

SCOPE OF WORKS

101 LOBBY AND STAIRS

Reduce size of electrical riser to landing as shown on Landlords LBC Rectification drawing.
 Rub down and redecorate exposed edge of stair to edge of carpet runner with 2no. coats of satinwood.
 Install new broadloom carpet on underlay to landings and runner to staircase.
 Existing lighting to be retained.
 No decorations to walls and ceilings.

102 STAFF OFFICE

Modify small power and data installation as shown on Tenants Variation to Landlords LBC Rectification and Proposed drawings.
 New skirting to match profile of existing to be fitted following removal of low level vertical trunking - whole skirting to be redecorated to match existing paint finish where new skirting has been pieced in.
 Walls to be made good using lime plaster where dado trunking has been removed - whole wall to be redecorated to match existing paint finish following removal of trunking.
 Install new carpet tile floor finish.
 Refurbish windows to ensure they operate freely and install new roller blinds.
 Existing lighting to be retained.

103 STAFF OFFICE

Modify small power and data installation as shown on Tenants Variation to Landlords LBC Rectification and Proposed drawings.
 New skirting to match profile of existing to be fitted following removal of low level vertical trunking - whole skirting to be redecorated to match existing paint finish where new skirting has been pieced in.
 Walls to be made good using lime plaster where dado trunking has been removed - whole wall to be redecorated to match existing paint finish following removal of trunking.
 Install new carpet tile floor finish.
 Refurbish windows to ensure they operate freely and install new roller blinds.
 Existing lighting to be retained.

Refer to Finishes Schedule for all finishes specifications.
 Refer to Fixtures and Fittings Schedule for all fixtures and fittings.
 Refer to Furniture Schedule for all loose furniture.

◇ NEW ENGINEERED HARDWOOD FLOORING ◇

Existing floorboards to be lifted and joists leveled to match landing level. As discussed with Antonia Powell on site 11/07/19. Photographic survey of floor joists to be submitted to determine if existing floorboards are to be relaid.

△ NEW WALL MOUNTED AV SCREENS △

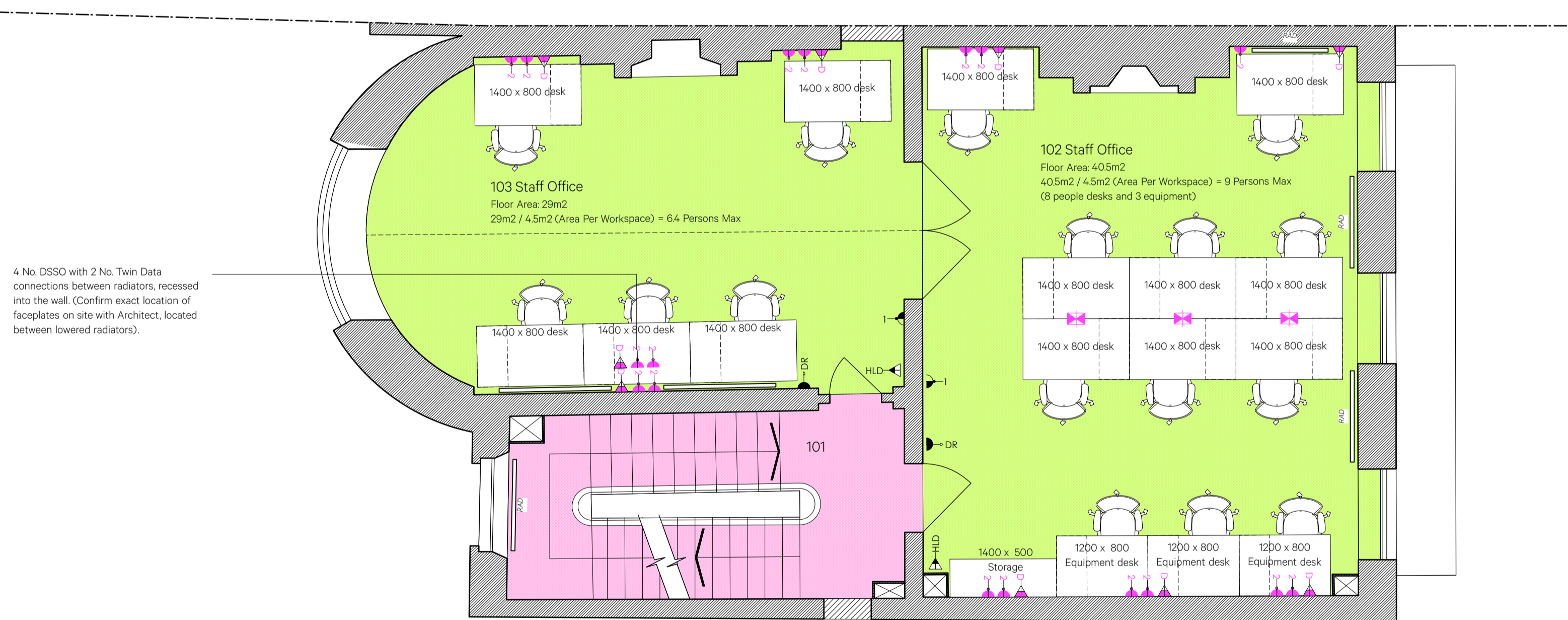
New Wall mounted AV Screen with 2 No. DSSO, Twin Data and output plate behind screen, and touchpanel control and input plate to LHS of screen.

