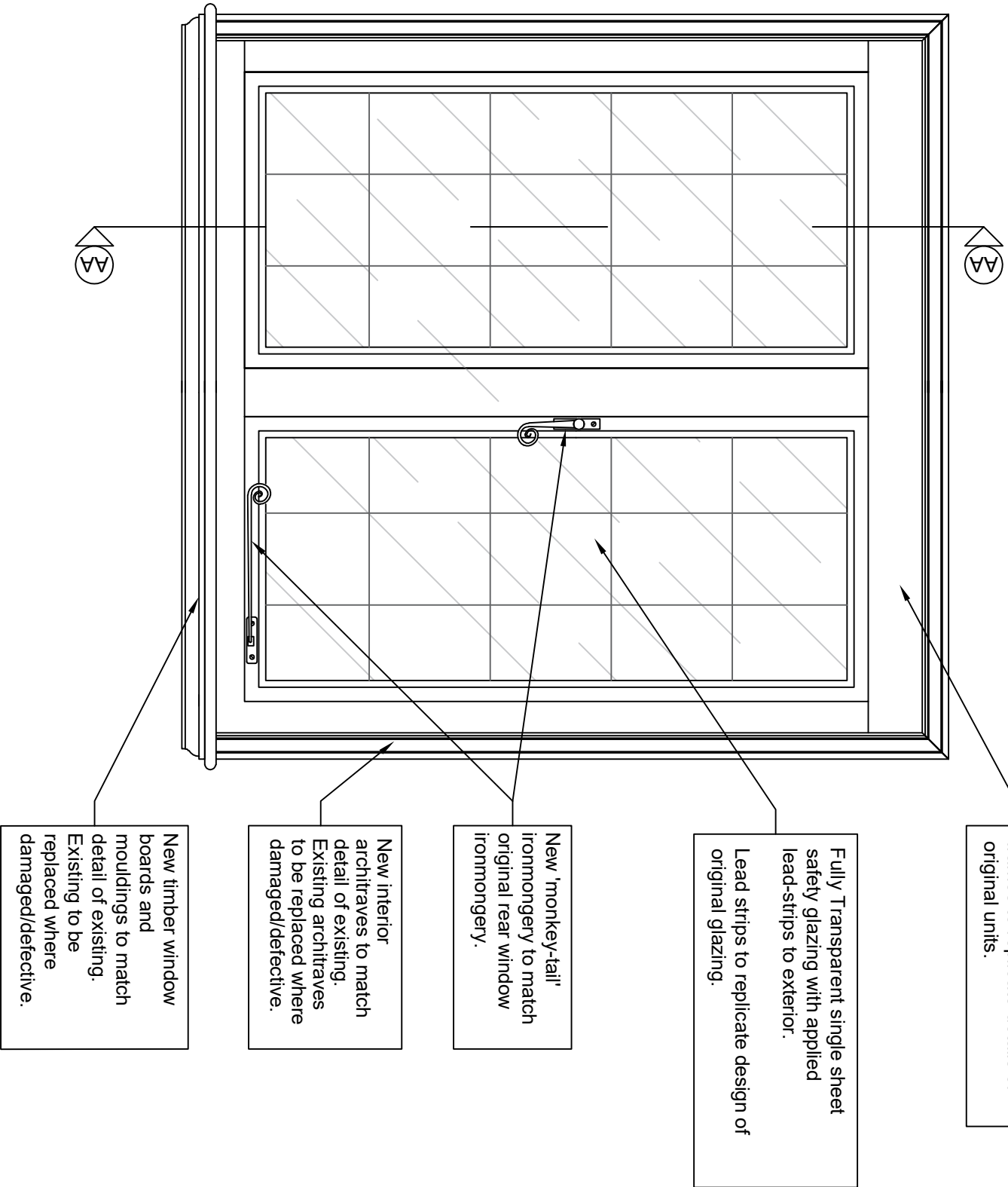
Exterior Elevation View



Section AA



Interior Elevation View



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All dimensions and levels are to be checked on site by the Contractor and any discrepancies are to be referred to the Surveyors before any works are put in hand.

