

SCOPE OF WORKS

201 & 201A LOBBY AND STAIRS

Rub down and redecorate exposed edge of stair to edge of carpet runner with 2no. coats of satinwood.
Install new broadloom carpet on underlay to landings and runner to staircase.
Existing lighting to be retained.
No decorations to walls and ceilings.

202 STAFF OFFICE

Modify small power and data installation as shown on Tenants Variation to Landlords LBC Rectification and Proposed drawings.
New skirting to match profile of existing to be fitted following removal of low level vertical trunking - whole skirting to be redecorated to match existing paint finish where new skirting has been pieced in.
Walls to be made good using lime plaster where dado trunking has been removed - whole wall to be redecorated to match existing paint finish following removal of trunking.
Install new carpet tile floor finish.
Refurbish windows to ensure they operate freely and install new roller blinds.
Existing lighting to be retained.

203 TEA POINT / REST ROOM

Modify small power and data installation as shown on Tenants Variation to Landlords LBC Rectification and Proposed drawings.
New skirting to match profile of existing to be fitted following removal of low level vertical trunking - whole skirting to be redecorated to match existing paint finish where new skirting has been pieced in.
Walls to be made good using lime plaster where dado trunking has been removed - whole wall to be redecorated to match existing paint finish following removal of trunking.
Install new sheet floor finish.
Refurbish windows to ensure they operate freely and install new roller blinds.
Existing lighting to be retained.
Install new tea point with oak stave worktop and side return, with 6 no. 600x600 cupboard base units and 1 no. 800x600 drawer base unit, sink and drainer and Zip tap. 200mm high backpainted glass splashback. Sink waste to be connected into existing stack in WCs to no. 11 on other side of party wall, with waste boxed in at low level. Wall behind tea point to be lined out with metal stud and plasterboard to allow waste pipe and services runs behind. Power sockets to dado trunking behind to be removed and cables utilised for new recessed sockets in wall lining behind tea point. 4 No. fused spurs, (3 fridges, 1 Zip Tap).
Install new squiggle glass magnetic notice board (2400 x 1200) on wall opposite window.

Refer to Finishes Schedule for all finishes specifications.

Refer to Fixtures and Fittings Schedule for all fixtures and fittings.

Refer to Furniture Schedule for all loose furniture.

◇ NEW ENGINEERED HARDWOOD FLOORING ◇

Existing floorboards to be lifted and joists leveled to match landing level. As discussed with Antonia Powell on site 11/07/19. Photographic survey of floor joists to be submitted to determine if existing floorboards are to be relaid.



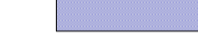
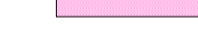



△ NEW WALL MOUNTED AV SCREENS △

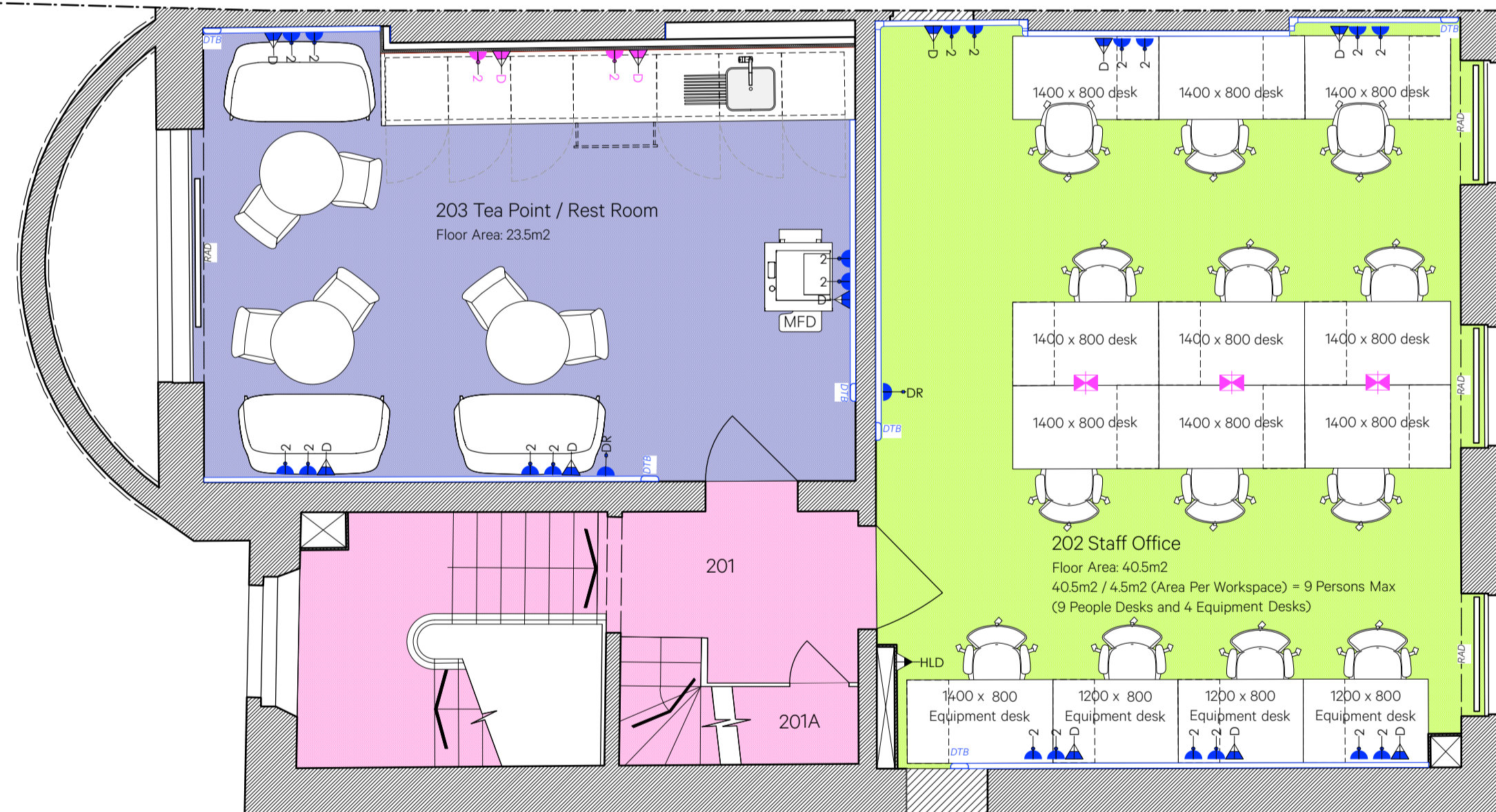
New Wall mounted AV Screen with 2 No. DSSO, Twin Data and output plate behind screen, and touchpanel control and input plate to LHS of screen.

