

DESIGN AND ACCESS STATEMENT

Planning Application for a rear extension at the Ground Floor level_ 3 Makepeace Avenue Highgate London N6 6EL

Principal References:

Holly Lodge Appraisal_ Adopted Dec 2012

National Planning Policy Framework (NPPF)

Policies CS14, CS 5 of the London Borough of Camden, Local Development Framework Core Strategy and policy DP24 of the London Borough of Camden Local Development Framework Development Policies

Policies DP24, DP25 and DP26 of the London Borough of Camden Local Development Framework Development Policies

Residential Design Standards SPD (2011)



Contents

- 1.0 Location
- 2.0 History and significance
- 3.0 Site
- 4.0 Proposed layout, Design, Scale and Materials proposed
- 5.0 Relevant planning Guidance and Precedents in the area
- 6.0 Garden
- 7.0 Windows replacement
- 8.0 Access, Refuse & Recycling, Contamination

This Design & Access Statement is written in support of the Planning Application for a rear extension at 3 Makepeace Avenue Highgate London N6 6EL



1.0. Location

1.1. The application site is situated within the London Borough of Camden, in the Holly Lodge Estate Conservation Area, located in north-west London, in the northern part of the borough of Camden, on the south facing slopes below Highgate Village. It is close to Hampstead Heath to the west, and adjacent to Highgate Cemetery to the east. The property, which is not listed, belongs to the Character Area 2: 'Hillway'.

2.0. History and significance

2.1. Dating to the interwar period (1920's) and located on the south facing slopes below Highgate Village, The Holly Lodge Estate is a distinctive planned development in the Garden Suburb tradition. The buildings are designed in an English vernacular style influenced by the Arts and Crafts tradition.

2.2 The site is bearing many inter-related heritage values which contribute to its multifaceted significance.

2.3. The evidential and historical significance of The Estate consists in the fact that it is one of the last large suburban developments transforming a rural landscape to part of the expanding metropolis. The change into the area now known as the London Borough of Camden, took place progressively from the late eighteenth century though to the early twentieth century. The landscape and layout are unique, retaining the vestiges of the landscaped gardens and drive of the former Holly Lodge mansion which sat in the north west part of the estate.

Fig. 1_The site located in Holly Lodge Estate Conservation Area

Historic Plans



1915



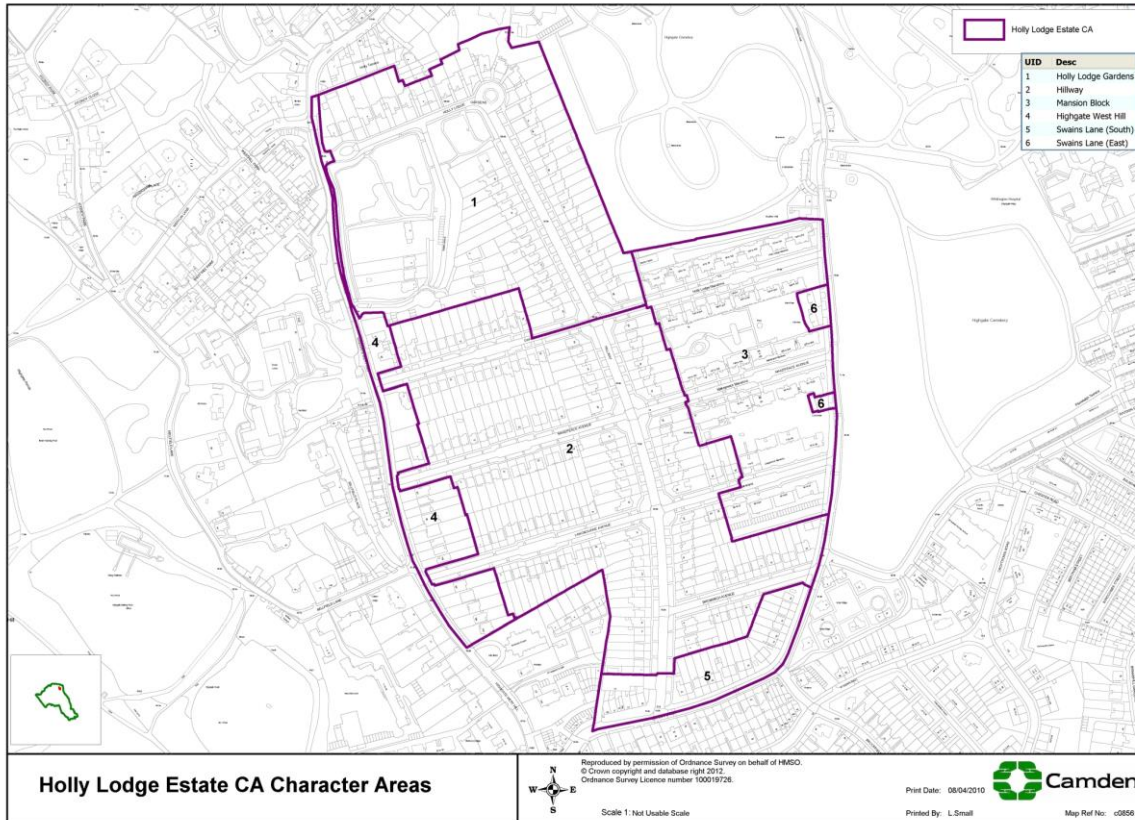
1930

Fig. 2_The area before the erection of the Estate in the years between 1923-1929, and after the completion with the plots very similar to present

