



12-22 Theobalds Road
London WC1X 8PF

**Heritage Assessment
of the 3rd Floor Ceilings**

July 2019



12-22 Theobalds Road, London WC1X 8PF - Heritage Assessment of the 3rd Floor Ceilings

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12-18 Theobalds Road Offices – 3rd Floor

Following the grant of applications for “Repairs to the building’s facades including restoration of historical features, leveling and landscaping of the courtyard, and replacement plant and enclosure atop existing single storey rear extension (No12).” (Ref: 2018/5294/P & 2018/5945/L) a Listed Building Consent is now sought by way of this current application for the removal of ceiling joists at third floor, while retaining the main ceiling beams, to reveal the roof structure and get extra height to these spaces. The ceilings at third floor are all modern plasterboards with exceptionally low headroom. Existing partitions would be retained and extended.

Following the site meeting with Camden officers (John Diver and Colette Hatton) on 04/06/2019 where ceiling removal has been discussed, the modern plasterboard ceiling has been removed throughout as agreed so the exposed beams and joists could be inspected and assessed.

This report is based on a series of visual inspections carried out on 26th and 27th June and 4th and 10th July 2019 following the removal of the majority of the existing ceilings. It needs to be read in conjunction with the Report on Structural Investigation of Roof Structure by GDC Partnership and the architectural drawings by Thirdway Architecture.

The Significance Appraisal included in the original Heritage Statement (2018/5294/P & 2018/5945/L) demonstrates that the building’s significance is not related to the internal fabric, which has been greatly altered during the twentieth century, but “primarily in its group value as part of this important streetscape” (Heritage Statement, p. 14).

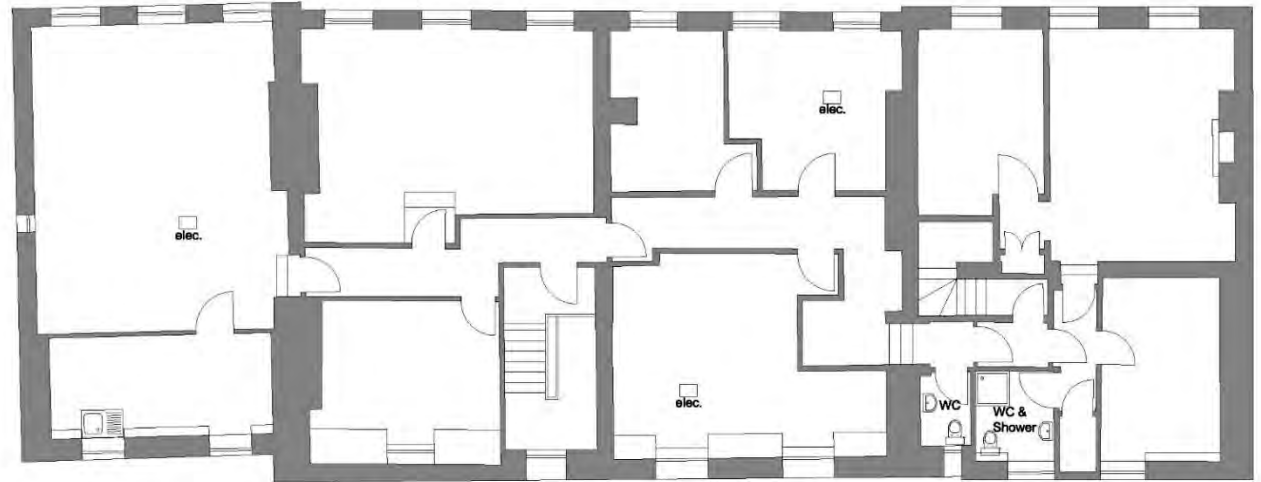
The buildings have some surviving interior details and finishes; however these are fragmentary and only located at the lower floors (ground and first). The original floor plans and layouts have been altered due to past alterations and change of functions. In addition, the installation of large office light fittings and patch repairs made to the ceilings throughout have resulted in further damage and diminished significance.