Client London Fire Commissioner
Site Address West Hampstead Fire Station
325 West End Lane
West Hampstead, NW6
Project Firefighter's Cottages
Drawing Title Replacement Window unit
to Ground Kitchen

Job no. 26849


Drawn by CD

Printed 12/08/19

Scale 1:5

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Cad Ref. GFRWIN-01



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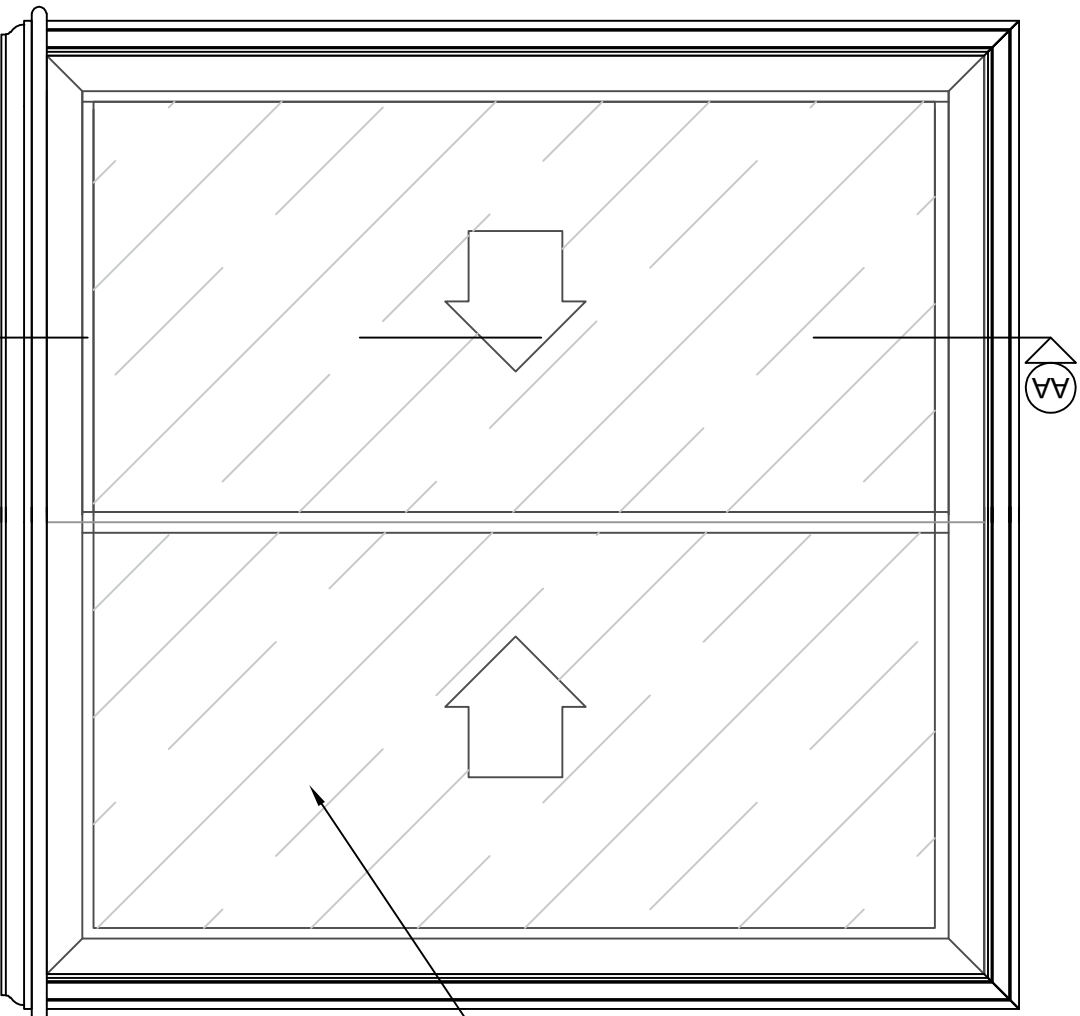
Appendix B