2.4. The historical associative significance of the site is given by the connection to the former Holly Lodge mansion owner, the Baroness Angela Burdett-Coutts, an outstanding Victorian philanthropist. The Baroness, very generous and well connected, supported various charitable causes that led to schemes for improvement in sanitation in London slums, ragged schools, homes for prostitutes and homeless women, but also funded the building of new churches. She also landscaped the grounds and built the neo-gothic style Holly Village that lies just outside the conservation area, and highly contributes to the aesthetical value and significance of the area.

2.5. After the death of the Baroness Burdett-Coutts in 1905, the Hampstead Garden Suburb was founded. Following the death of her husband in 1922, the estate was divided into lots and was partly sold. In 1923 Holly Lodge was finally sold, and then quickly resold to London Garden Suburbs Ltd. The Holly Lodge was built 1923–1929 by London Garden Suburbs Ltd and remains an important example of a planned inter-war estate.

2.6. The Holly Lodge Estate Conservation Area was designated on 1 June 1992. Since designation there have been no alterations to the boundaries. The reasons given for designation were:



'The area is the only example of garden suburb architecture in Camden, built at a period which is increasingly attracting interest. It remains very homogeneous although some unsympathetic roof extensions and alterations to the original windows have started to erode its very special character. All the properties on the estate enjoy permitted development rights as the Estate's regulations require them to remain as single dwelling houses. Conservation area designation would afford better protection.'

2.7. At present, The Estate preserves the introverted secluded character, with the through-routes barred by gates on Highgate West Hill and Swain's Lane.

The buildings and the layout of The Holly Lodge Estate are substantially intact. Three styles of buildings set in a mature streetscape with wide verges, footpaths and front gardens define its character: rendered cottages, half-timbered semi-detached houses and detached houses at the top of Hillway. Although initial plan indicates that only houses would be built, later were included higher properties with flats built for working women by the Lady Workers Homes Ltd. The style of the later addition is in keeping with the original design, with black and white timbered fronts and austere rear elevations. This homogenous style lends a strong sense of place, within which there is a wealth and variety of details.

Fig. 3_ Holly Lodge Estate Conservation Area Character Areas. The site is located in Character Area 2: 'Hillway'; Located in central and west area: avenues of semi-detached and detached houses

2.8. The character of The Estate is defined by the overall quality of the design, drawing benefit from the physical form of the hillside and the remnants of the garden of the original house, by setting of houses in a generous green landscape. Built in the Arts and Crafts Style, the architectural approach is low rise, predominantly two storeys in an English vernacular tradition with steep pitched roofs and gables, traditional materials, brick tile and render.

The scale of the houses within the Holly Lodge Estate is a key factor in defining the character of the conservation area. Detached and semi-detached houses read as two-storey dwellings, (even if the roof space has been converted to provide a third level of accommodation). This overall scale contributes to the harmony of the houses lining the avenues. There is a rhythm created by the spacing of the houses and the gaps between them. Many of the houses, particularly on Hillway, are linked by a single storey garage set well back from the building line.



Fig. 4_Aerial view of the site looking North, showing the relation with the neighbours and the street



Fig. 5_Aerial view of the site looking South, showing the long rear garden

3.0. Site

3.1. The property is a two-storey, detached single family dwelling. The neighbourhood is entirely residential, with similar detached properties separated by narrow side alleyways/side courtyards.

To the West, the property is separated by No. 1 by a ground floor only garage which continues to the North with a two-storey extension infill. To the East, the house is separated from no. 5 by a narrow alleyway and side courtyard.

3.2. The main access is made at the Ground Floor level, from the street. A small front garden screened with mature shrubs separates the property from the road, preserving the garden suburb character and contributing to individual privacy. A secondary access, through a timber gate on the right hand side, towards no. 5, give access to a narrow side courtyard, and directs towards the rear garden of the property.

3.3. The property has a long Rear Garden with a paved area next to the rear elevation. The West side neighbour, no. 1, developed recently consistent rear and side extensions, dwarfing No. 3 property. Due to the large dimension of the rear gardens, rear or site extensions are characteristic in the area, at present.