ELECTRICAL KEY

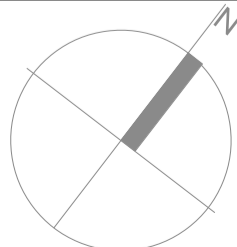

-  EXISTING DADO TRUNKING AND SOCKETS RETAINED
-  EXISTING RECESSED LIGHT SWITCH RETAINED
-  EXISTING SURFACE MOUNTED HIGH LEVEL DATA OUTLET RETAINED
-  EXISTING SURFACE MOUNTED DOOR RELEASE RETAINED
-  EXISTING DADO TRUNKING AND SOCKETS LOWERED AND REPOSITIONED AT 350MM AFFL., EXCEPT WHERE SKIRTINGS ARE HIGH, IN THESE LOCATIONS, UNDERSIDE OF DADO TRUNKING TO BE SET OUT JUST ABOVE TOP OF SKIRTING
- 1. Existing horizontal and vertical dado trunking to be reused and lowered to just above skirting level.
2. Walls to be made good using lime plaster where dado trunking has been removed.
Whole wall to be redecorated to match existing paint finish following removal of trunking.
-  ALL NEW WALL RECESSED SOCKETS TO BE SET OUT 350MM AFFL EXCEPT WHERE SKIRTINGS ARE HIGH, IN THESE LOCATIONS, UNDERSIDE OF SOCKETS TO BE SET OUT 100MM ABOVE TOP OF SKIRTING
-  NEW DOOR RELEASE SWITCH CHASED INTO WALL
(ORIGINAL WAS ON THE DADO TRUNKING REMOVED FROM WALL - EXISTING CABLES TO BE USED WHERE POSSIBLE)
-  NEW DOUBLE SWITCHED SOCKET OUTLET CHASED INTO WALL
(ORIGINAL WAS ON THE DADO TRUNKING REMOVED FROM WALL - EXISTING CABLES TO BE USED WHERE POSSIBLE)
-  NEW TWIN DATA SOCKET OUTLET CHASED INTO WALL
(ORIGINAL WAS ON THE DADO TRUNKING REMOVED FROM WALL - EXISTING CABLES TO BE USED WHERE POSSIBLE)
-  NEW FLOOR BOX WITH 2 NO. DOUBLE SWITCHED SOCKET OUTLET & 1 NO. TWIN DATA OUTLET
EXISTING CABLES FROM DADO TRUNKING REMOVED FROM WALL TO BE RE-USED WHERE POSSIBLE
-  △ NEW WALL MOUNTED AV SCREEN WITH 2 No. DSSO AND TWIN DATA OUTLETS BEHIND SCREEN △

FLOOR FINISHES KEY

-  ◇ NEW ENGINEERED HARDWOOD FLOORING ◇
-  EXISTING SHEET FLOORING TO BE RETAINED
-  NEW SHEET FLOORING
-  NEW BROADLOOM CARPET
-  NEW CARPET TILES
-  EXISTING BARRIER MAT TO BE RETAINED
-  NEW CERAMIC TILED HEARTH TO FIREPLACE



Second Floor Plan : Proposed Tenant Fit Out

Revision	Date	Amendment	Notes										
T1	19.06.2019	Tender Issue		 <small>NO DIMENSIONS ARE TO BE SCALED FROM THIS DRAWING. THE CONTRACTOR/MANUFACTURER IS RESPONSIBLE FOR CHECKING ALL DIMENSIONS AND QUERING ANY DISCREPANCIES. THIS DRAWING IS THE PROPERTY OF BURWELL ARCHITECTS LTD. COPYRIGHT IS RESERVED BY THEM AND THE DRAWING IS ISSUED ON CONDITION THAT IT IS NOT COPIED, REPRODUCED, RETAINED OR DISCLOSED TO ANY UNAUTHORISED PERSON, EITHER WHOLLY OR IN PART, WITHOUT WRITTEN CONSENT.</small>	Client	UCL BSEER		 <small>info@burwellarchitects.com www.burwellarchitects.com</small>		<small>Unit 001 California Building London SE13 7SF +44 (0) 2083 056010</small>			
T2	17.07.2019	Issued for Planning & LBC - AV Screen Key Note and Herringbone Flooring Key Note Changed. Revised Tea Point area. Power & Data in Room 202 revised to provide 3 points on the Chimney Breast Wall.	Project		10 Montague Street		Scale					1:50 @ A1 / 1:100 @ A3	Drawn
					Date	June 2019		Project N°	837	Drawing N°	837/G/043	Revision	T2