

German Historical Institute

17 Bloomsbury Square

HERITAGE STATEMENT | JULY 2019



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Section 1

Introduction.

1 | Introduction

- 1.1 This Heritage Statement is supplied to provide a detailed assessment of the proposed installation of a fire detection system into the German Historical Institute, 17 Bloomsbury Square, Holborn, London WC1A 2NJ (henceforth 'the Site').
- 1.2 The application is already in progress (application number 2018/6189/L). This Heritage Statement providing further information to determine the application, in accordance with paragraph 189 of the NPPF (2019).
- 1.3 No. 17 Bloomsbury Square is a Grade II listed building, located within the Bloomsbury Conservation Area within the London Borough of Camden.
- 1.4 This report will:
 - Set out relevant local and national legislation, policy and guidance;
 - Identify the historic development of the Site;
 - Describe the Site and relevant designated heritage assets;
 - Appraise the heritage significance of No 17 Bloomsbury Square; and,
 - Assess the heritage impact of the proposals on the special architectural and historical interest and significance of the Site.
- 1.5 The existing Site and surroundings was appraised during a site visit in June 2019. Deskbased research has also been undertaken to inform the report findings. This includes review of secondary sources on John Nash, The Royal Pharmaceutical Society and the German Historical Institute, and primary mapping sources including OS mapping.
- 1.6 The report is drafted with reference to the Fire Detection and Alarm Strategy and Performance Specification authored by The Fire Surgery dated 3 August 2018, and informed by correspondence with Avison Young facilities project managers and contractors at Leader Systems.
- 1.7 The report is produced by Icen Projects. Specifically, it is authored by Genevieve Arblaster-Hulley BA (Hons), Heritage Consultant, Heritage & Townscape with review by Ailish Killilea BA (Hons) MSc IHBC, Associate, Heritage & Townscape.



Figure 1.1 Location of the Site within the Bloomsbury Conservation Area

Section 2

**Planning Legislation,
Policy & Guidance.**

Planning (Listed Buildings and Conservation Areas) Act 1990

- 2.1 Where any development may have a direct or indirect effect on designated heritage assets, there is a legislative framework to ensure the proposals are considered with due regard for their impact on the historic environment.
- 2.2 Primary legislation under Section 16 (2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 states that in considering whether to grant listed building consent for any works the local planning authority or the Secretary of State, as relevant, shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.
- 2.3 Section 72 of the Act establishes a duty in the exercise of any function under the Act to pay special attention to the desirability of preserving or enhancing the character or appearance of a Conservation Area. A Conservation Area is an area of local interest designated principally by the Local Planning Authority. The statutory duty in relation to Conservation Areas refers only to their character and appearance, and not to their setting.

National Planning Policy Framework

- 2.4 National Planning Policy Framework (July 2018, revised February 2019)
- 2.5 In July 2018, the government published the new revised version of the National Planning Policy Framework ("NPPF"), replacing the March 2012 published framework which had previously replaced the previous policy regime, including the design and heritage policies set out in Planning Policy Statement 1: Delivering Sustainable Development (PPS1), and Planning Policy Statement 5: Planning for the Historic Environment (PPS5).
- 2.6 Section 12, 'Achieving well-designed places', reinforces the importance of good design in achieving sustainable development, by ensuring the creation of inclusive and high-quality places. This section of the NPPF affirms, in paragraph 127, the need for new design to function well and add to the quality of the surrounding area, establish a strong sense of place, and be sympathetic to local character.
- 2.7 The guidance contained within Section 16, 'Conserving and enhancing the historic environment', relates to the historic environment, and developments which may have an effect upon it. This guidance in Section 16 remains substantially the same as the previous guidance regarding the Historic Environment, published in Section 12 of the March 2012 published NPPF.
- 2.8 Heritage Assets are defined in Annex 2 of the NPPF as: a building, monument, site, place, area or landscape positively identified as having a degree of significance meriting consideration in planning decisions. They include designated heritage assets (as defined in the NPPF) and assets identified by the local planning authority. Listed buildings and Conservation Areas are both designated heritage assets.
- 2.9 'Significance' is defined as 'The value of a heritage asset to this and future generations because of its heritage interest. This interest may be architectural, artistic or historic. Significance derives not only from a heritage asset's physical presence, but also from its setting.'

- 2.10 Paragraph 189 states that, when determining applications, local planning authorities should require applicants to describe the significance of the heritage assets affected and any contribution made by their setting. The level of detail provided should be proportionate to the significance of the asset and sufficient to understand the impact of the proposal on this significance. According to Paragraph 189, local planning authorities are also obliged to identify and assess the significance of any heritage asset that may be affected by a proposal and should take this assessment into account when considering the impact upon the heritage asset.
- 2.11 Paragraph 193 and 194 state that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation. It emphasises that the weight given to an asset's conservation should be proportionate to its significance, and that clear and convincing justification will be required for loss and harm to heritage assets.
- 2.12 Paragraphs 195 and 196 address the balancing of harm against public benefits. If a balancing exercise is necessary (i.e. if there is any harm to the asset), considerable weight should be applied to the statutory duty where it arises. Proposals that would result in substantial harm or total loss of significance should be refused, unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh that harm or loss (per Paragraph 195). Whereas, Paragraph 196 emphasises that where less than substantial harm will arise as a result of a proposed development, this harm should be weighed against the public benefits of a proposal, including securing its optimum viable use.

Planning Practice Guidance ("PPG") (Department for Communities and Local Government, February 2018)

- 2.13 The guidance in the PPG supports the NPPF. It reiterates that conservation of heritage assets in a manner appropriate to their significance is a core planning principle. It states that conservation is an active process of maintenance and managing change that requires a flexible and thoughtful approach, and that neglect, and decay of heritage assets is best addressed through ensuring that they remain in active use that is consistent with their conservation.
- 2.14 The PPG refers to key elements of a building's special architectural or historic interest when assessing harm. If proposed works adversely affect a key element of the heritage asset's special interest, then those works could amount to substantial harm. It is the degree of harm rather than the scale of development that is to be assessed by the decision taker. Substantial harm is stated to be a high test that may not arise in many cases.
- 2.15 Harm may arise from works to the heritage asset or from development within its setting. Setting is stated to include the surroundings in which a heritage asset is experienced and may be more extensive than its curtilage. A thorough assessment of the impact on setting needs to take into account, and be proportionate to, the significance of the heritage asset and the degree to which proposed changes enhance or detract from that significance and the ability to appreciate it.
- 2.16 The PPG also provides clear guidance on the meaning of 'public benefits', particularly in relation to historic environment policy, including paragraphs 192 to 196 of the NPPF.

2 | Planning Legislation, Policy & Guidance

Strategic Policy

- 2.17 The current London Plan (consolidated with alterations since 2011) was adopted in March 2016. The draft new London Plan was published in December 2017 and has undergone Examination in Public by a panel of Planning Inspectors appointed by the Secretary of State. The new London Plan deals with heritage issues in Chapter 7 Heritage and Culture, covering policies HC1 – HC7.
- 2.18 In the current London Plan, Heritage, Townscape and Design policies are published within Chapter 7, London’s Living Spaces and Places – Historic environment and landscapes.
- 2.19 Policy 7.8 of the London Plan requires Boroughs to ‘seek to maintain and enhance the contribution of built, landscaped and buried heritage to London’s ability to accommodate change and regeneration.’

London Borough of Camden Policy

- 2.20 The London Borough of Camden’s Local Plan was adopted by the Council on 3 July 2017. Along with the Local Plan, Supplementary Planning Documents (SPDs) also form a key part of LB Camden’s Local Development Framework.
- 2.21 Relevant heritage policies contained within Local Development Plan documents are as follows:
- 2.22 • Local Plan: Policy D1 Design part (q) and Policy D2 Heritage
- 2.23 • SPDs: Bloomsbury Conservation Area Appraisal
- Policy D1: Design

The Council will require development to be of the highest architectural and urban design quality which improves the function, appearance, and character of the area.

We will require that development:

- q. carefully integrates building services equipment.*

Policy D2 Heritage

The Council will preserve and, where appropriate, enhance Camden’s rich and diverse heritage assets and their settings, including Conservation Areas, listed buildings, archaeological remains, scheduled ancient monuments and historic parks and gardens and locally listed heritage assets.

Designated heritage assets

Designated heritage assets include Conservation Areas and listed buildings.

The Council will not permit the loss of or substantial harm to a designated heritage asset, including Conservation Areas and Listed Buildings, unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply:

- a. the nature of the heritage asset prevents all reasonable uses of the site;*

b. no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation;

c. conservation by grant-funding or some form of charitable or public ownership is demonstrably not possible; and

d. the harm or loss is outweighed by the benefit of bringing the site back into use.

The Council will not permit development that results in harm that is less than substantial to the significance of a designated heritage asset unless the public benefits of the proposal convincingly outweigh that harm.

Conservation Areas

Conservation Areas are designated heritage assets and this section should be read in conjunction with the section above headed ‘designated heritage assets’. In order to maintain the character of Camden’s Conservation Areas, the Council will take account of Conservation Area statements, appraisals and management strategies when assessing applications within Conservation Areas.