No 12

No 14

No 16

No 18



Overall, the ceiling heights are unsatisfactorily low due to the deflection of the floors and ceilings and need for levelling out, necessary for the intended office use. It is therefore considered as a beneficial alteration to open-up the roof space and expose the original ceiling beams so that they can be seen from the office spaces, which are intended to be comfortable and contemporary working spaces whilst retaining the historic character. It is also noted that the old water tanks installed above the ceilings in some rooms are to be removed.

We consider that these proposed changes will not affect the special character of the listed building - No’s 12-18 have had numerous internal alterations over the years, with modern partitions wide spread throughout all buildings and levels. It is considered that the proposed works will not cause substantial harm due to the ceiling’s considered low significance in terms of character and appearance.

In conclusion, through measuring the proposals against the NPPF and the appropriate local government guidelines, it is considered that the partial removal of the ceiling at top floor (the main ceiling beams are to be retained – see Report on Structural Investigation of Roof Structure by GDC Partnership) will not cause harm to the heritage asset’s special interest due to the poor state of repair that the ceiling is in, the low level of significance associated with the internal fabric at this level, and the benefits achieved by opening-up the roof space to the office area.

No 12



- **Roof rafters and boards:** modern fabric (95%) + historic (5%)
- **Primary ceiling beams:** historic (100%)
- **Ceiling joists:** historic (80%) + modern repairs; replacements; missing joists (20%)
- **Ceiling finish:** modern plasterboard (100%) – removed

Primary ceiling beams to be retained

Modern repairs and missing joists



No 12



- **Roof rafters and boards:** modern fabric (95%) + historic (5%)
- **Primary ceiling beams:** historic (100%)
- **Ceiling joists:** historic (50%) + modern repairs; replacements; missing joists (50%)
- **Ceiling finish:** modern plasterboard (100%) – removed

Primary ceiling beams to be retained

Modern reinforcement for the water tank above and damage to historic fabric

Modern repairs and missing joists



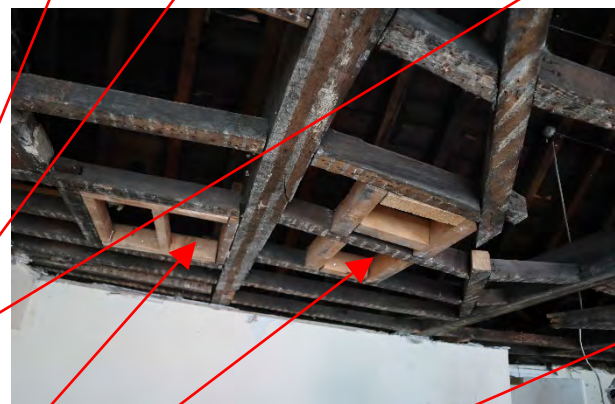
No 14



- **Roof rafters and boards:** modern fabric (95%) + historic (5%)
- **Primary ceiling beams:** historic (100%)
- **Ceiling joists:** historic (70%) + modern repairs/insert; replacements; missing joists (30%)
- **Ceiling finish:** modern plasterboard (100%) – removed

Primary ceiling beams to be retained

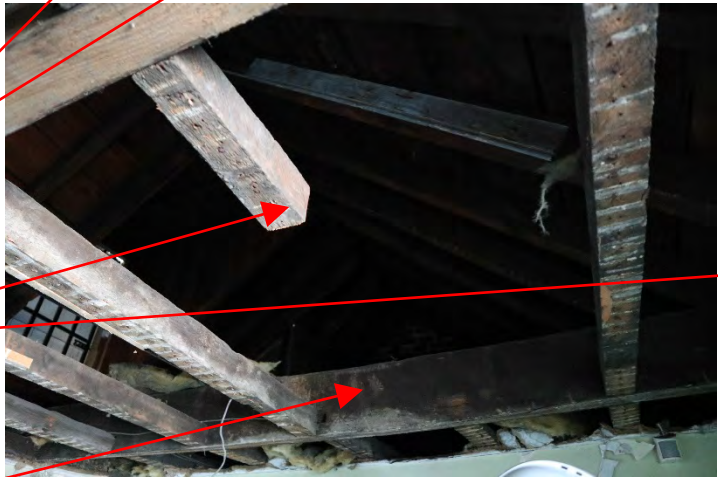
Modern insert/damage to historic joists and missing joists