**Proposed Secondary Glazing
Details**

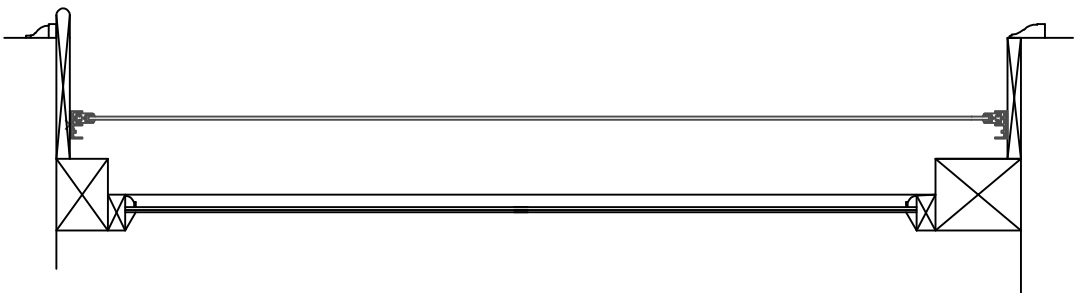
WEST END OFFICE	CITY OFFICE
33 Cavendish Square	18 St Swithins Lane
London W1G 0PW	London EC4N 8AD
T: 020 7891 2345	T: 020 7891 2345

Regulated by RICS

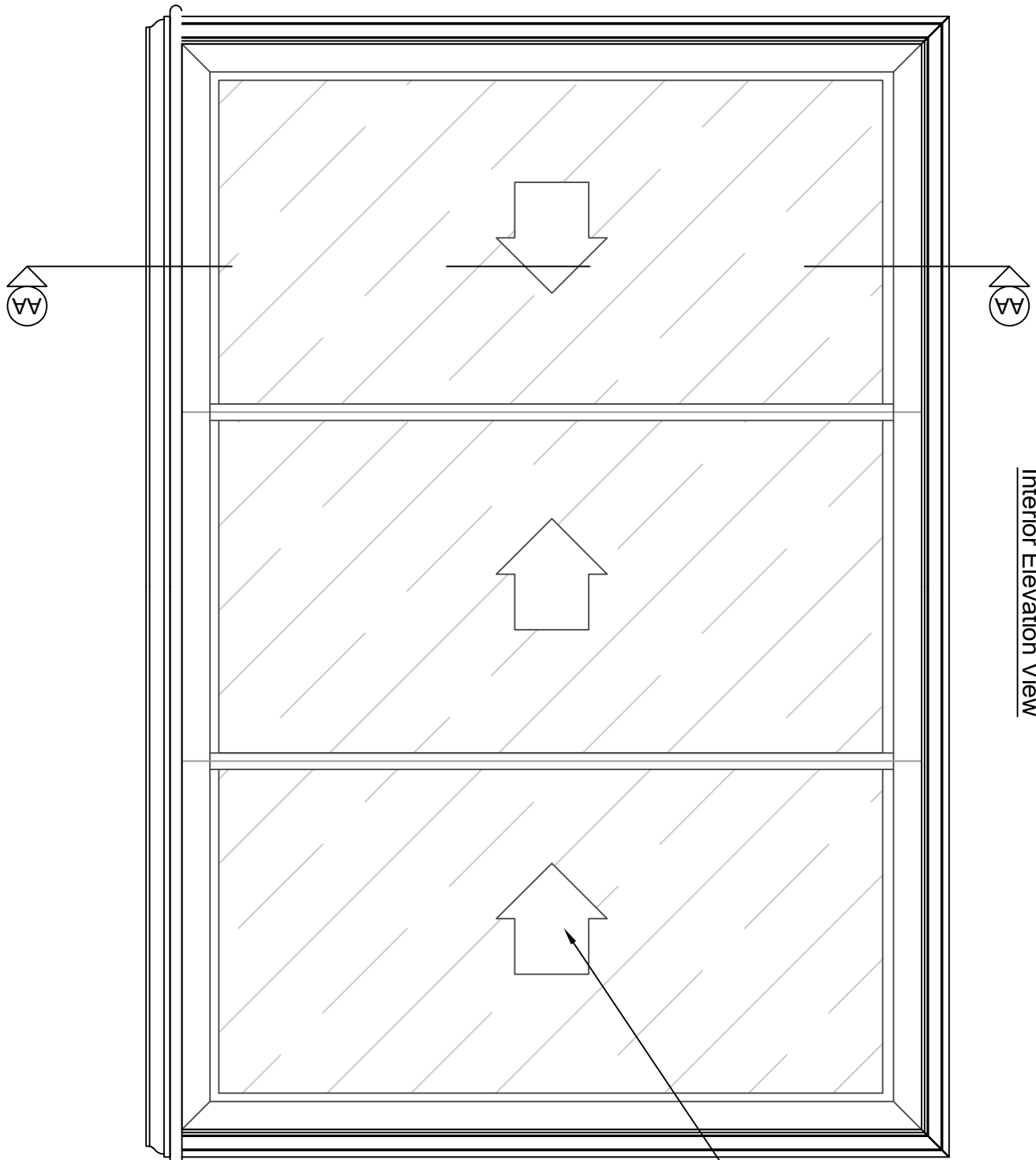
Typical Two-Pane Unit
Interior Elevation View