The Council will:

e. require that development within Conservation Areas preserves or, where possible, enhances the character or appearance of the area;

f. resist the total or substantial demolition of an unlisted building that makes a positive contribution to the character or appearance of a Conservation Area;

g. resist development outside of a Conservation Area that causes harm to the character or appearance of that Conservation Area; and

h. preserve trees and garden spaces which contribute to the character and appearance of a Conservation Area or which provide a setting for Camden’s architectural heritage.

Listed Buildings

Listed buildings are designated heritage assets and this section should be read in conjunction

with the section above headed ‘designated heritage assets’. To preserve or enhance the borough’s listed buildings, the Council will:

i. resist the total or substantial demolition of a listed building;

j. resist proposals for a change of use or alterations and extensions to a listed building where this would cause harm to the special architectural and historic interest of the building; and

k. resist development that would cause harm to significance of a listed building through an effect on its setting.

National Historic England Guidance

GPA2: Managing Significance in Decision Taking in the Historic Environment

- 2.24 This document provides advice on how decision-taking in the historic environment should be undertaken, emphasising the importance of identifying, and understanding the significance of, any affected heritage asset and the contribution of their settings towards their significance. In line with the NPPF and the PPG, the document states that early engagement and expert advice in considering and assessing the significance of heritage assets is encouraged. The advice suggests a structured, staged approach to the assembly and analysis of relevant information as follows:
- 2.25 1. Understand the significance of the affected assets;
- 2.26 2. Understand the impact of the proposal on that significance;
- 2.27 3. Avoid, minimise and mitigate impact in a way that meets the objectives of the NPPF;
- 2.28 4. Look for opportunities to better reveal or enhance significance;
- 2.29 5. Justify any harmful impacts in terms of the sustainable development objective of conserving significance and the need for change;
- 2.30 Offset negative impacts on aspects of significance by enhancing other aspects through recording, disseminating and archiving archaeological and historical interest of the important elements of the heritage assets that are affected.
- 2.31 The advice reiterates that heritage assets may be affected by direct physical change or by change in their setting. The document sets out the recommended steps for assessing significance and the impact of development proposals upon it, including examining the asset and its setting and analysing local policies and information sources. In assessing the impact of a proposal on the significance of a heritage asset the document emphasises that the cumulative impact of incremental small-scale changes may have as

great an effect on the significance of a heritage asset as a larger scale change. Crucially, the nature and importance of the significance that is affected will dictate the proportionate response to assessing that change, its justification, mitigation and any recording which may be necessary.

Section 3

Historic Development of the Site.

3 | Historic Development of the Site

- 3.1 The development of Bloomsbury was first begun in the 1660s, under the auspices of the 4th Earl of Southampton. He erected Southampton House and leased surrounding plots of land for building a residential square, Southampton Square. The lands passed to the Russell family through marriage in 1669, becoming part of the Bedford Estate.¹
- 3.2 Southampton House and Southampton Square were renamed Bedford House and Bloomsbury Square respectively soon after construction. A large London townhouse was erected on the site in towards the late seventeenth century, which is depicted in a topographical view by Sutton Nicholls published for a 1754 edition of Stow's Survey (fig. 1).

¹ <https://www.bedfordstates.com/the-estate/history/>

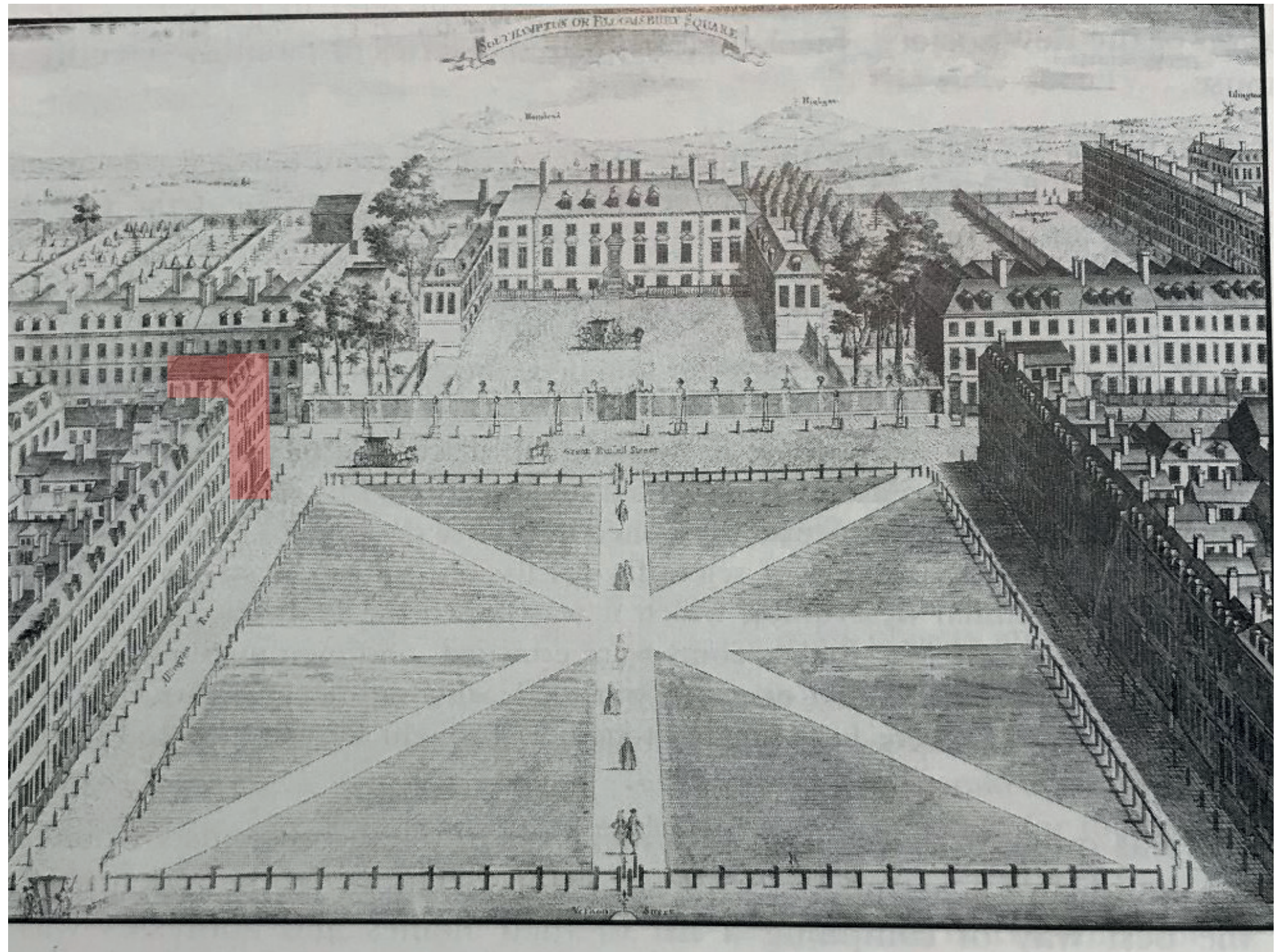


Figure 3.1 Caption

3 | Historic Development of the Site and Surroundings

- 3.3 The next phase in the history of the building arrived in the 1770s. John Nash, at the beginning of his career following a stint in Sir Robert Taylor's office, wanted to make an impact with his sole projects. In 1777 he agreed with Sir John Rushout, to redevelop his town-house in Bloomsbury Square (No.17) with adjoining land to the rear on Great Russell Street.
- 3.4 The development divided No.17 into two large house, with six smaller terraced houses on Great Russell Street.² The divided form of No.17 resulted in one entrance off Bloomsbury Square, in the original position of the door, and a new entrance to the second dwelling off Great Russell Street. Nash designed the buildings with the type of stuccoed front that later became synonymous with his designs, but at this date was novel. The stucco allowed for an easy and decorative response the requirements of the 1774 building act and the use of external timbers.
- 3.5 Nash introduced two striking cantilever stairs into the house, one for each dwelling. The southerly house, the one with the entrance off Bloomsbury Square, was intended as the more refined dwelling, where Nash experimented with an octagonal room, and highly decorated ceilings in the two principal first floor rooms.
- 3.6 In spite of the decoration and quality of the redevelopment, the houses failed to sell and Nash himself is recorded as living in one of the empty houses on Great Russell Street.³ Monies were owed to Nash's creditors and Nash was declared bankrupt in September 1783. Money was owed to the Adam Brothers' firm for the Stucco fronts, and it is likely that the firm was also involved in the creation of the ceilings in the current Common room and Seminar rooms. Nash had never been particularly well acquainted with the Adams's, and after this endeavour they did not have any further association. Meanwhile Nash moved to Carmarthen where he began to rebuild his funds and reputation.

² Nash, English Heritage, p.22

³ Ibid, p.23.

3.7 At some time in the early nineteenth century the house to the north appears to have been subdivided further, with the entrance that is still extant inserted. This then formed houses No 72 and 73 Great Russell Street.