No 14



- **Roof rafters and boards:** modern fabric (95%) + historic (5%)
- **Primary ceiling beams:** historic (50%) + modern replacement (50%)
- **Ceiling joists:** historic (50%) + modern repairs/insert; replacements; missing joists (50%)
- **Ceiling finish:** modern plasterboard (100%) – removed



Primary ceiling beams – modern replacements

Modern damage to historic joists and missing joists

Primary ceiling beams - historic

No 16

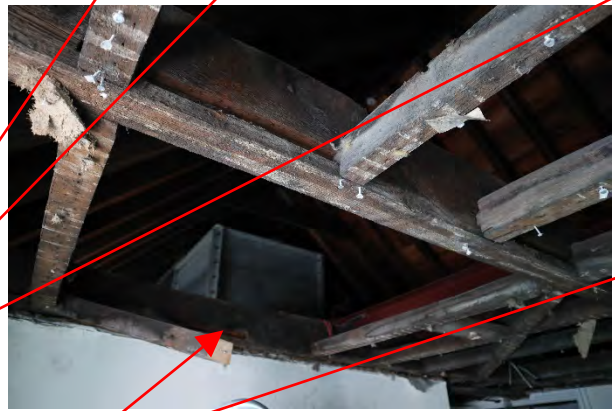
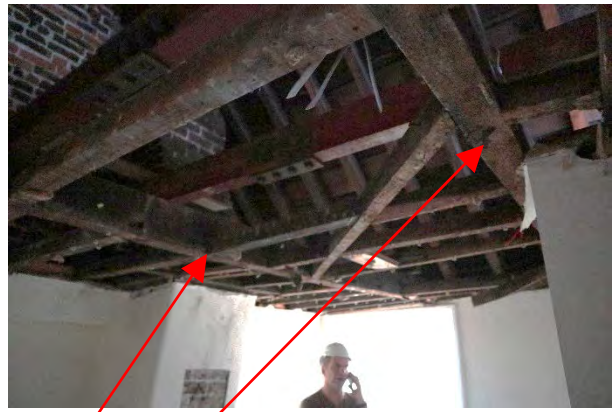


- **Roof rafters and boards:** modern fabric (95%) + historic (5%)
- **Primary ceiling beams:** historic (100%)
- **Ceiling joists:** historic (60%) + modern repairs/insert; replacements; missing joists (40%)
- **Ceiling finish:** modern plasterboard (100%) – removed

Primary ceiling beams to be retained

Modern reinforcement steel beams for the water tank above and damage to historic fabric

Modern repairs and missing joists



No 16

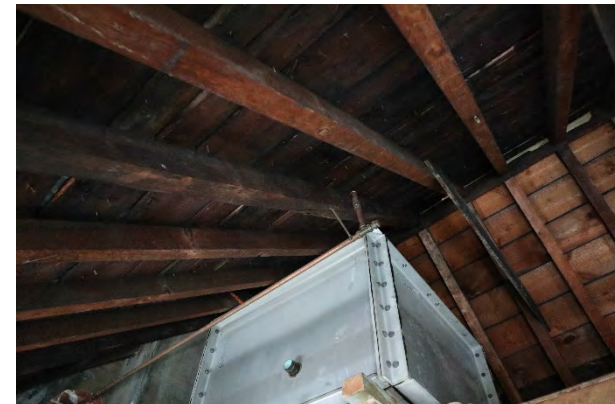


- **Roof rafters and boards:** modern fabric (95%) + historic (5%)
- **Primary ceiling beams:** historic (100%)
- **Ceiling joists:** historic (60%) + modern repairs/insert; replacements; missing joists (40%)
- **Ceiling finish:** modern plasterboard (100%) – removed

Primary ceiling beams to be retained

Modern reinforcement steel beams for the water tank above and damage to historic fabric