Section AA



Typical Three-Pane Unit
Interior Elevation View



Selectaglaze Series 10 Slimline horizontal sliding secondary glazing unit.
Glazing: Clear Float Glass
Frame: Aluminium with polyester powder coated finish - Colour: White.

New units installed within existing window reveals as per Section AA.

Rev.	Date	Details
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All dimensions and levels are to be checked on site by the Contractor and any discrepancies are to be referred to the Surveyors before any works are put in hand.

Client London Fire Commissioner
Site Address West Hampstead Fire Station
325 West End Lane
West Hampstead, NW6
Project Firefighter's Cottages
Drawing Title Proposed Secondary Glazing Installations

Job no. 26849
Drawn by CD
Printed 12/08/19
Scale 1:5
Print size A2
Cad Ref. SECCL-01

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Drawing Sheet no.
26849-SECCL-01



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Appendix C

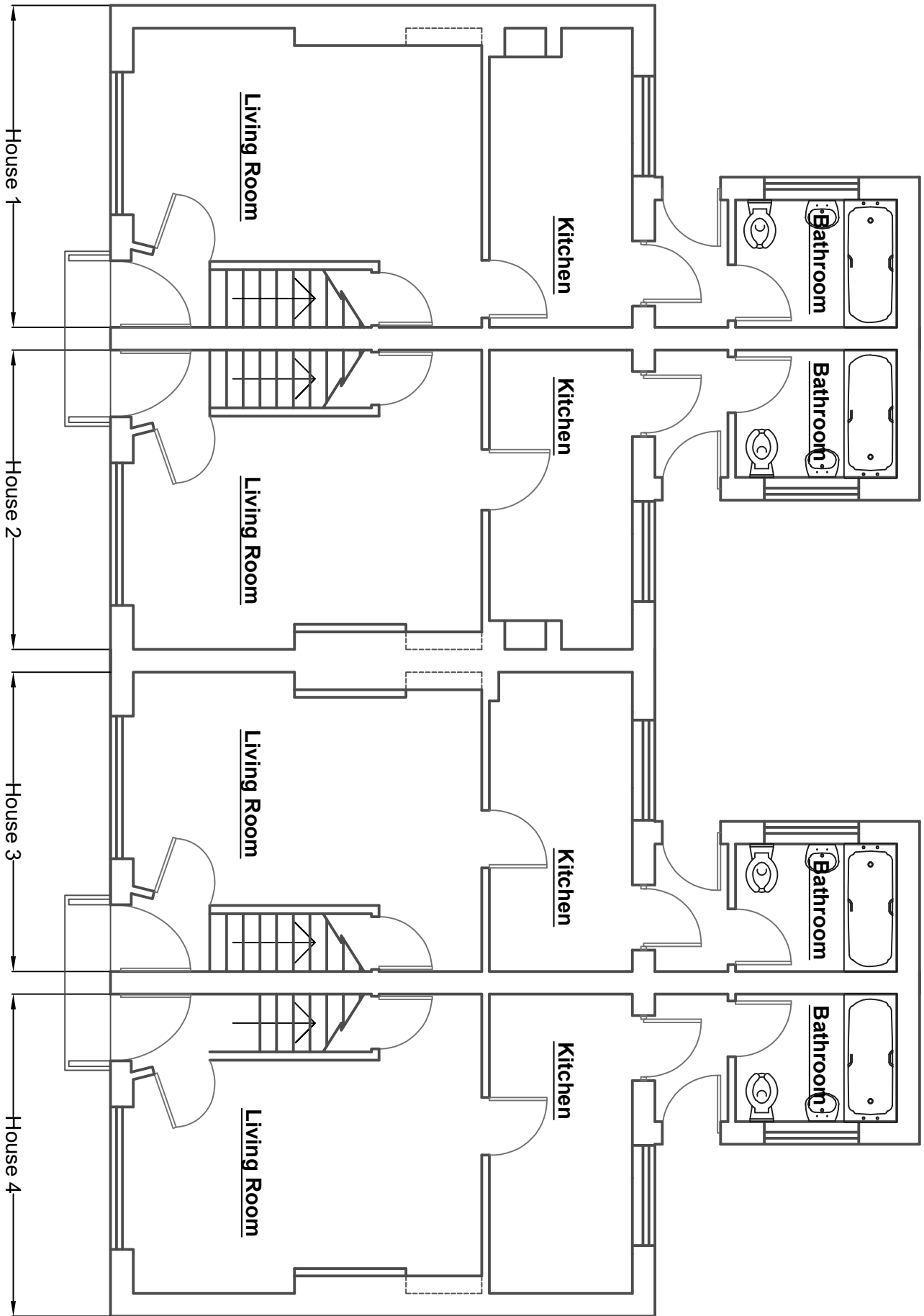
Existing and Proposed Layout Plans