3.8 The next major phase in the building's life was in 1841, when the newly established Pharmaceutical Society (later Royal Pharmaceutical Society) took the lease of No.17. Initially taking on the southern of the Nash houses, the Society expanded with the establishment of the School of Pharmacy and acquired no 72 and 73 Great Russell Street in 1857. The Society set about re-joining the buildings into one, which had not been the case since Nash's alterations. The Society added an extra floor in 1859 to house new Chemical laboratories along with the fitting out and rearrangement of the library and museum, lecture theatre, examination rooms, committee rooms, and secretarial offices. Whilst the use of the rooms were much changed, the overall plan-form of the building (s) remained much the same as Nash had designed. On the exterior the entablature frieze was inscribed with "the Pharmaceutical Society of Great Britain" to both the Bloomsbury Square and Great Russell Street fronts, and "Incorporated A.D. 1843" along the string course separating the ground floor rustication from the first-floor. In the 1880s the Society leased property in Pied Bull Yard and rebuilt No.16 Bloomsbury Square as an extension to the premises. Two photographs from 1883 /4 show the ornate ceilings of the first-floor then examination room and Council Chamber. The Council Chamber ceiling is now lost, through removal or potentially covered up.



Figure 3.2 detail showing Nash's redevelopment of No.17 in the corner of Bloomsbury Square a black and white copy of a mezzotint by Pollard & Jukes, 1787



Figure 3.3 c.1883 decorative ceiling shown now lost

- 3.9 Photographs from the early 1930s show the Society' use of the building at this time, particularly notable are the extensive number of fittings for electric lighting on the ceiling of the current seminar room and the extent of cabling hung around the room.
- 3.10 As regulation for pharmacists increased and demand on the Society increased it was concluded that new and larger premises was required. The pharmaceutical department moved to a new building in 1955 whilst the headquarters remained at 17 Bloomsbury Square until September 1976.
- 3.11 During the early 1970s, the building was threatened with demolition to make way for a new British Library building. At this date the British Library formed part of the British Museum site. Residents joined together to form The Bloomsbury Association, which campaigned to save the area. The Bloomsbury Association won their case and a compulsory purchase order for the site fell through. As a vacant property the building was used by a community of artists and craftspeople known as the Bloomsbury Co-operative.⁴
- 3.12 The German Historical Institute was formally founded in 1976. In 1980 17 Bloombury Square was adopted as its formal home. Planning consents for alterations and refurbishment were granted in 1981 (application number HB2722) With generous support from the Volkswagen Foundation the building was purchased, restored and officially opened in December 1982. The Institute now occupies the whole of No.17 with its extensive libraries
- 3.13 The most recent planning consents were granted in 2005 (for a commemorative plaque) and 1991 for change of use.



Figure 3.4 c.1883 first floor room fitted as a seminar room



Figure 3.6 1931 first floor room fitted as a laboratory



Figure 3.5 1931 ground floor corner room



Figure 3.7 1960 Royal Pharmaceutical Society refitting

⁴ German Historical Institute 40 year anniversary publication, https://www.ghil.ac.uk/fileadmin/redaktion/dokumente/diverse/40_Years_GHIL_2016.pdf [accessed 20 June 2019]

Section 4

**Site Description and
Identification of Assets.**

4 Site Description and Identification of Assets

Site Description

- 4.1 The Site forms the north-western corner of Bloomsbury Square and Great Russell Street and has entrances on both roads related to the time the property was subdivided into two houses by John Nash. The building is on four storeys plus basement, the third-floor having been added in 1859. The exterior is close to John Nash's 1777 remodelling, although the fenestration has been replaced in the mid-nineteenth century and later. The Doric porch, (with trygliph frieze and mutule cornice) which frames the main entrance at ground floor level, was added in 1860.
- 4.2 The principal Bloomsbury Square front is symmetrical, across seven window bays with central door, and with an eight window bay return to Great Russell Street. Giant order Corinthian pilasters run above the ground floor rustication to the entablature above the second floor.
- 4.3 Internally there is substantial plan-form evidence of the two terraced houses John Nash created from the subdivision of the original seventeenth century building. The two principal cantilever staircases, of equal size, are top lit. There is an evident hierarchy of spaces, with the first-floor housing the principal rooms, two of which retain their complete plaster ceilings in the Adam style, or possibly by the Adam Brothers. Some other of the ceilings retain elements of their previous decorative style, or were originally more simply decorated. The ceilings on the basement, second and third floors are all plain. The ground floor has a greater variety of ceiling decoration, although this is mostly very simple in style.
- 4.4 The building is very well maintained and sympathetically decorated. Large areas of the building, especially on the basement, ground and first floors, provide space for the German Historical Institute's extensive library.

Identification of Heritage Assets

- 4.5 The Site was Grade II listed on the 24 October 1951, National Heritage List for England list entry number 1244453. The full list description is provided at Appendix 2.
- 4.6 The Site is within the Bloomsbury Conservation Area and in the vicinity of a number of other listed heritage assets including Grade II listed No.14 Bloomsbury Square to the south, Grade II listed Numbers 66 to 71 Great Russell Street to the west and the Grade II listed park and garden of Bloomsbury Square. As the proposed works are internal and localised within rooms, an assessment of these nearby heritage assets is not warranted as no impact will arise from the proposals.



Figure 4.1 17 Bloomsbury Square

Section 5

Assessment of Significance.

5 Assessment of Significance

Assessment Methodology

5.1 The assessment methodology used here for assessing the significance of the identified heritage asset and its settings, and the non-designated heritage asset is the framework set out in Historic England's best-practice guidance document Conservation Principles, Policies, and Guidance (2008). Broadly, this proposes the use of four key heritage values – evidential, historical, aesthetic, and communal – in assessing what makes a place and its wider context special. The four values are defined summarily as follows:

- **Evidential value** derives from the potential of a place to yield evidence about past human activity.
- **Historical value** derives from the ways in which past people, events and aspects of life can be connected through a place to the present. It tends to be illustrative or associative.
- **Aesthetic value** derives from the ways in which people draw sensory and intellectual stimulation from a place.
- **Communal value** derives from the meanings of a place for the people who relate to it, or for whom it figures in their collective experience or memory. Communal values are closely bound up with historical (particularly associative) and aesthetic values, but tend to have additional and specific aspects.

5.2 This assessment gives an overview of the core significance of the building going on to consider each floor separately. Where relevant, specific rooms are considered separately, as sites of proposed changes via the installation of fire detection equipment; the discrete sites of cabling and the locations of the proposed locations of other call equipment; considering their relative significance and contribution to the significance of the specific room and of the building as a whole.

Assessment

5.3 Overall the significance of the building is held within three distinct phases related to the building's chronology:

- The main architectural special interest is derived from John Nash's remodelling of the building in 1777-8. Specifically, this is found to the greatest degree in the external elevations, the two grand staircases, the two highly decorative ceilings on the first floor, and also Nash's octagonal room which was to become an abiding part of Nash's later design work. This remodelling removed the surface fabric evidence of the first phase late seventeenth century dwelling, evidential value is held within the archaeological potential of this phase. Nash's remodelling is also of high historical interest due to the building being the first Nash developed in London using his later ubiquitous stuccoed exterior style. Whilst the building was not a commercial success in its time it could be said it was some 30 years or more before its time, with its process of refurbishment teaching John Nash useful lessons which he would go on to replicate or improve on elsewhere.
- The building is also of considerable significance from its history as the Royal Pharmaceutical Society. The buildings were re-joined into one during this time, although as much of the plan-form, circulation and decoration was retained, Nash's architectural design was retained. The building became an important location, perhaps the most important in the study of pharmacy, and of medicine more broadly. The history of the building is important in the story of science. Features such as the back staircase being known as the 'Women's' stairs' due to the fact women could not fully participate in the research of the Society, increased the significance and interest of this otherwise quite simple stair.
- The building further derives interest from its current function as the German Historical Institute, remaining a place of learning, study and the development of ideas.



Figure 5.1 The possibly Nash / Adams Brothers ceiling in the current seminar room

Basement

- 5.4 The basement has an existing wired fire detection system. The ceilings and walls are plain in decoration and as a whole have no discernible contribution to the significance or special interest of the building as a whole, or the individual rooms. The rooms are without decoration and hold a functional purpose, currently utilised for the German Historical Institute's extensive library. There is no evidence of historical details or fixtures remaining. Any significance that exists within the basement floor is found within its plan-form and the evidential potential of first phase fabric.
- 5.5 Figures 5.2-5.4 show examples of the type of ceiling within the basement.