Modern damage and missing joists



No 16

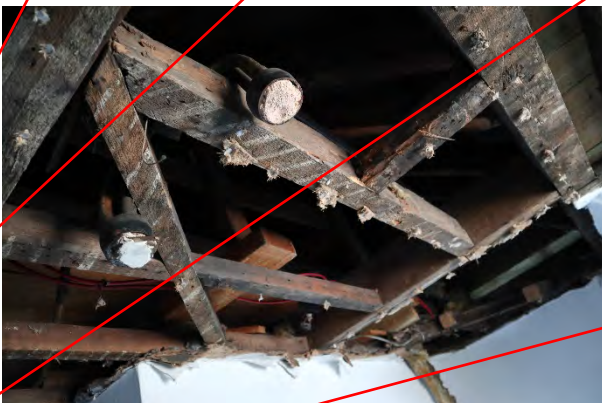
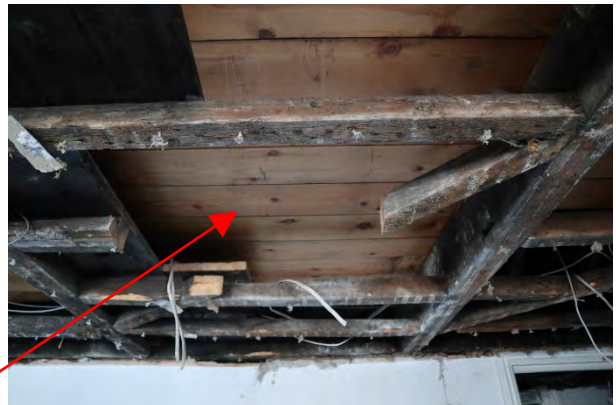
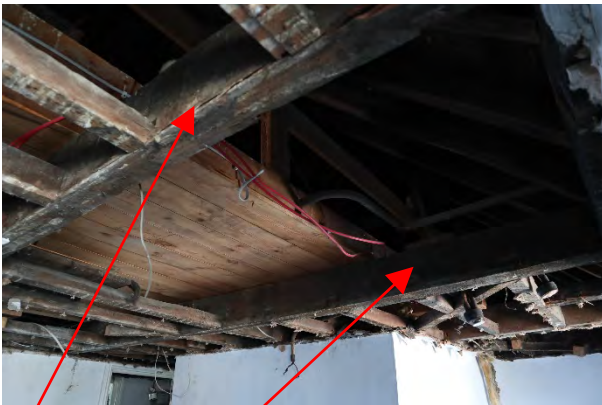


- **Roof rafters and boards:** modern fabric (95%) + historic (5%)
- **Primary ceiling beams:** historic (95%) + modern replacement (5%)
- **Ceiling joists:** historic (50%) + modern repairs/insert; replacements; missing joists (50%)
- **Ceiling finish:** modern plasterboard (100%) – removed

Primary ceiling beams to be retained

Modern reinforcement for the boarding/walkway above and damage to historic fabric

Primary ceiling beam – modern replacement



No 18



- **Roof rafters and boards:** modern fabric (95%) + historic (5%)
- **Primary ceiling beams:** historic (100%)
- **Ceiling joists:** historic (20%) + modern repairs/insert; replacements; missing joists (80%)
- **Ceiling finish:** modern plasterboard (100%) – removed

Primary ceiling beams to be retained and repaired as needed

Modern damage and missing joists

Ceiling joists – modern replacement



No 18



- **Roof rafters and boards:** modern fabric (95%) + historic (5%)
- **Primary ceiling beams:** historic (100%)
- **Ceiling joists:** historic (90%) + modern repairs/insert; replacements; missing joists (10%)
- **Ceiling finish:** modern plasterboard (100%) – removed