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T: 020 7891 2345

CITY OFFICE
18 St Swithins Lane
London EC4N 8AD
T: 020 7891 2345

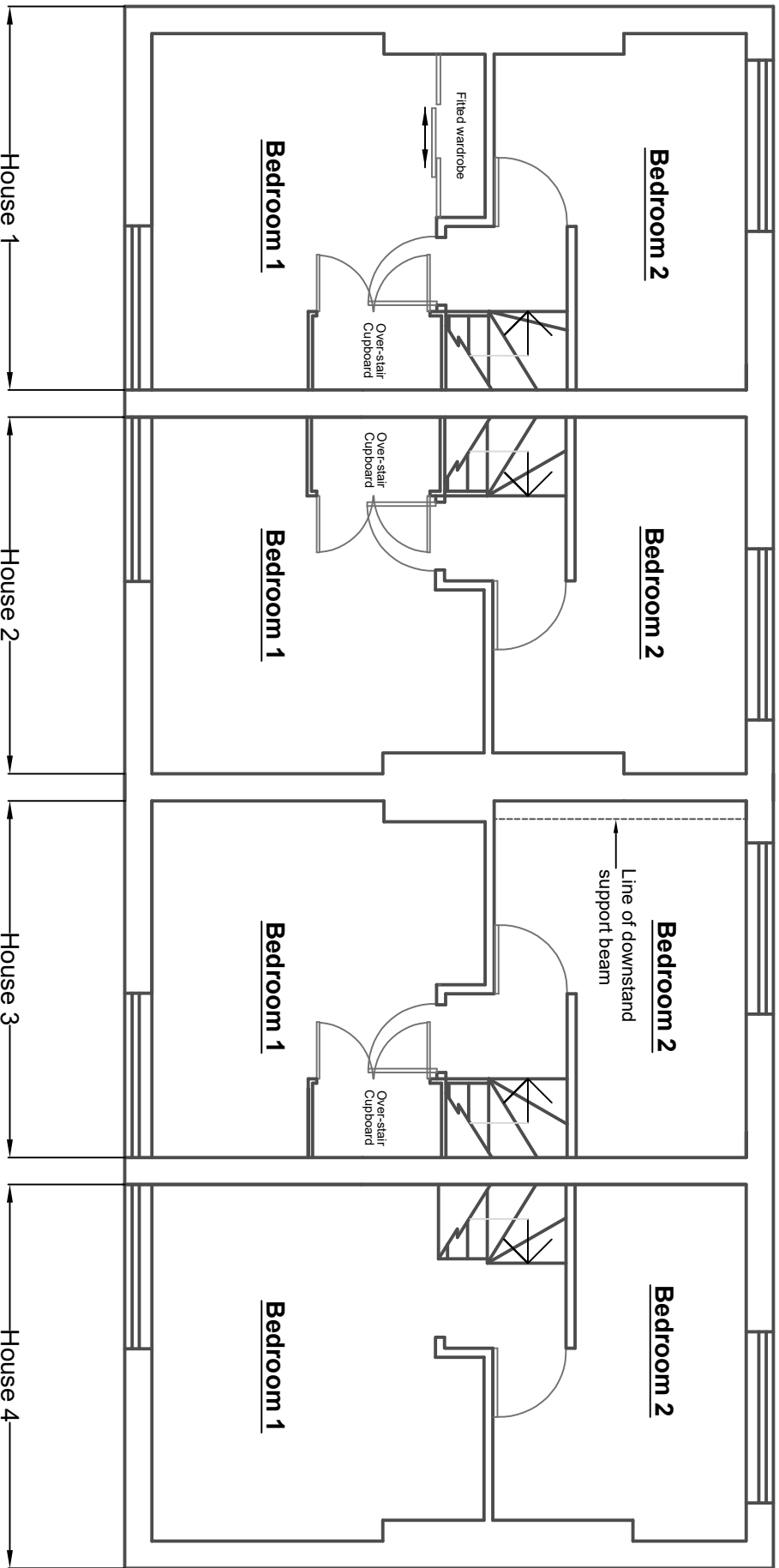
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Ground Floor - Existing Layout

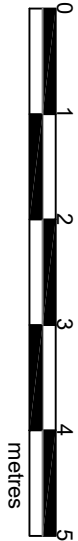


FRONT

First Floor - Existing Layout



FRONT



Rev.	Date	Details
------	------	---------

All dimensions and levels are to be checked on site by the Contractor and any discrepancies are to be referred to the Surveyors before any works are put in hand.