Figure 5.2 Basement



Figure 5.4 Basement



Figure 5.6 Basement



Figure 5.3 Basement

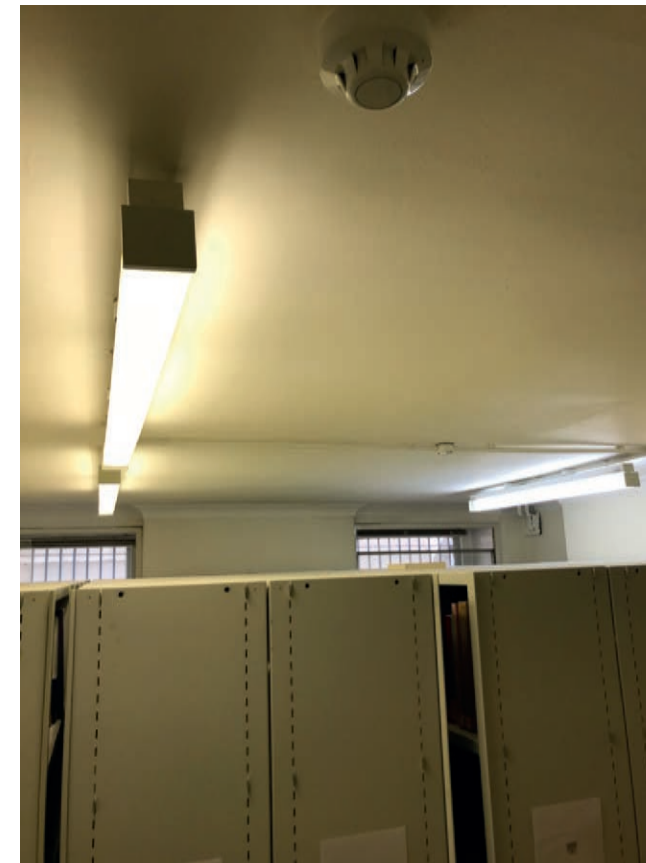


Figure 5.5 Basement

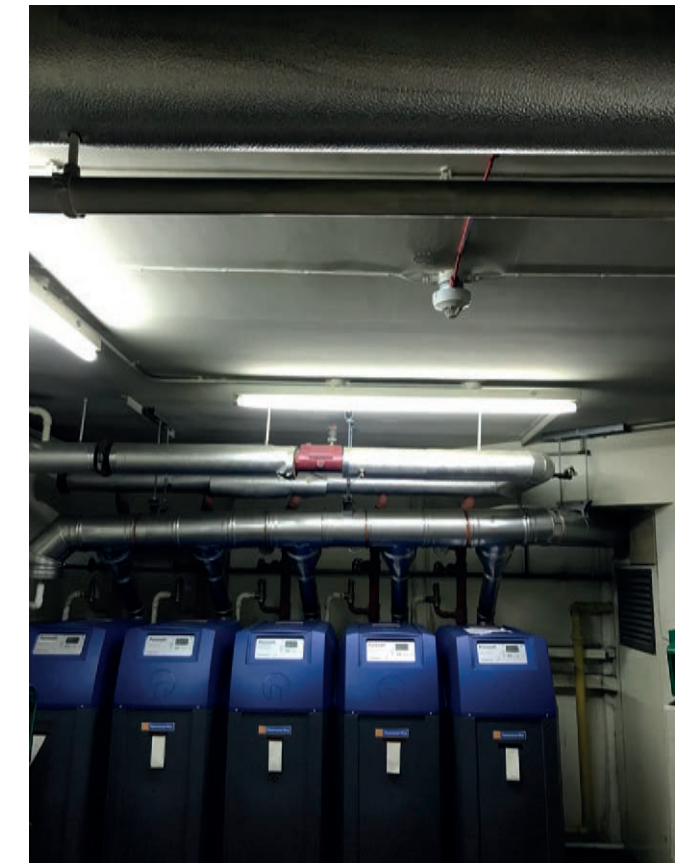


Figure 5.7 Basement

Ground Floor

5.6 The ground floor rooms are also largely plain in decoration, however most maintain their cornice mouldings and the two entrance halls from Nash's redevelopment of the building still have their vaulted and banded ceilings. Most rooms and are painted in historically sympathetic colours, notably with the use of a Pompeian red in the main entrance hall corridor. The contribution of the ceilings to the significance of their respective rooms is largely through the maintenance of the original ceiling heights and retained details. The walls are also largely plain or with floor to ceiling bookcases in the libraries. There are a number of different lighting styles utilised, with candle style lanterns in the most sensitive areas.

5.7 Figures 5.8-5.20 show photographs of a number of ceilings on the Ground Floor. The plan and table set out the assessment the significance of these areas in turn.