Primary ceiling beams to be retained

Ceiling joists – modern replacement



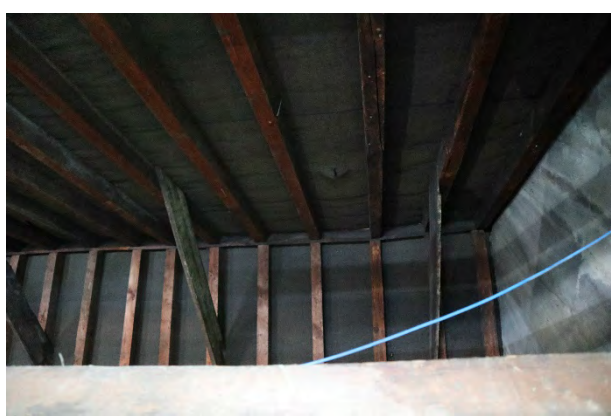
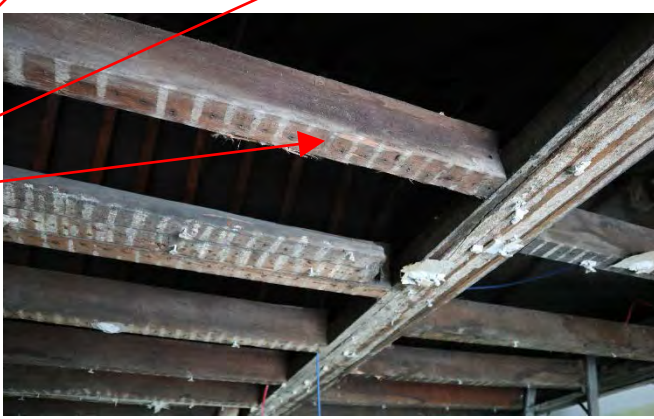
No 18



- **Roof rafters and boards:** modern fabric (95%) + historic (5%)
- **Primary ceiling beams:** historic (100%)
- **Ceiling joists:** modern replacements (100%)
- **Ceiling finish:** modern plasterboard (100%) – removed

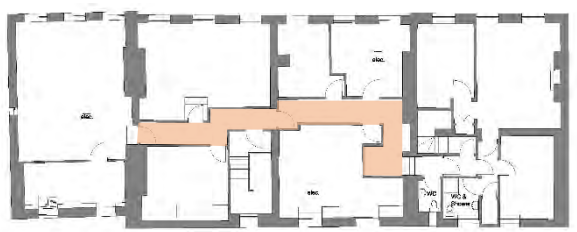
Primary ceiling beams to be retained

Ceiling joists – modern replacement



No 14

No 16



- **Roof rafters and boards:** modern fabric (95%) + historic (5%)
- **Primary ceiling beams:** historic (90%) + modern repairs/inserts (10%)
- **Ceiling joists:** historic (50%) + modern repairs/insert; replacements; missing joists (50%)
- **Ceiling finish:** modern plasterboard (100%) – removed

Primary ceiling beams to be retained and repaired as needed

Valley beam to be retained and repaired as needed



20 & 22 Theobalds Road Residential – 3rd Floor

Following the grant of applications for “*Reconfiguration of layout to create 3no 1-bedroom self-contained flats at lower, ground and 1st floor levels and a 3-bedroom self-contained maisonette at 2nd and 3rd floor level and associated internal and external repairs/refurbishments.*” (Ref: 2018/5565/L), “*Conversion of a HMO (Class C4) property to create 3no 1-bedroom self-contained flats at lower, ground and 1st floor levels and a 3-bedroom self-contained maisonette (Class C3) at 2nd and 3rd floor level and associated repairs/refurbishment to the building’s façade*” (Ref: 2018/5286/P) and “*Internal alterations to GII property to facilitate its subdivision into 2x one bed and 1x three bedroom flats between ground and third floor levels (variation to scheme approved under 2016/3278/L)*” (Ref: 2018/5245/L) a Listed Building Consent is now sought by way of this current application for the removal of ceiling joists at third floor level, while retaining the primary ceiling beams, to reveal the roof structure and get extra height to these spaces. The ceilings at third floor are all modern plasterboards with exceptionally low headroom.

Following the site meeting with Camden officers (John Diver and Colette Hatton) on 04/06/2019 where ceiling removal has been discussed, the modern plasterboard ceiling has been removed throughout as agreed so the exposed beams and joists could be inspected and assessed.