4.0. The House – Existing and Proposed Layout, Design, Scale and Materials



Fig. 6_Front elevation towards Makepeace Avenue

Existing Layout

4.1. The house occupies a site within the Holly Lodge Estate on a mild gradient, reflected on the fragmented layout, typical for the Vernacular style of the building, which each floor split into two levels. This fragmentation gives rise to awkward circulation, a lack of coherence and inefficient use of space, not adequate to service a modern family house. At present there is only one bathroom at the First floor level, servicing the entire house, with no bathroom or WC at Ground Floor for guests or owners. The present configuration of the Ground Floor rooms doesn't provide a 'family space' where all the family can enjoy activities in connection with a kitchen of a proper size. The proposed extension can also be considered as a good opportunity to transform the Ground floor into a self-contained living space with increased accessibility and to plan for the future needs of the occupants.

Proposed Layout

4.2. The purpose of the proposed design solution is principally to form a new family space at Ground Floor by:

- Partially overhauling the existing rear wall of the kitchen and enlarging the opening of the rear French windows from the space previously used for Dining. Preserving the corner walls from the middle section of the rear elevation along with the little rear window. Transforming the space previously used for Dining into a Sitting Room, that can be also used as a rest room or guest bedroom.
- Transforming the existing arched opening in between the kitchen and hallway into a door, creating a direct circulation between the hallway to the kitchen area.
- Closing the present access in between the kitchen and the new sitting area and creating new functions in the space between the sitting wall and the side elevation wall: storage and a cupboard for the meters, a new WC with wet area, a technical room for laundry and boiler, and a larder. This technical area is creating a secondary circulation, connecting the hallway and the kitchen, concealed from the sitting, dining and lounge areas.
- Opening the two existing but at present blocked windows from the side elevation walls, so as to provide natural light and ventilation into the new WC and new enlarged kitchen.



- Extending the kitchen to the rear with 480 cm, (set away 1.46 m from the boundary with no. 5), to create an open space in connection with the new Dining area and Lounge area.

- The new rear extension rear wall will align with the No. 1 two storey existing rear extension. In this way, the new Kitchen, Dining and Lounge space will have more natural light, as the new French doors will not be overshadowed by the No. 1 neighbours extension as in present.

- Two skylights will be provisioned in the flat roof above the rear extension, one above the dining area and another one next to the existing rear wall of the First Floor Bedroom 2, to provide natural light into the sitting /resting area.

- Creating a new paved area in between of the rear extension and the garden. An exterior route of 100 cm width will provide step-free access from the front elevation side gate up to the rear doors into the kitchen.

- The exterior access to the storage space under the stairs to the First Floor will be closed, and the space will merge with the existing adjoining storage space, with access from the entrance hallway, optimising the area usage.

4.3. The proposed extension is not overshadowing no. 5 property as in between the properties there is a tall timber fence.

Fig. 7_Rear elevation view from the Rear Garden



Fig. 8_ Rear elevation showing the relationship with no. 5



Fig 9_ Rear elevation showing the relationship with no. 1 existing two storey rear extension

