


SCOPE OF WORKS

 **EXISTING DADO TRUNKING AND SOCKETS RETAINED**

 **EXISTING DADO TRUNKING & SOCKETS REMOVED & REPLACED WITH NEW RECESSED SOCKETS**
NEW RECESSED SOCKETS TO BE SET OUT 350MM AFFL EXCEPT WHERE SKIRTINGS ARE HIGH, IN THESE LOCATIONS, UNDERSIDE OF SOCKETS TO BE SET OUT 100MM ABOVE TOP OF SKIRTING

1. Existing horizontal and vertical dado trunking to be removed.
2. Existing power and data cables to be retained and reused for new recessed outlets. Refer to 837_G_030 series proposed drawings for locations.
3. New plaster cornice to be fitted following removal of vertical trunking. Mould and material to match existing.
4. New skirting to match profile of existing to be fitted following removal of trunking. Whole skirting to be redecorated to match existing paint finish where new skirting has been pieced in.
5. Walls to be made good using lime plaster where dado trunking has been removed. Whole wall to be redecorated to match existing paint finish following removal of trunking.

Where trunking has been fixed to low level boxing out beneath radiators:
 6. Low level boxing out and trunking to be removed.

7. New skirting to match profile of existing to be fitted and decorated to match existing if required.
8. Walls to be made good using lime plaster where boxing out and radiators have been removed and redecorated to match existing.

 **EXISTING DADO TRUNKING AND SOCKETS LOWERED AND REPOSITIONED AT 350MM AFFL, EXCEPT WHERE SKIRTINGS ARE HIGH, IN THESE LOCATIONS, UNDERSIDE OF DADO TRUNKING TO BE SET OUT JUST ABOVE TOP OF SKIRTING**

1. Existing horizontal and vertical dado trunking to be reused and lowered to just above skirting level.
2. Walls to be made good using lime plaster where dado trunking has been removed. Whole wall to be redecorated to match existing paint finish following removal of trunking.