This report is based on a series of visual inspections carried out on 26th and 27th June and 4th and 10th July 2019 following the removal of the majority of the existing ceilings. It needs to be read in conjunction with the Report on Structural Investigation of Roof Structure by GDC Partnership and the architectural drawings by Thirdway Architecture.

The Significance Appraisal included in the original Heritage Statements demonstrates that the building’s significance is primarily “*in its group value as part of an 18thC Georgian terrace in this important streetscape*” (Heritage Statement, p. 13).

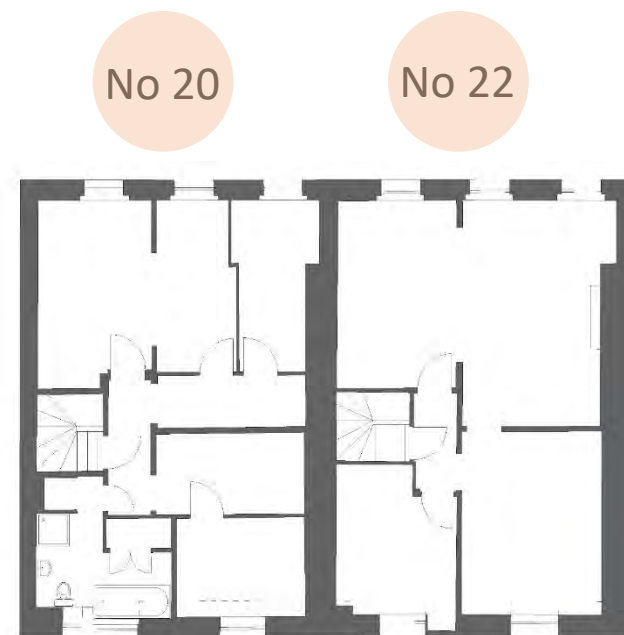
The buildings still feature a large number of original surviving interior features and finishes, however these are only located at the lower floor levels (ground and first).

The second and third floor levels are of subservient significance to the grander ground and first floor and contain much less surviving decorative historic fabric and architectural features.

Overall, the ceiling heights are unsatisfactorily low due to the deflection of the floors and ceilings and need for levelling out, necessary for the intended residential use. It is therefore considered as a beneficial alteration to open-up the roof space and expose the original ceiling beams so that they can be seen from the living spaces, which are intended to be comfortable and contemporary dwellings whilst retaining the historic character. It is also noted that the old water tanks and other services installed above the ceilings in some rooms are to be removed.

We consider that these proposed changes will not affect the special character of the listed building - No’s 20-22 have had numerous harmful internal alterations over the years, with modern partitions wide spread throughout all buildings and levels. It is considered that the proposed works will not cause substantial harm due to the ceiling’s considered low significance in terms of character and appearance.

In conclusion, through measuring the proposals against the NPPF and the appropriate local government guidelines, it is considered that the partial removal of the ceiling at top floor level (the main ceiling beams are to be retained – see Report on Structural Investigation of Roof Structure by GDC Partnership) will not cause harm to the heritage asset’s special interest due to the poor state of repair that the ceiling is in, the low level of significance associated with the internal fabric at this level, and the benefits achieved by opening-up the roof space to the living area.