Client
London Fire Commissioner
Site Address
West Hampstead Fire Station
325 West End Lane
West Hampstead, NW6
Project
Fire-fighter's Cottages
Drawing Title
Existing Layout

Job no.
26849


Drawn by
CD

Printed
12/08/19

Scale
1:100

Print size
A3

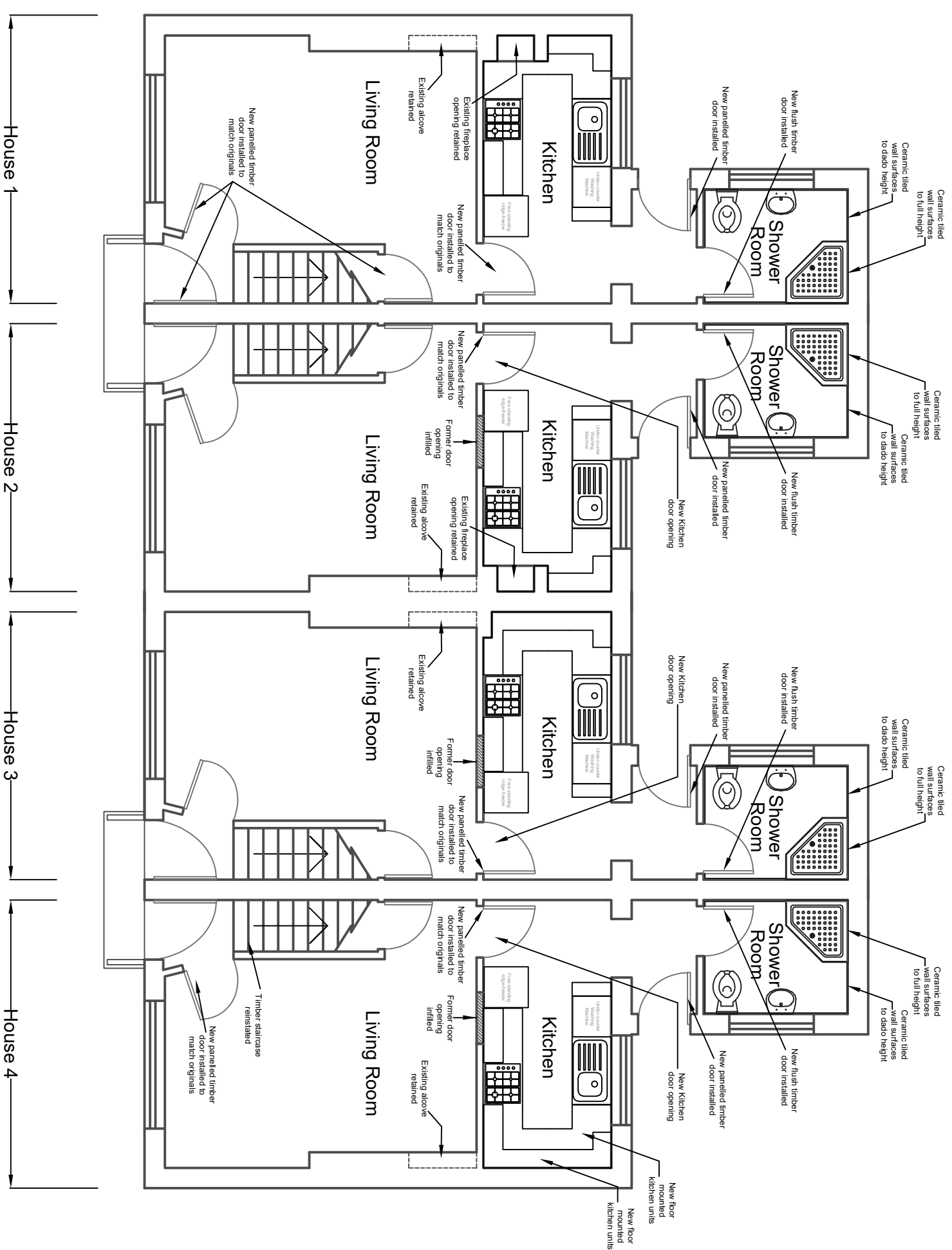
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01-Rev A