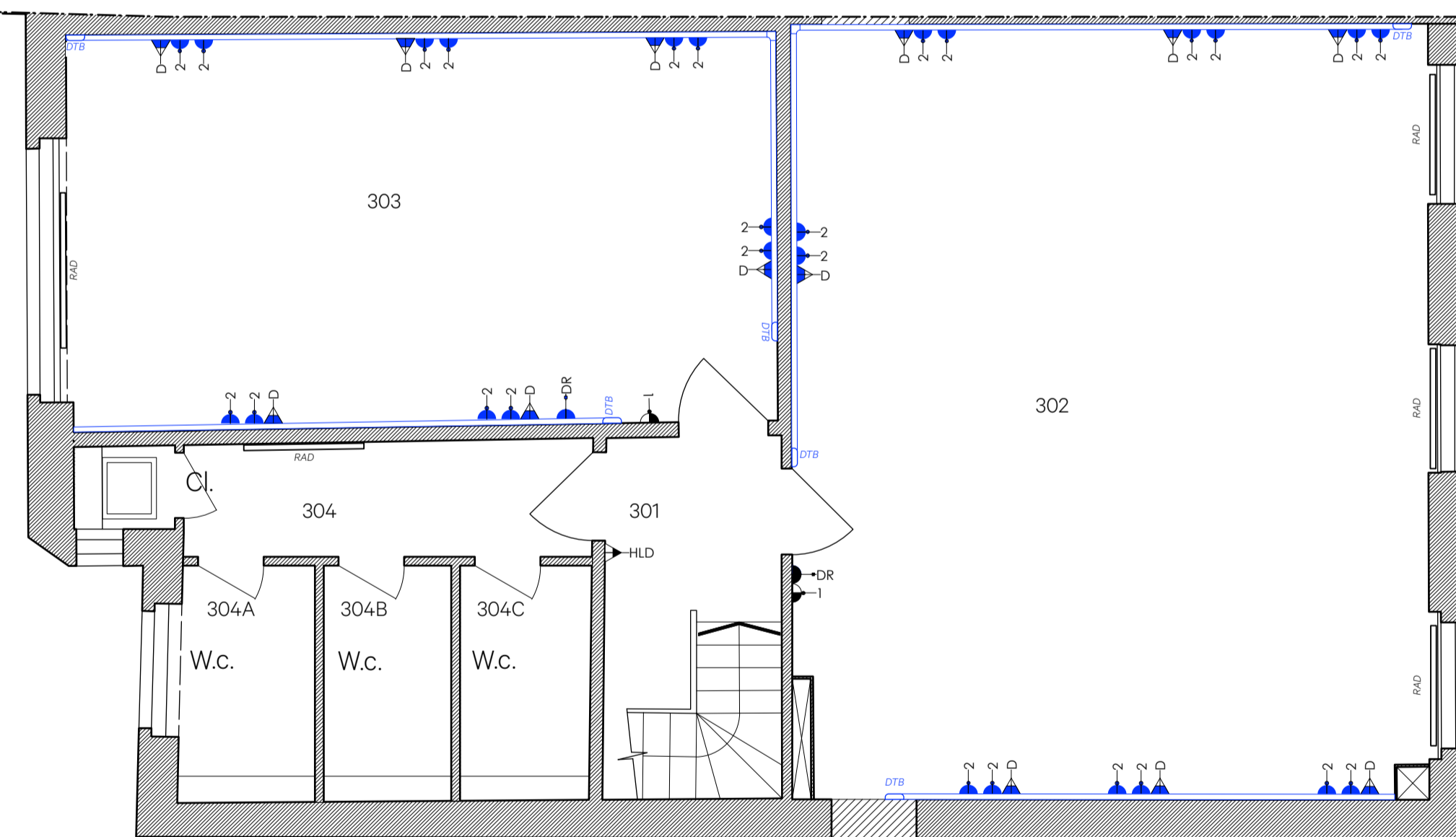
 **EXISTING RADIATORS RETAINED**

 **EXISTING WALL MOUNTED RADIATORS REMOVED FROM HISTORIC FABRIC AND REINSTALLED ON NEW STELRAD FLOOR STANDING BRACKETS**

1. Existing low level boxing in with trunking to be carefully removed (where installed).
2. Existing radiator wall brackets to be removed from wall.
3. Any resultant repair work to be carried out using lime plaster and decoration to match existing.
4. Existing radiator to be reused and floor mounted using stelrad floor standing brackets.
5. Where radiators have been fixed on boxing with electrical trunking and outlets installed under them at skirting level, the boxing and trunking is to be removed. In these circumstances, remove the radiators and connecting pipework after removal of boxing and trunking, reposition the radiators at normal height in line with other radiators. Where due to height of skirting board, radiators cannot be fixed back to the wall fabric, mount the radiators on proprietary feet from Stelrad subject to approval from Architect. It is permissible to install pipework exposed under radiators from the riser, fixed back to the skirting and painted white. Allow for installing new pipework and fittings from the riser.

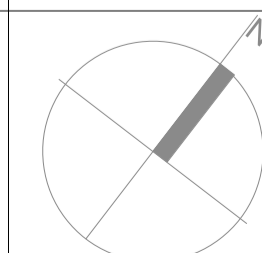
 **EXISTING SERVICE RISER REDUCED IN SIZE**

1. Existing service riser to be reduced in size as is practicable to minimize abutment to historical fabric including ceiling cornices, fan lights, etc.
2. Please refer to method statements for plaster repairs.



Third Floor Plan : Landlord LBC Rectification Works

Revision	Date	Amendment	Notes								
T1	19.06.2019	Tender Issue						Client UCL BSEER		Burwell Architects	
T2	17.07.2019	Issued for Planning & LBC						Project 10 Montague Street			
								Drawing Third Floor: Landlords LBC Rectification Works			
								Scale 1:50 @ A1 / 1:100 @ A3		Drawn GB	
								Date November 2018		info@burwellarchitects.com www.burwellarchitects.com	
								Project N° 837		Revision T2	
								Drawing N° 837/G/024		Unit 001 California Building London SE13 7SF +44 (0) 2083 056010	



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