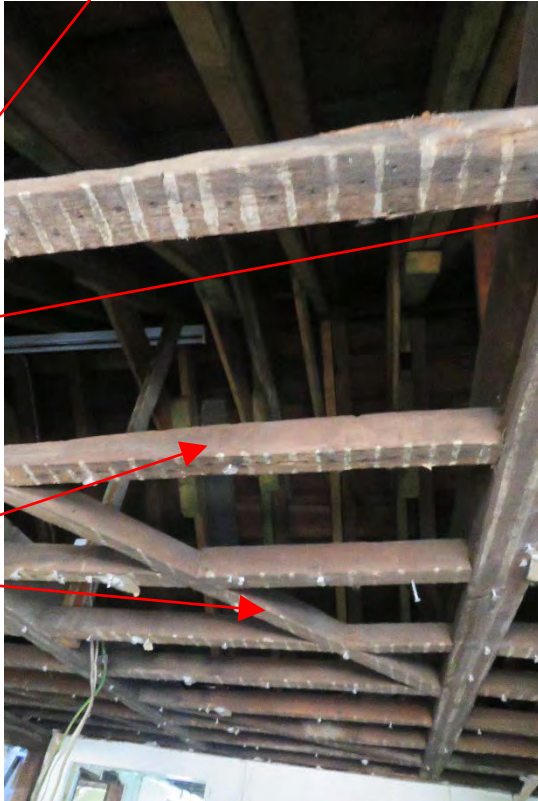
No 20



- **Roof rafters and boards:** modern fabric (95%) + historic (5%)
- **Primary ceiling beams:** historic (100%)
- **Ceiling joists:** historic (100%)
- **Ceiling finish:** modern plasterboard (100%) – removed

Primary ceiling beams to be retained

Ceiling joists to be removed



No 20



- **Roof rafters and boards:** modern fabric (95%) + historic (5%)
- **Primary ceiling beams:** historic (100%)
- **Ceiling joists:** historic (90%) + modern repairs/insert; replacements; missing joists (10%)
- **Ceiling finish:** modern plasterboard (100%) – removed

Primary ceiling beams to be retained

Ceiling joists to be removed

Modern repairs and services above the ceiling



No 20

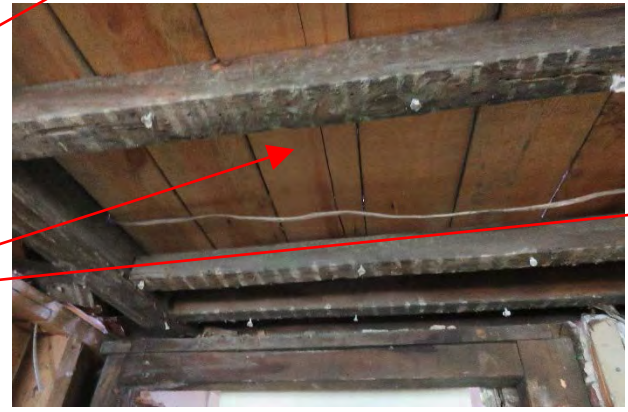


- **Roof rafters and boards:** modern fabric (95%) + historic (5%)
- **Primary ceiling beams:** historic (100%)
- **Ceiling joists:** historic (80%) + modern repairs/insert; replacements; missing joists (20%)
- **Ceiling finish:** modern plasterboard (100%) – removed

Primary ceiling beams to be retained

Ceiling joists to be removed

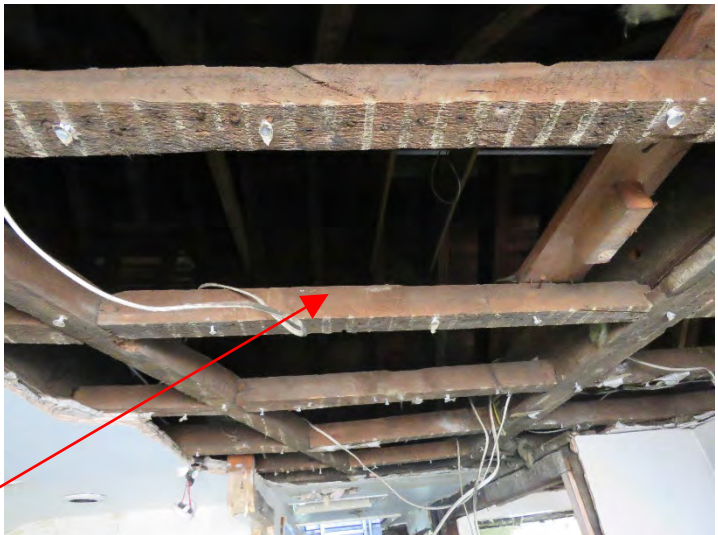
Modern repairs/missing joists and services above the ceiling