Figure 5.8 Ground floor Reception room

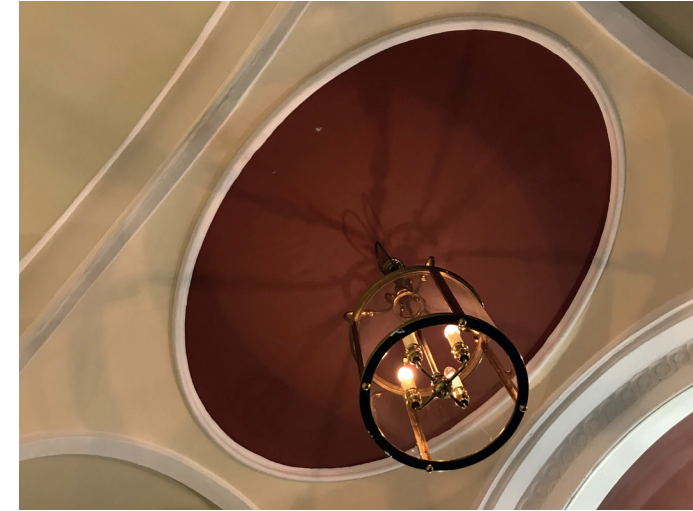


Figure 5.10 Ground floor hallway atrium ceiling



Figure 5.12 Hallway of Nash's second house



Figure 5.9 Ground floor main entrance hallway



Figure 5.11 Ground floor looking up to one of the cantilever staircases

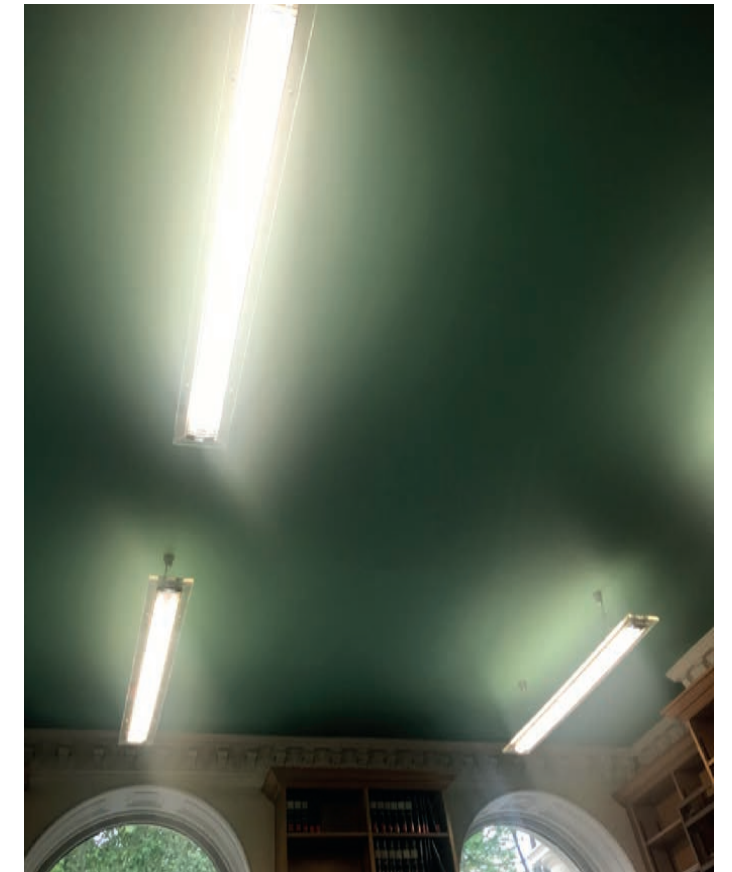


Figure 5.13 ground floor library ceiling



Figure 5.14 Hallway of Nash's second house



Figure 5.16 entrance hallway from Great Russell Street



Figure 5.18 Underside of the cantilever staircase



Figure 5.20 Room 13 Twentieth century ceiling

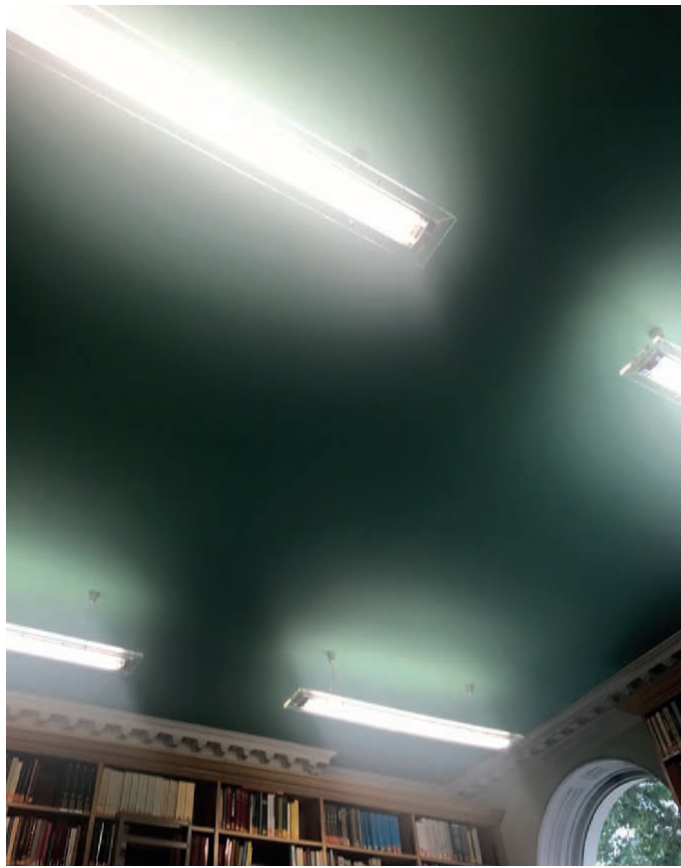


Figure 5.15 Ground floor library



Figure 5.17 Ground floor hall of entrance from Great Russell Street

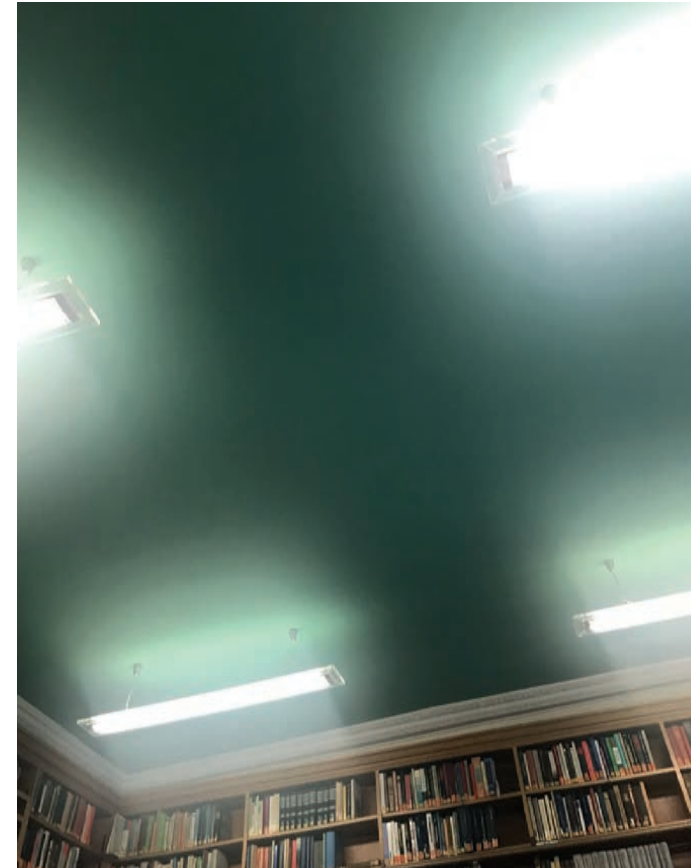


Figure 5.19 Ground floor library ceiling

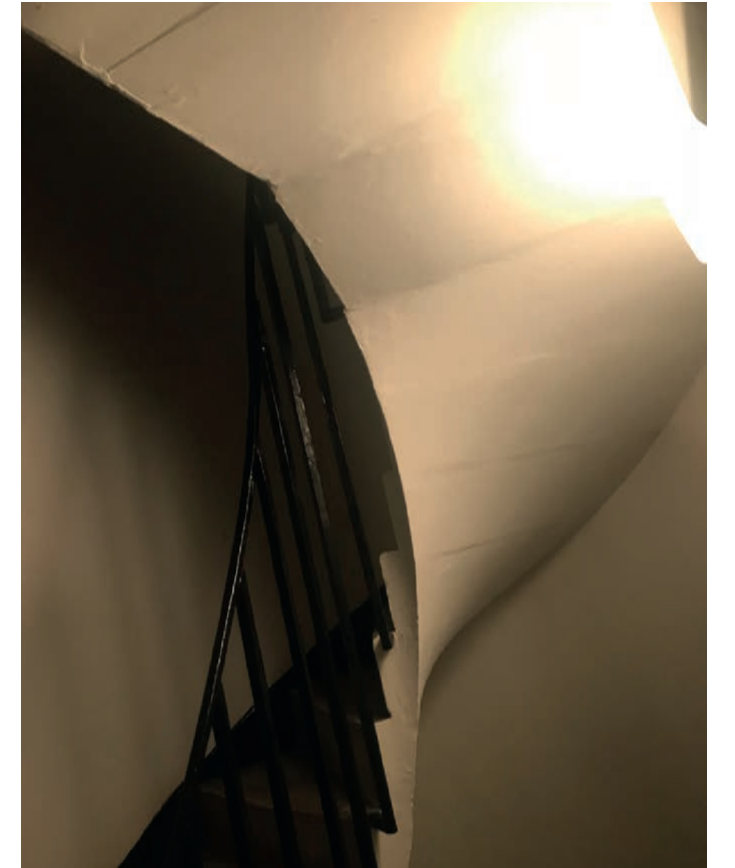
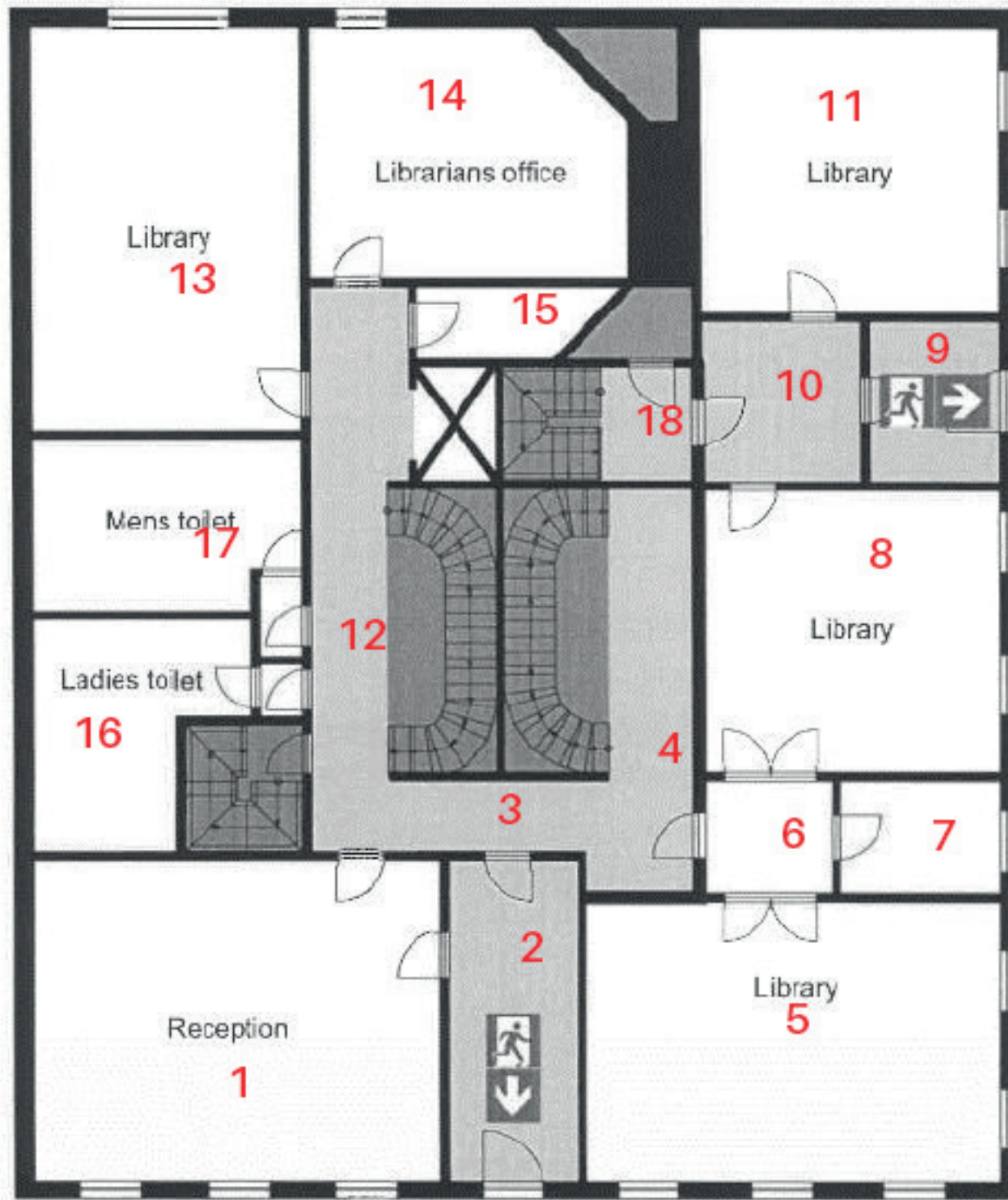


Figure 5.21 Back stair



	Details of special interest within the room	Level of Contribution of Significance of the location to the Grade II listed building as a whole
Room 1 (figure 5.8)	fireplace, cornice	medium
Room 2 (figure 5.9)	barrel vaulted ceiling with bands	high
Room 3 (figure 5.10)	three semi vaulted ceilings	high
Room 4 (figure 5.11)	cantilever staircase, including ironwork and bannister rail. Plasterwork detail to walls.	high
Room 5 (figure 5.13)	decorative cornice (19th century)	medium
Room 6 (figure 5.12)	barrel vaulted ceiling with bands	high
Room 7 (figure 5.14)	barrel vaulted ceiling with bands	high
Room 8 (figure 5.15)	decorative cornice, room proportions	high
Room 9 (figure 5.16)	entrance hall proportions	medium
Room 10 (figure 5.17)	entrance hall proportions	medium
Room 11 (figure 5.19)	room proportions	medium
Room 12 (figure 5.18)	cantilever staircase, including ironwork and balustrade	high
Room 13 (figure 5.20)	proportions of room and windows only	low
Room 14	semi octagonal form (with room 15)	medium
Room 15	semi octagonal form (with room 14)	medium
Room 16	none visible	low / negligible
Room 17	none visible	low / negligible
Room 18 (figure 5.21)	narrow form of the back stair, simple cast iron balustrades	medium

First Floor

- 5.8 The rooms on the first floor hold the highest aesthetic value across the entire building, this is to a varying degree, with the highest contribution to the building's special interest contained within the two highly decorated ceilings, with designs possibly by the Adam's Brothers. Other ceilings are much more simple in character, usually with decorative cornices. Many of the rooms are given over to libraries with floor to ceiling bookcases, where walls are exposed they are plain in decoration.
- 5.9 The two grand staircases are also of high significance, related to their aesthetic quality and historical connection to the Nash remodeling.
- 5.10 Figures 5.8-5.20 show photographs of a number of ceilings on the Ground Floor. The plan and table set out the assessment the significance of these spaces in turn.