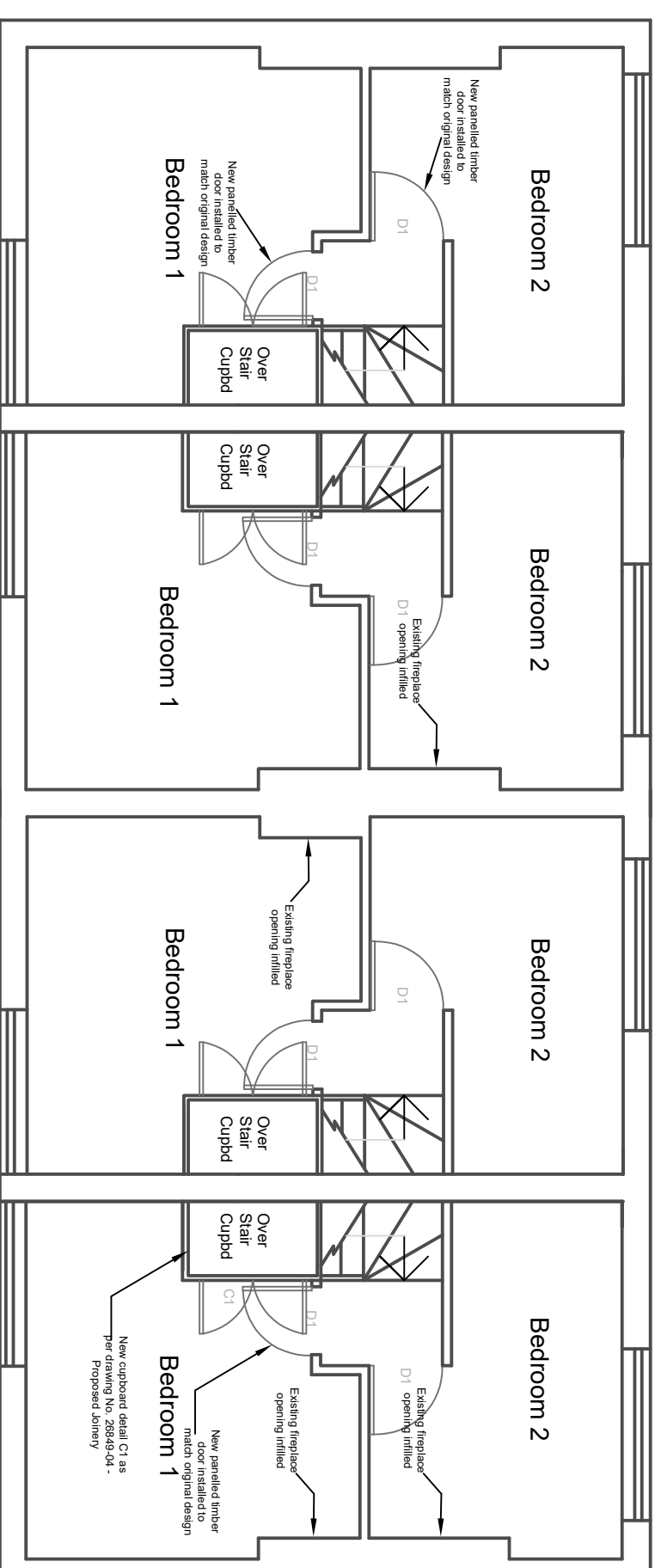
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26849-01-Rev A

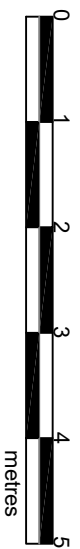
Ground Floor - Proposed Layout



FRONT



First Floor - Proposed Layout



<u>Rev.</u>	<u>Date</u>	<u>Details</u>
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All dimensions and levels are to be checked on site by the Contractor and any discrepancies are to be referred to the Surveyors before any works are put in hand.

Client

London Fire Commissioner

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West Hampstead Fire St
325 West End Lane
West Hampstead, NW6

Project

Fire-fighter's Cottages

Drawing Title

Proposed Layout

Job no.	26849
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