Step free access route

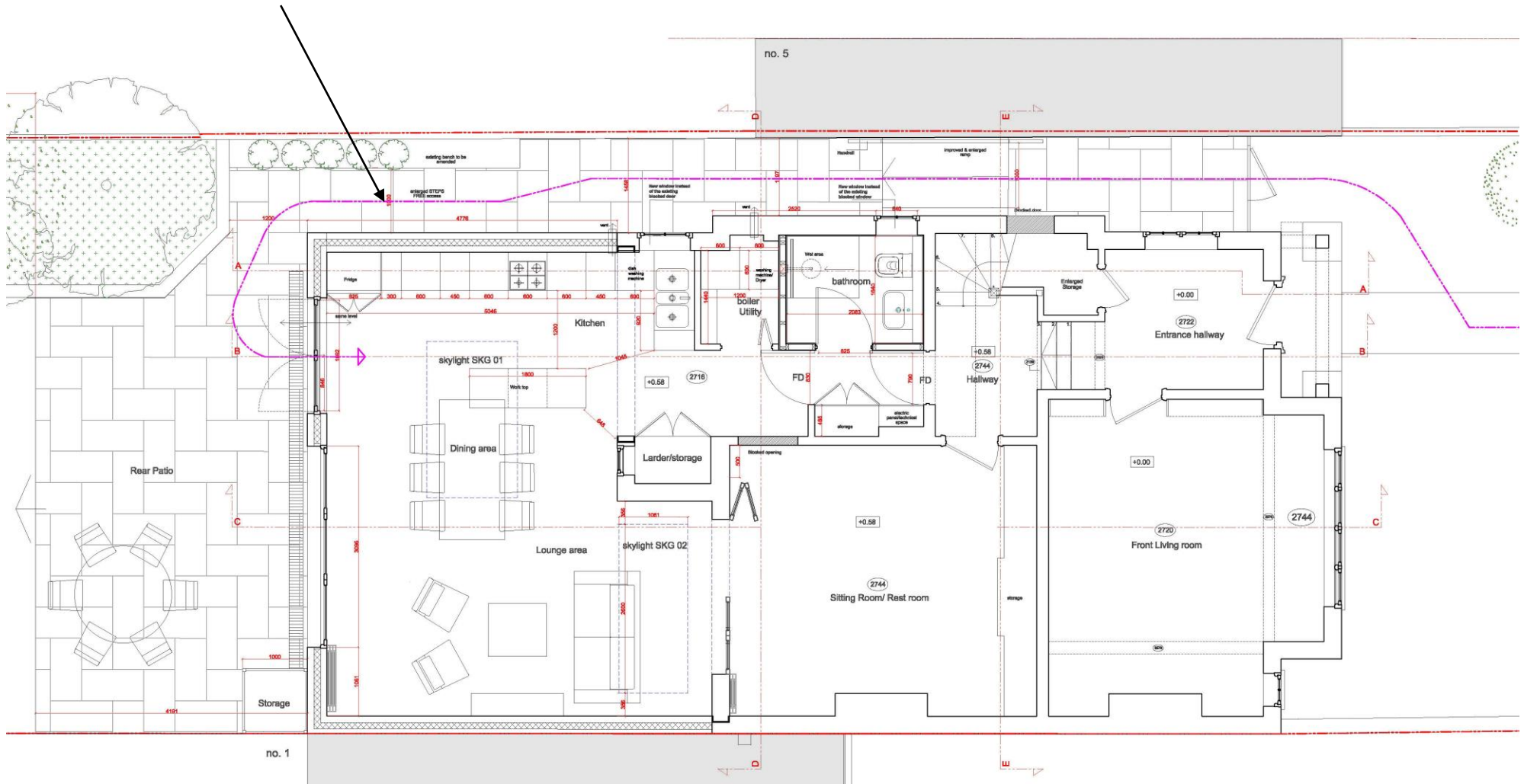


Fig. 10_Proposed Ground Floor Plan

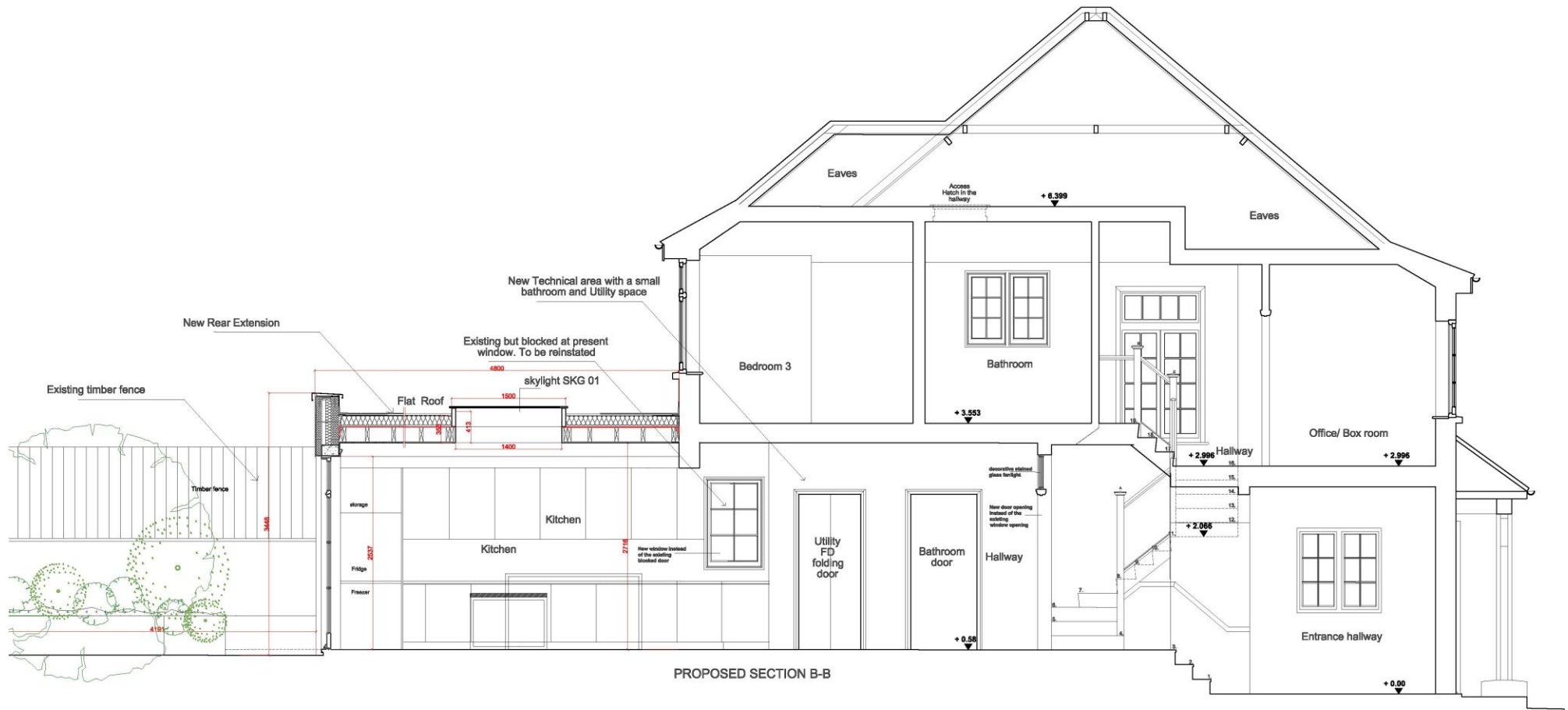


Fig. 11_Proposed Section B-B

Design, Scale and Materials proposed

4.4. The design proposal is read as subordinate in relation with the host property and does not dominate the scale of the house but it's blending harmoniously with the existing building and context. The Ground floor extension will not be visible from Makepeace Avenue or public realm, and will not adversely affect the privacy or amenity of the neighbourhood. The extension is not blocking any view in between the properties, so that is not affecting the rhythm created by the spacing of the houses and the gaps between them, which is a determinant feature of the Estate. The extension would not result in unacceptable harm to the building's character and would retain a separation gap of 1.10 m to the boundary with no. 5.

4.5. The new extension concept is driven by the idea of providing 21 Century living conditions for the owners while protecting the character of the area. The proposed extension projects 4.80 m to the rear, aligning with the existing extension at no. 1, but given the size of the garden, it doesn't adversely affect the existing rear garden amenities.

4.6. The materials proposed will be overall in keeping with the existing ones, preserving the character of the locality and the historical architectural detail. The new extension will be using a mix of traditional and modern materials as white rough cast textured render to match the existing, double glazed timber new windows and doors. For some of the new elements proposed such as the roof skylights, a carefully selection of modern materials will be used, which will infuse a new life into the old property fabric while will enhance by contrast the properties original features. The flat roof to the proposed extension was chosen in order to maintain easy access for future maintenance and repairs to the roof, but it is not intended to be used as a terrace. The flat roof will be in gray GRP, covered with white pebbles, to reflect the light and prevent the overheating of the surface. Next to the First floor rear windows, a selection of flower pots sitting on the flat roof will offer a pleasant sight to the owners.