Figure 5.22 First floor library



Figure 5.24 first floor library, with centre rose



Figure 5.26 Back stair at first floor level



Figure 5.23 First floor library ceiling with some decoration



Figure 5.25 Grand staircase from first floor, looking up towards glass lantern

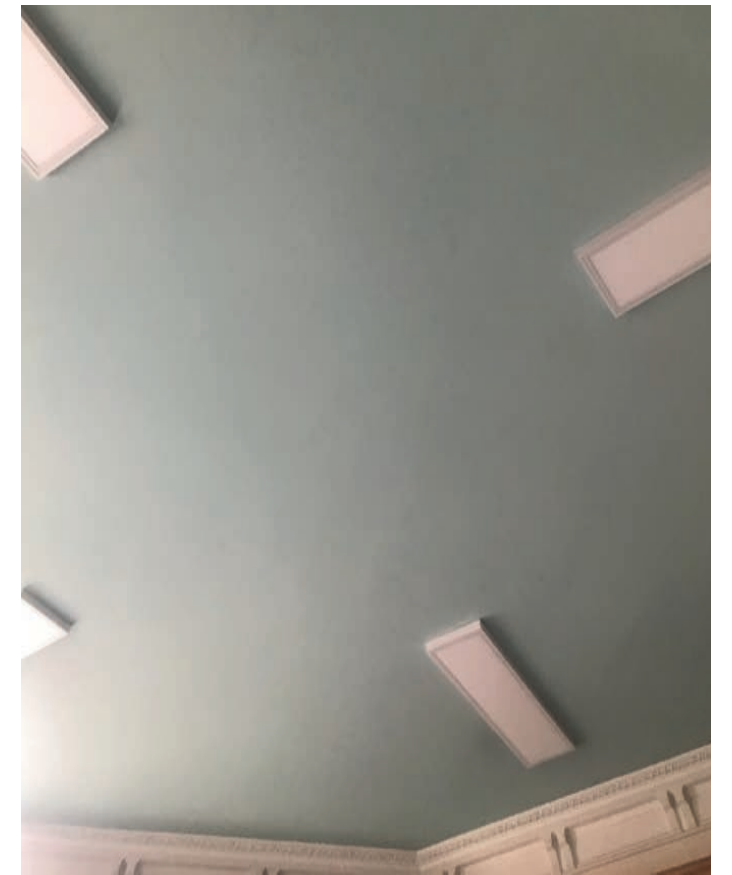


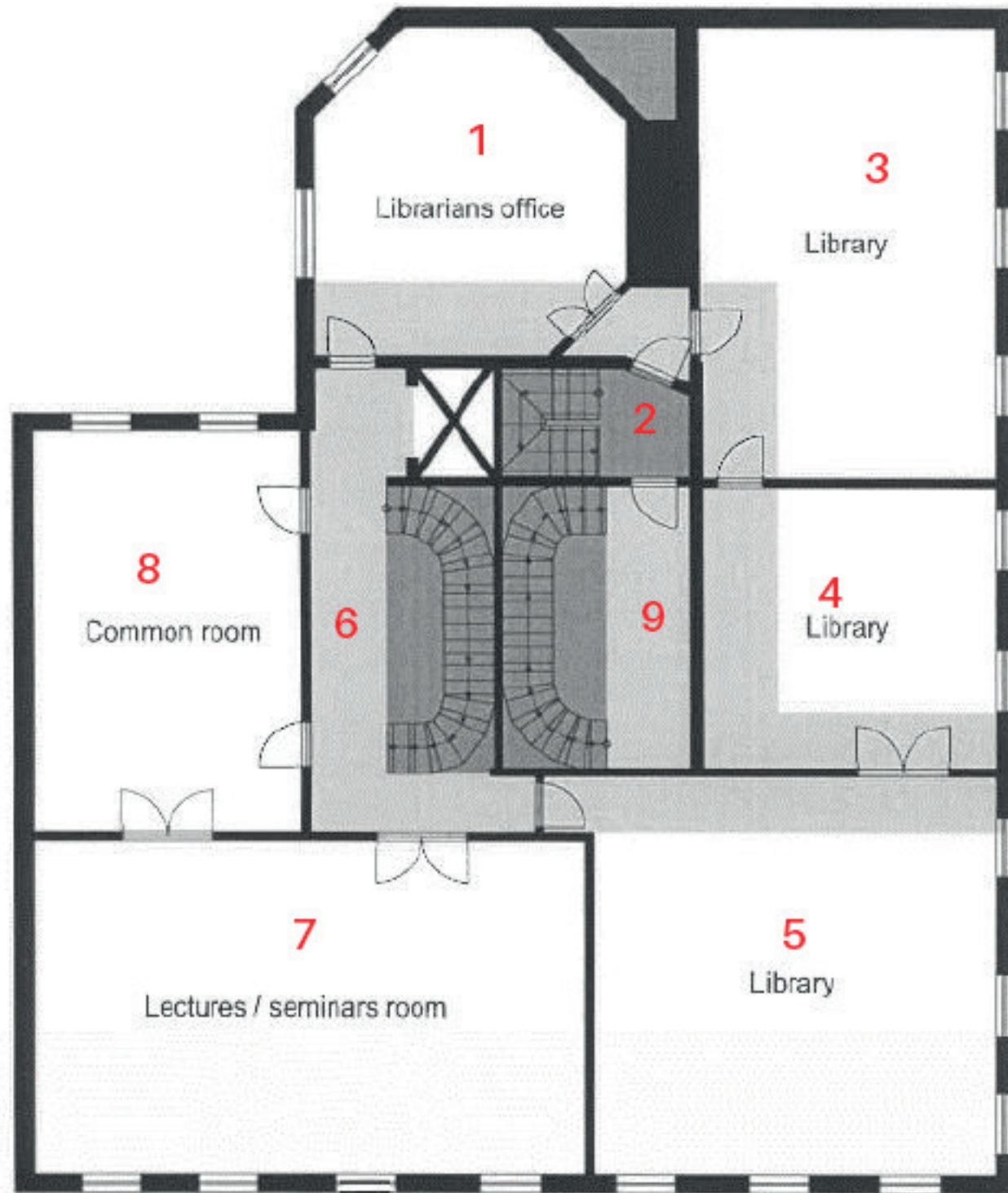
Figure 5.27 First floor octagon room



Figure 5.28 The possibly Nash / Adams Brothers ceiling in the current seminar room, of exceptional aesthetic value.



Figure 5.29 The possibly Nash / Adams Brothers ceiling in the current common room, of exceptional aesthetic value.



	Details of special interest within the room	Level of Contribution of Significance of the location to the Grade II listed building as a whole
Room 1 (figure 5.25)	<i>octagonal form and retained cornice</i>	<i>high</i>
Room 2 (figure 5.26)	<i>narrow form of the back stair, simple cast iron balustrades</i>	<i>medium</i>
Room 3 (figure 5.22)	<i>Decorative cornice and frieze. Possibility of historic decorative plaster hidden below surface coat (although this may have been removed).</i>	<i>medium- high (potential)</i>
Room 4 (figure 5.23)	<i>Decorative plasterwork, detailed cornice</i>	<i>high</i>
Room 5 (figure 5.24)	<i>central plasterwork rose</i>	<i>medium</i>
Room 6 (figure 5.25)	<i>cantilever staircase, including ironwork and balustrade, visibility of glass lantern and decorative plasterwork</i>	<i>high</i>
Room 7 (figure 5.27)	<i>highly decorative plaster ceiling, doors and door frames</i>	<i>very high</i>
Room 8 (figure 5.29)	<i>highly decorative plaster ceiling, doors and door frames</i>	<i>very high</i>
Room 9	<i>cantilever staircase, including ironwork and balustrade, visibility of glass lantern and decorative plasterwork</i>	<i>high</i>

Second Floor

- 5.11 Like the basement, on the whole the second-floor is largely absent of decorative detail. Where coverings do exist these are of a modern date. Other fittings are also largely of a modern date. No evidence appears to exist of fittings related to the period in which the building was the Royal Pharmaceutical Society and this space is unlikely to have been fitted up to any great degree as part of Nash's speculative scheme.
- 5.12 The spaces on this floor have largely been given over to offices with some of the original spaces subdivided.
- 5.13 Therefore, the areas of special interest and significance relate to the culmination of the two grand staircases, with their dramatic original glass lanterns and decorative plaster; the back stair; and the retained shape (but not any surface detail) of the octagon room. These are of high contribution to the special interest of the building as a whole. Otherwise the second floor has a low contribution to the overall significance of 17 Bloomsbury Square, the limited contribution found only in parts of the retained plan-form.