ELECTRICAL KEY

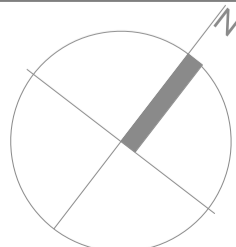

-  EXISTING DADO TRUNKING AND SOCKETS RETAINED
-  EXISTING RECESSED LIGHT SWITCH RETAINED
-  EXISTING SURFACE MOUNTED HIGH LEVEL DATA OUTLET RETAINED
-  EXISTING SURFACE MOUNTED DOOR RELEASE RETAINED
-  EXISTING DADO TRUNKING AND SOCKETS LOWERED AND REPOSITIONED AT 350MM AFFL., EXCEPT WHERE SKIRTINGS ARE HIGH, IN THESE LOCATIONS, UNDERSIDE OF DADO TRUNKING TO BE SET OUT JUST ABOVE TOP OF SKIRTING
 1. Existing horizontal and vertical dado trunking to be reused and lowered to just above skirting level.
 2. Walls to be made good using lime plaster where dado trunking has been removed.
 Whole wall to be redecorated to match existing paint finish following removal of trunking.
-  NEW DOOR RELEASE SWITCH CHASED INTO WALL
 (ORIGINAL WAS ON THE DADO TRUNKING REMOVED FROM WALL - EXISTING CABLES TO BE USED WHERE POSSIBLE)
-  NEW DOUBLE SWITCHED SOCKET OUTLET CHASED INTO WALL
 (ORIGINAL WAS ON THE DADO TRUNKING REMOVED FROM WALL - EXISTING CABLES TO BE USED WHERE POSSIBLE)
-  NEW TWIN DATA SOCKET OUTLET CHASED INTO WALL
 (ORIGINAL WAS ON THE DADO TRUNKING REMOVED FROM WALL - EXISTING CABLES TO BE USED WHERE POSSIBLE)
-  NEW FLOOR BOX WITH 2 NO. DOUBLE SWITCHED SOCKET OUTLET & 1 NO. TWIN DATA OUTLET
 EXISTING CABLES FROM DADO TRUNKING REMOVED FROM WALL TO BE RE-USED WHERE POSSIBLE
-  △ NEW WALL MOUNTED AV SCREEN WITH 2 NO. DSSO AND TWIN DATA OUTLETS BEHIND SCREEN △

FLOOR FINISHES KEY

-  ◇ NEW ENGINEERED HARDWOOD FLOORING ◇
-  EXISTING SHEET FLOORING TO BE RETAINED
-  NEW SHEET FLOORING
-  NEW BROADLOOM CARPET
-  NEW CARPET TILES
-  EXISTING BARRIER MAT TO BE RETAINED
-  NEW CERAMIC TILED HEARTH TO FIREPLACE



First Floor Plan : Proposed Tenant Fit Out

Revision	Date	Amendment	Notes									
T1	19.06.2019	Tender Issue		 <small>NO DIMENSIONS ARE TO BE SCALED FROM THIS DRAWING. THE CONTRACTOR/MANUFACTURER IS RESPONSIBLE FOR CHECKING ALL DIMENSIONS AND QUERING ANY DISCREPANCIES. THIS DRAWING IS THE PROPERTY OF BURWELL ARCHITECTS LTD. COPYRIGHT IS RESERVED BY THEM AND THE DRAWING IS ISSUED ON CONDITION THAT IT IS NOT COPIED, REPRODUCED, RETAINED OR DISCLOSED TO ANY UNAUTHORISED PERSON, EITHER WHOLLY OR IN PART, WITHOUT WRITTEN CONSENT.</small>	Client	UCL BSEER		 <small>info@burwellarchitects.com www.burwellarchitects.com</small>		<small>Unit 001 California Building London SE13 7SF +44 (0) 2083 056010</small>		
T2	17.07.2019	Issued for Planning & LBC - AV Screen Key Note and Herringbone Flooring Key Note Changed. Desk layout to Room 103 reduced and revised to suit End User requirements, Power & Data also revised to suit revised layout of Room 103.	Project		10 Montague Street		Scale					1:50 @ A1 / 1:100 @ A3
				Drawing	First Floor: Proposed Tenant Fit Out		Date	June 2019	Project N°	837	Revision	T2
						Drawing N°	837/G/042					