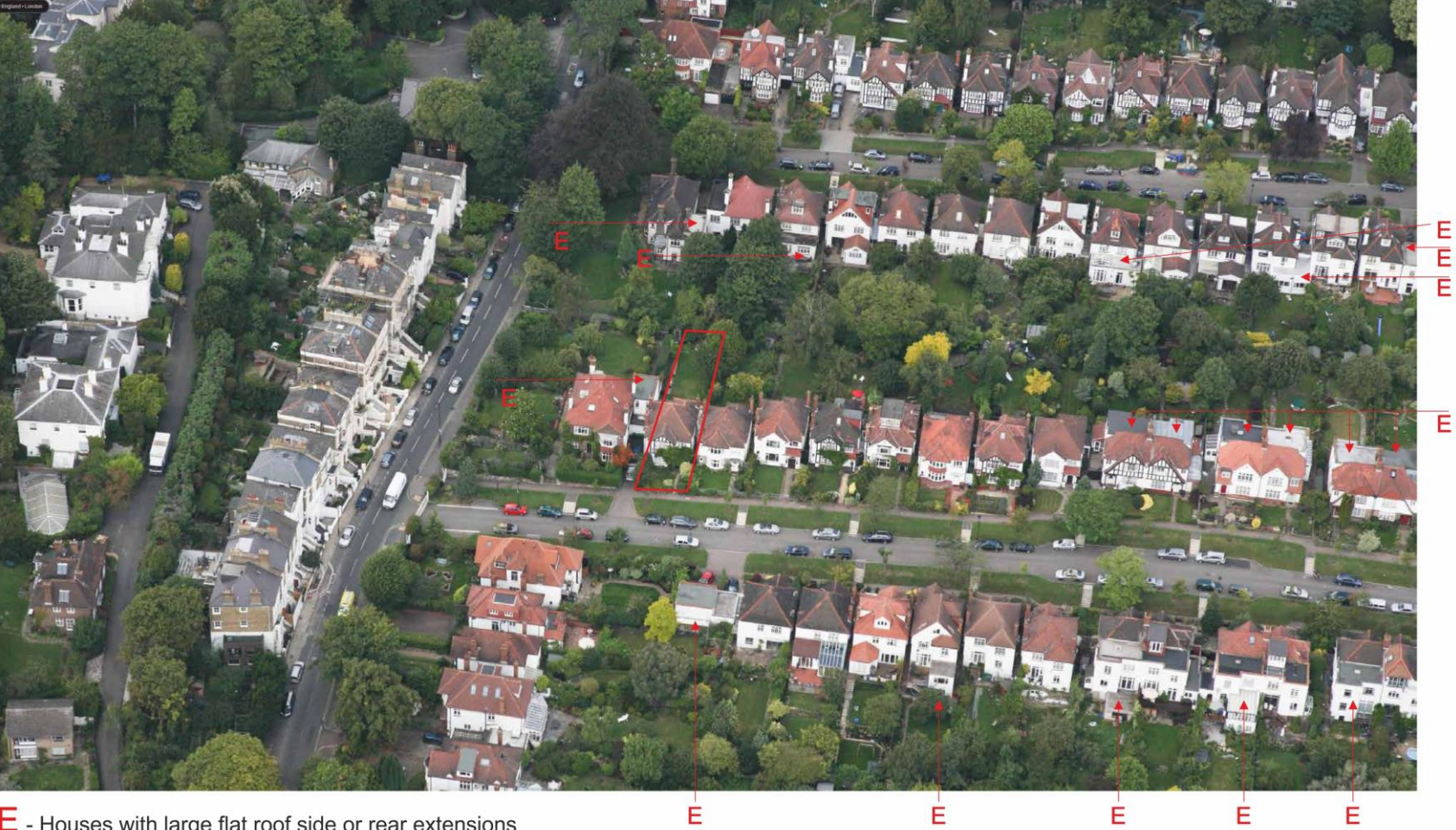
4.7. The main aim of the design is the preservation of the area's character whilst improving the functionality and thermal efficiency of the house. The design concept will respect the overall context, using sympathetic materials and details, with a particular emphasis on providing a healthy and greener ambient. Overall, the extensions would remain subordinate to the host building and would not result in the alteration or removal of traditional architectural features of note. The development would respect the local context and would preserve the existing character and appearance of the Holly Lodge Estate Conservation Area.

5.0. Relevant planning precedents in the area

5.1. Several other properties on Makepeace Avenue or part of the Holly Lodge Estate, have received approval and built big scale rear or side extensions, as shown in Fig. 12.

Extensions and alterations along Makepeace Avenue are characteristic of the lower floors of neighbouring properties, including the rear/side extension of the adjoining property at no. 1, which develops on two levels. The rear elevations of the houses are notably plain in style, contrasting with the English vernacular style of the frontages.

Local Planning Precedents



E - Houses with large flat roof side or rear extensions

Fig.12_Local planning precedents of Rear or side extensions

I would mention as some precedents of approved developments, the following properties:

- 14 Makepeace Ave. Ref 2019/0154/P - single storey side extension and rear extensions - GRANTED
- 22 Makepeace Ave. Ref 2018/2794/P - side and rear extensions - GRANTED
- 26 Makepeace Ave. Ref 2017/1044/P – loft, side and rear extension- GRANTED
- 2 Makepeace Avenue. Ref; 2015/1278/P – Loft, side and rear extension -GRANTED
- 10 Hillway Ref; 2015/0472/P – rear extension - GRANTED

5.2. The present proposal for a rear extension is following Holly Lodge Estate Conservation Area Appraisal and Management Strategy and is taking into consideration the guidance offered by the planning documents. The rear extension proposed is subordinated to the main building and it doesn't create a disproportioned development. It is not visible from the main road, and it's not blocking any view in between the properties. The materials proposed to replace or repair the original fabric are like for like in terms of colour, shape and material. The proposed alterations will not imply any loss of detail of windows and doors which might erode the arts and crafts quality of the Estate. Two presently blocked windows will be reinstated, and the new proposed doors will be in keeping with the existing ones. The proposed development would not harm the historic character of the estate or the distinctness of the property.



6.0. Garden Amenities

6.1. The existing rear garden is generous, with a depth of 18.4 m and a width of 9.1 m. With the proposed rear extension, the depth of the garden will become 14.94 m. At present, the rear garden is not very well organised, having in the rear extremity a little garden shed in the left corner and a concrete platform invaded by vegetation on the right one.

6.2. As part of the works, a timber Garden Room is proposed, positioned on the North Eastern corner of the garden, above the existing concrete base. This small outbuilding along with the landscape works proposed will improve the view of the garden from the house but will also solve a few functional needs of the family.

6.3. The garden room would have the function of a home office/studio providing a private, secluded environment needed for the creative occupations of the family. It will contain a work/living/sleeping space with a small kitchenette on one side, a WC with shower and a vented storage room. During the extension works at the ground floor, while the existing kitchen will be extended and refurbished, the garden room might be used as a temporary kitchen/dining area.