No 20



- **Roof rafters and boards:** modern fabric (95%) + historic (5%)
- **Primary ceiling beams:** historic (100%)
- **Ceiling joists:** historic (90%) + modern repairs/insert; replacements; missing joists (10%)
- **Ceiling finish:** modern plasterboard (100%) – removed



Primary ceiling beams to be retained

Ceiling joists to be removed

Modern repairs/missing joists and services above the ceiling



No 22



- **Roof rafters and boards:** modern fabric (95%) + historic (5%)
- **Primary ceiling beams:** historic (100%)
- **Ceiling joists:** historic (90%) + modern repairs/insert; replacements; missing joists (10%)
- **Ceiling finish:** modern plasterboard (100%) – removed

Primary ceiling beams to be replaced due to structural damage – see Structural Investigation of Roof Structure by GDC Partnership

Modern reinforcement/addition for the water tanks above caused damage to historic fabric

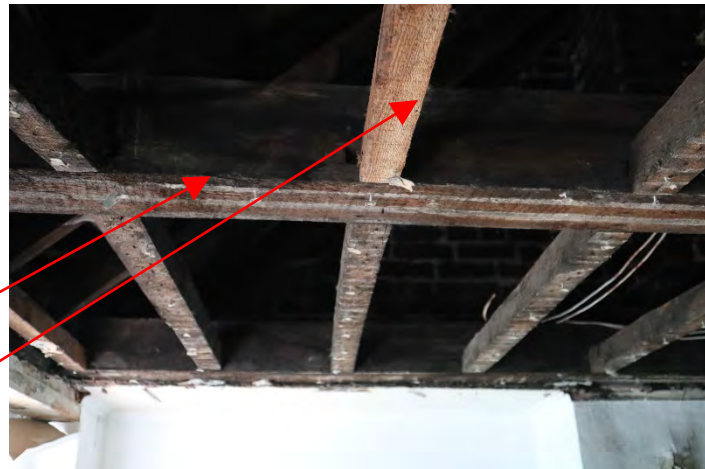
Ceiling joists to be removed



No 22



- **Roof rafters and boards:** modern fabric (95%) + historic (5%)
- **Primary ceiling beams:** historic (100%)
- **Ceiling joists:** historic (90%) + modern repairs/insert; replacements; missing joists (10%)
- **Ceiling finish:** modern plasterboard (100%) – removed



Primary ceiling beams to be retained

Modern repairs/replacements

Modern reinforcement/addition for the water tanks above caused damage to historic fabric

Ceiling joists to be removed

No 22

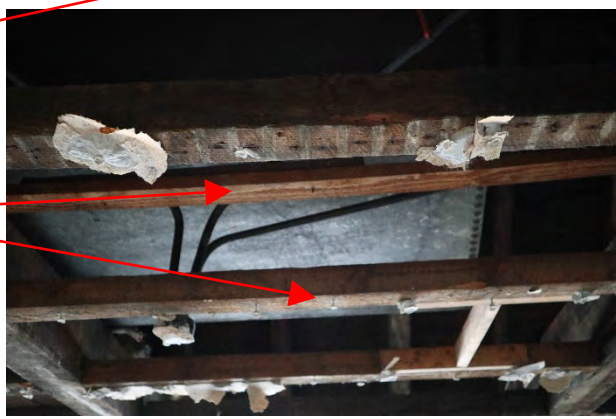


- **Roof rafters and boards:** modern fabric (95%) + historic (5%)
- **Primary ceiling beams:** historic (100%)
- **Ceiling joists:** historic (90%) + modern repairs/insert; replacements; missing joists (10%)
- **Ceiling finish:** modern plasterboard (100%) – removed

Primary ceiling beams to be retained

Ceiling joists to be removed

Modern reinforcement/addition for the water tanks above caused damage to historic fabric



No 22



- **Roof rafters and boards:** modern fabric (95%) + historic (5%)
- **Primary ceiling beams:** historic (100%)
- **Ceiling joists:** historic (60%) + modern repairs/insert; replacements; missing joists (40%)
- **Ceiling finish:** modern plasterboard (100%) – removed

Primary ceiling beams to be retained

Ceiling joists to be removed

Modern repairs/replacements and missing joists