Figure 5.30 Second floor



Figure 5.32 Second floor back stair



Figure 5.34 Second floor



Figure 5.31 Second floor grand staircase glass roof lantern



Figure 5.33 Second floor

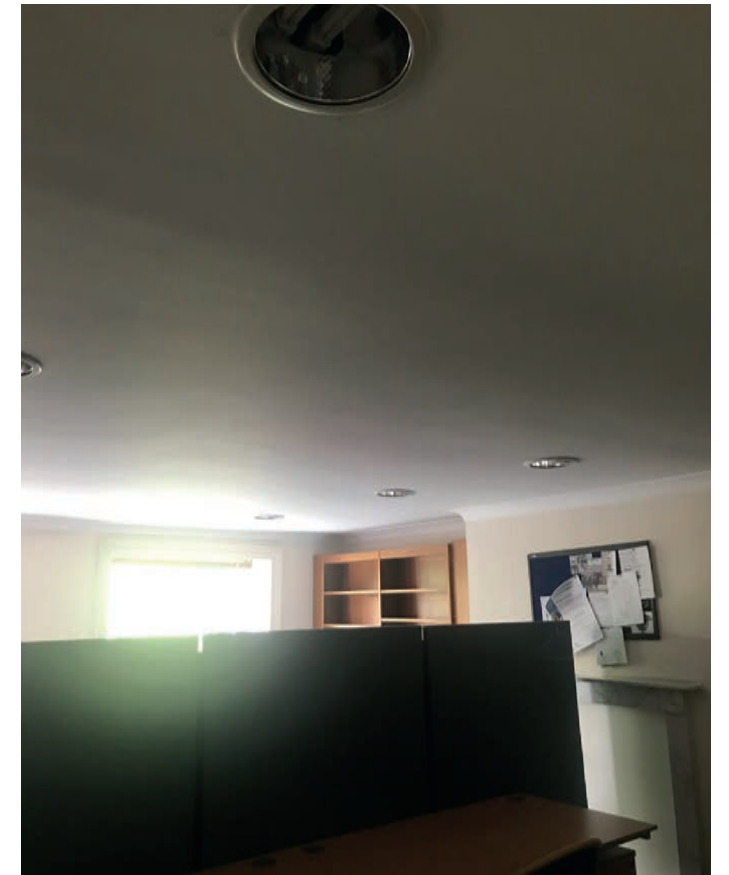


Figure 5.35 Second floor

Third Floor

- 5.14 This floor was added in 1859 by the Royal Pharmaceutical Society and on visual inspection retains no details of interest from this period. This floor also therefore has no relation to the Nash period of the house.
- 5.15 There does not appear to be anything of particular significance or special interest in the third floor rooms. Equally, the staircase between the second and third floors is of simple and functional design and does not appear to be of a contemporary date to the roof extension.
- 5.16 Overall therefore, the third floor (and its attics) make a negligible contribution to the significance and special interest of 17 Bloomsbury Square as a whole.



Figure 5.36 Third floor



Figure 5.38 Third floor

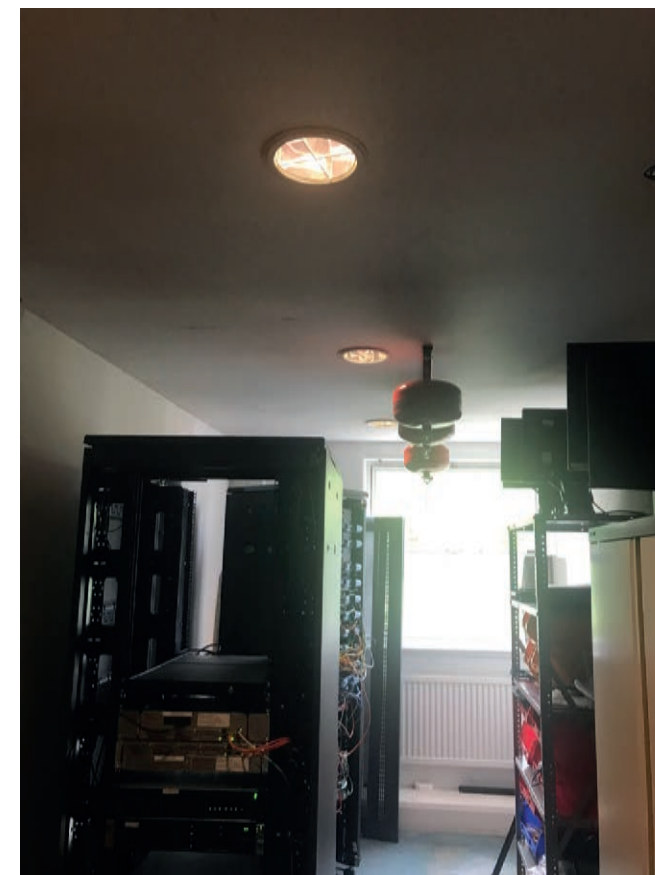


Figure 5.37 Third floor



Figure 5.39 Third floor

Section 6

Assessment of Impact.

6 | Assessment of Impact

Summary of Proposals

- 6.1 This assessment should be read alongside the 5 drawings provided by Leader Systems. Drawing numbers, LF-SW22798-Fa-01 to 05.
- 6.2 The proposals are for the installation of a new fire detection system. The building has not had comprehensive fire detection system previously installed, the current system provides detection in the basement and in the second-floor kitchen. The importance of the building and the importance of the German Historical Institute's library collection, make the installation of a full fire detection system highly important. Due to the Institute's busy programme throughout the academic year, installation of the system has to be carried out in a short time frame in the summer, before September.
- 6.3 The fire detection system is by Leader Systems, who have extensive experience in fitting systems into Grade I, II* and II listed buildings.
- 6.4 The system will be mostly wireless, with wireless detectors, sounders and call points. The wireless parts of the system will be fixed into place with screws, making small, but easily reversible, holes into the building fabric. The specific locations of these fixings are discussed further below.
- 6.5 Some of the system will be wired. There are already extensive wiring routes across the building used for communications, ethernet for Wi-Fi wiring and to desktop computers, for lighting systems, etc. The building is therefore already adapted for the installation of a wired backbone to connect to the transponders for the wireless devices.
- 6.6 This wiring will run from the current fire panel in the ground floor front reception room (this panel will also be replaced) and involve two wires from this panel to the basement. This wiring will in the most part use existing wire runs within the basement, and follow the routes shown on plan. From the basement, the wiring will run to the staircases indicated on the plan with CR for cable route / cable riser. The cables will then be run up existing risers or along existing cable runs. These cables will run up the cable risers to every floor, as noted on the plans, providing a looped cable network for the transponders to plug into.

- 6.7 The transponders then communicate with the wireless detectors on the ceiling and wireless call buttons on selected walls.
- 6.8 The appearance of the devices are as included on the 'Equipment overview and datasheets' PDF file. We have assessed the visual appearance of the devices and note that mitigations have been made through the use of base mounted sounders to smoke detectors, minimising the number of devices needing to be installed.

Methodology

- 6.9 This Impact assessment uses the assessment methodology and significance study set out in Chapter 5 to inform and applies policy and guidance within the NPPF, particularly paragraphs 193-196, the Historic Environment section of the PPG, and Historic England's Good Practice in Planning Note 2: Managing Significance in Decision Taking in the Historic Environment.



Figure 6.1 Fire Panel in ground floor reception room

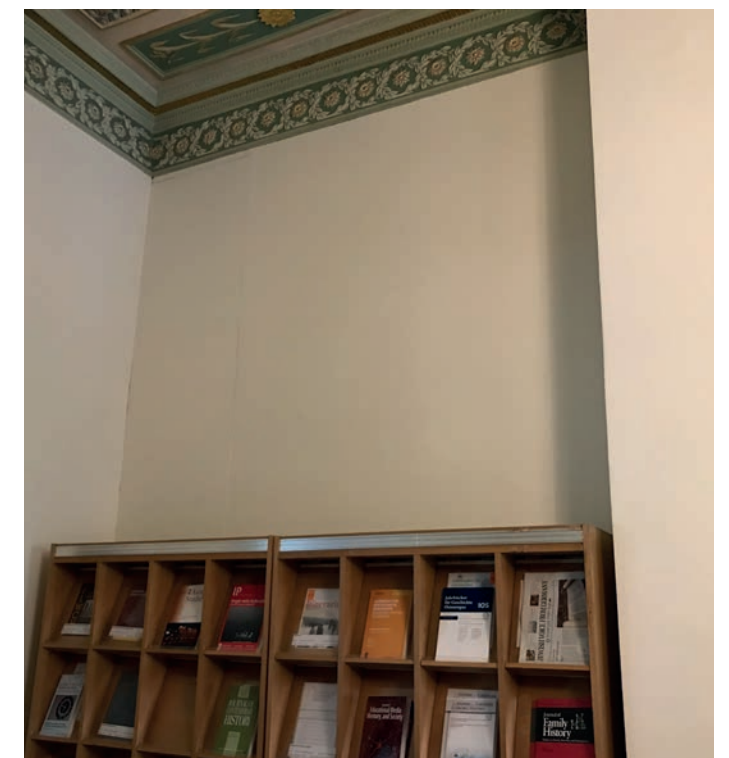


Figure 6.2 Wall in common room

Assessment of Impact

- 6.10 The proposals will as a whole result in limited intervention to the fabric of the building. This is a result of the small scale of the devices, coupled with the extensive use of wireless systems, and utilisation of existing cable runs and risers, with additional cable runs only introduced into areas of low historical interest (basement and roof)..
- 6.11 The proposals for the rooms in the basement, second and third floors (excluding grand staircases and back-stairs) have no impact on the special interest of the building, due to the lack of aesthetic value and the limited historical value of these spaces. The proposals for these floors, and any additional cabling (of a limited fashion) introduced into these floors considered, in our judgment, acceptable as the changes will not affect the significance of the building.
- 6.12 No harm is considered to arise from the introduction of further cabling within the two staircases from the basement to the ground-floor and the second-floor to the third-floor. These stairs have limited contribution to the significance of the building and the cable runs for the backbone of the fire detection system will not impact on this limited contribution.
- 6.13 More potential for impact on the special interest of the building arises at the ground-floor, first-floor levels, within the two main cantilever staircases and within the historical 'back-stair'. Each of these areas are assessed in turn below.