Fig.13_Rear Garden as existing

6.4. The garden room will be clad in western red cedar timber that will gradually fade to shades of grey, blending in with its surroundings and the small tool shed. The volume of the outbuilding is simple, with a canopy and a small decked area on the full front elevation. The garden room will be accessed by the existing paved path heading to a small paved area on the side of the Garden Room. Several landscaped steps will connect the alley with the decked area and the entrance. Great care will be taken in creating a pleasant planted area around the Garden room, preserving and enhancing the existing vegetation.

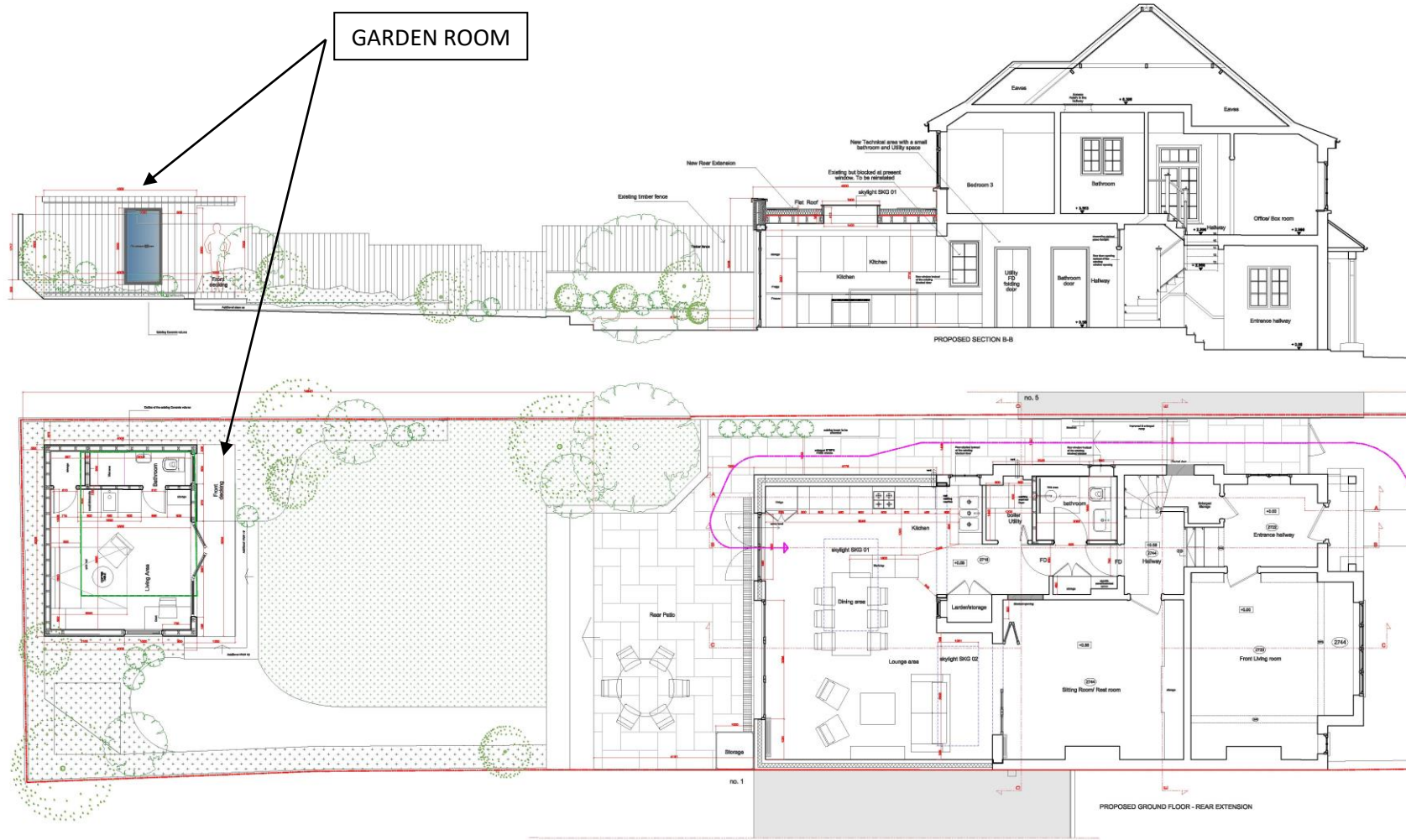


Fig.14_Proposed Garden plan with the Garden Room in context.

7.0. Windows replacement

7.1. The application proposes the replacement of the existing single glazed casement windows with new timber casement windows, with double glazed in slimline rebate, low e clear float glass and Argon filled cavity. All the joinery details of the new timber windows will be similar with the existing windows. The new windows and French doors proposed at the Ground Floor level, will reproduce the details of the existing windows, as well.



Fig.15_Details of the existing single glazed, timber casement windows.

7.2. The existing windows are casement windows featuring original elements.

Due to the age, the windows are in a poor state and not providing the needed level of thermal and draft insulation. Moreover, the clients expressed their concern about the property security, and would like to upgrade the window to a higher level of security.

7.3. A specialised team in historical windows conservation and repairs analysed the windows and considered that some elements are beyond repair, with areas of rotten timber. Their recommendation was the replacement with new ones, similar to the existing but double glazed, with improved thermal, sound and security performances. The new windows will be painted in a similar colour as existing, preserving the overall character and appearance of the elevations. The new windows will be produced by a specialist heritage windows provider.

Detailed drawings illustrating the existing and proposed window are provided within the application submitted drawings.

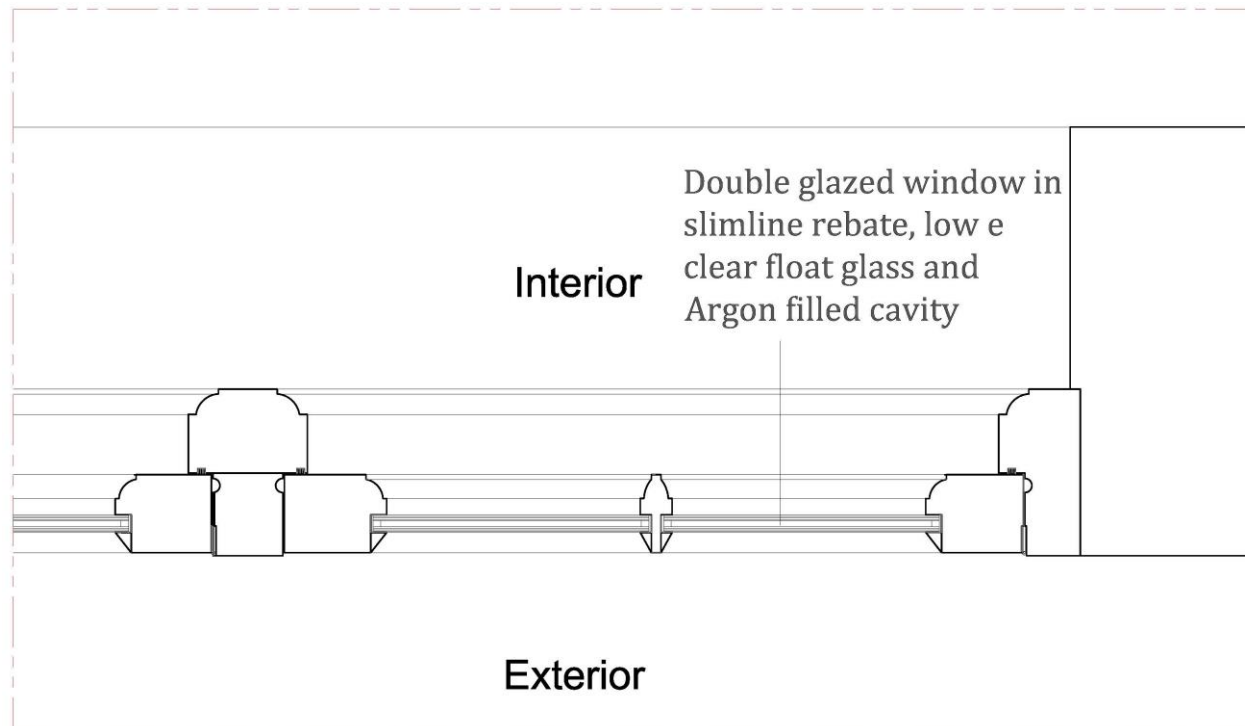


Fig.16_Details of the proposed double glazed, timber casement windows

8.0. Access, Refuse & Recycling

Access

8.1. The proposed extension will not generate additional car traffic. The site is well located for public transport and road access. The site is well served by public transport being only a short walk from Archway, Tufnell Park and Gospel Oak tube and over ground stations, as well as served by many local buses. The site is also only a short walk from the local amenities of Kentish Town.

8.2. A new step free route will be created with access on the timber gate on the left side of the property. A ramp will be created instead of the existing steps. This route will link the front elevation with the kitchen French doors on the rear elevation. All the new proposed facilities, such as kitchen, bathroom, utility and rest room will be at the same level, creating in this way a self-contained living area with no need of climbing any steps. See Fig. 10.

Refuse & Recycling

8.3. The waste will be compartmentalised into three parts, recyclable materials, organic and general waste. There is to be separate storage for each garbage category in the front elevation courtyard in the existing timber encloser.

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Date: 28.07.2019