Ground Floor

- 6.14 As a whole the proposed locations of the devices are considered to be acceptable and result in no harm arising to the special interest of the building.
- 6.15 There are 4 wireless call buttons proposed at various locations though this floor, these are to be situated on areas of wall with no decorative detail and as such are assessed as resulting in no harm to the building.
- 6.16 27 wireless smoke detectors are proposed for the ceiling of each room, or part of room if the shape of the room means that the smoke is unlikely to pool in the centre. The most sensitive

locations for the detection devices are within the two entrance halls of the Nash redevelopment and within the area of the two grand staircases (discussed below). The installation locations of these detectors will take account of the banding of the vaults and the symmetrical form of the ceilings by placing the devices to minimise their visual impact, eg. by maintaining symmetry and sitting near to existing fittings to cluster the later changes in these locations and therefore mitigate impact.

- 6.17 The fire alarm panel will replace an existing panel in the same location in the reception room (figure 6.1). The impact of this change is therefore assessed as being neutral.

First Floor

- 6.18 The most sensitive rooms in the building are those currently utilised as the common room and the seminar room. These rooms hold the fine plaster ceilings designed by either Nash or possibly the Adam's Brothers. There are no devices proposed to be installed on these ceilings. Instead, these rooms will have one wireless wall mounted fire alarm sounder, and a wall mounted wireless call button. Figure 6.2 shows an example of the wall in the common room. Plain without decoration, the sounder will be positioned on top of the bookcases within this room to be as unnoticeable as possible. Within the seminar room the sounder will also be discreetly positioned. There is no harm considered to arise to the rooms from these devices.

- 6.19 6 ceiling mounted devices will be placed in other locations (excluding staircases). Two of these are in locations with partial plasterwork ceilings. (figures 5.22 and 5.33 above). The location of the wireless smoke detector and base mounted sounder in these locations will be set away from the detailed plasterwork but will be required to be affixed to the ceiling to effectively perform a detector function. The easy reversibility of the proposal in these locations, and the importance of fire detection, make the minor impact on the appreciation of the aesthetic value of these ceilings acceptable.

- 6.20 The location of the other 4 devices are judged to have no impact on appreciations of the significance of these rooms.

Grand Staircases

- 6.21 There are two smoke detection devices proposed within each of the two grand stairwells. These will be located on the underside of the cantilever stair. The location will be fairly discreet and not have a harmful impact on the significance of the staircases as the full aesthetic forms of the staircases will remain wholly intact with the white devices minimally visible set against the white painted walls.
- 6.22 A wireless call button is proposed on the first floor of each stair, located for ease of access and without interference with historic detail. Again this will have minimal disruption on the space, can be easily reversed, and will have no impact on the significance of the stairwell.

Back Stair

- 6.23 The changes within the back stair relate to transponder units, call points, smoke detectors, base mounted sounders and cable runs.
- 6.24 The call points, smoke detectors and base mounted sounders are all wireless and will have minimal fixings. Their presence in this space will not diminish appreciations of this stair as a back service stair and will have no effect on its significance as the 'womens' stair' at the time of the Royal Pharmaceutical Society. These devices are therefore considered to result in no harm to the significance of this space.
- 6.25 The cable runs will use existing risers in this area. The transponder units (x2 total) will be connected to the wired backbone in order to transmit any signals received from the wireless devices on each floor directly to the fire panel. This is an essential part of the system, and will be located in as discreet a fashion as possible. The units will be recognisable back of house functional items, and whilst will add another layer of twenty-first century technical infrastructure, the size of the devices will be small enough not to have an impact on appreciations of the aesthetic form of the back stair.

Conclusion

- 6.26 Due to the sensitive placement of the devices, the use of a wireless system (with the exception of the necessary wired backbone), the easy reversibility of much of the system, and the necessity of the implementation of a fire detection system, the proposals are considered to result in no harm to the special interest of the Grade II listed building.
- 6.27 We have advised Avison Young and Leader Systems on the proposed locations of the devices in question and are satisfied that all possible mitigations have been made.
- 6.28 As the works are necessary to ensure the future protection of the listed building we trust that LB Camden will determine the application in a positive and speedy manner to allow the works to be completed within the short holiday window in the academic year.

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Section 9

Conclusion.

- 7.1 This heritage statement has been produced by Icen Heritage on behalf of the German Historical Institute and Avison Young Facilities Management, to assess the proposed installation of a fire detection system into 17 Bloomsbury Square, Holborn, London WC1A 2NJ.
- 7.2 The application is already in progress (application number 2018/6189/L). This Heritage Statement has provides further information for LB Camden to determine the application, as per paragraph 189 of the NPPF (2019).
- 7.3 The assessment has sought to set out the relevant legislative and policy framework, to understand the Site as a Grade II listed building, its history and significance, both in terms of historical development and current appearance and function.
- 7.4 Using the assessment of significance to inform, the proposed locations of the detection system have been robustly considered. Feedback has been given during the process to Avison Young as the building managers and to the contractors Leader Systems. Suggestions for mitigating the impact of the proposals have been made.
- 7.5 The proposals submitted for determination are considered to preserve the special interest of the designated historic building, whilst making limited changes which serve to help protect the building in the event of fire. The chosen wireless system will make few,small and easily reversible interventions into the historic fabric, whilst the areas of greatest significance (in particular the two highly decorative plaster ceilings at first floor level) will remain wholly unaltered.
- 7.6 Overall therefore, we consider that the proposals are wholly compliant with identified legislation, policy and guidance, and in approving this application LB Camden will be successfully discharging their duty under section 16 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

| Placeholder text

Appendix 1
References.

Appendix 1 | References

17 BLOOMSBURY SQUARE | LONDON BOROUGH OF CAMDEN

- Holloway, SWF., Royal Pharmaceutical Society of Great Britain 1841-1991: A political and social history (London: the pharmaceutical press, 1991)
- Summerson, J. The life and work of John Nash architect (London: Allen and Unwin, 1980)
- Tyack, G., John Nash: Architect of the Picturesque (Swindon: English Heritage, 2013)
- German Historical Institute 40 Year Anniversary (London: German Historical Institute, 2016)
- Ordnance Survey Map Regression
- <https://www.bedfordstates.com/the-estate/history/> [accessed June 2019]

Appendix 2

Statutory List Entry.

Appendix 2 | Statutory List Entry

17 BLOOMSBURY SQUARE | LONDON BOROUGH OF CAMDEN

ROYAL PHARMACEUTICAL SOCIETY AND ATTACHED RAILINGS

TQ3081NW BLOOMSBURY SQUARE 798-1/100/103 (West side) 24/10/51 No.17 Royal Pharmaceutical Society and attached railings

Overview

Heritage Category:

Listed Building

Grade:

II

List Entry Number:

1244453

Date first listed:

24-Oct-1951

Location

Statutory Address:

ROYAL PHARMACEUTICAL SOCIETY AND ATTACHED RAILINGS, 17, BLOOMSBURY SQUARE

Statutory Address:

ROYAL PHARMACEUTICAL SOCIETY AND ATTACHED RAILINGS, GREAT RUSSELL STREET

The building or site itself may lie within the boundary of more than one authority.

County:

Greater London Authority

District:

Camden (London Borough)

National Grid Reference:

TQ 30265 81673

Details

CAMDEN

GV II

Includes: Royal Pharmaceutical Society and attached railings GREAT RUSSELL STREET. Terraced house. Later C17, converted into 2 houses and remodelled by John Nash c1777-8, rejoined 1860 and 3rd floor added. Stucco with rusticated ground floor. EXTERIOR: 4 storeys and basement. 7 windows and 8-window return to Great Russell Street. Symmetrical front. Later (1860) distyle Doric porch with triglyph frieze and mutule cornice. Panelled door with fanlight. Round-arched ground floor openings with keystones and impost bands; 2-pane sashes set in plain shallow recesses. Plain band at 1st floor level. Corinthian pilasters from 1st to 3rd floor carrying an entablature, the frieze inscribed "The Pharmaceutical Society of Great Britain". 1st floor windows with consoles carrying alternating segmental and triangular pediments. 3rd floor recessed rectangular windows. 4th floor with pilasters carrying cornice and blocking course. Windows rectangular recessed sashes. Return of similar elevational treatment without pilasters, and has arched entrance with double doors in 6th bay. 1st floor band inscribed "Incorporated AD 1843". 1st floor windows with cornices and 2nd floor architraved. INTERIOR: has wrought-iron scroll balusters to stone staircase. Principal rooms with plaster ceilings of c1777-8. SUBSIDIARY FEATURES: attached cast-iron railings with urn finials to areas.



Delivery | Design | Engagement | Heritage | Impact Management | Planning
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London: Da Vinci House | 44 Saffron Hill | London | EC1N 8FH

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