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Introduction

Introduction

The design and access statement has been prepared by LAP Architects & Interior Designers Ltd, in support of the proposals at Kirkman House, 12-14 Whitfield Street, London, W1T 2RF.

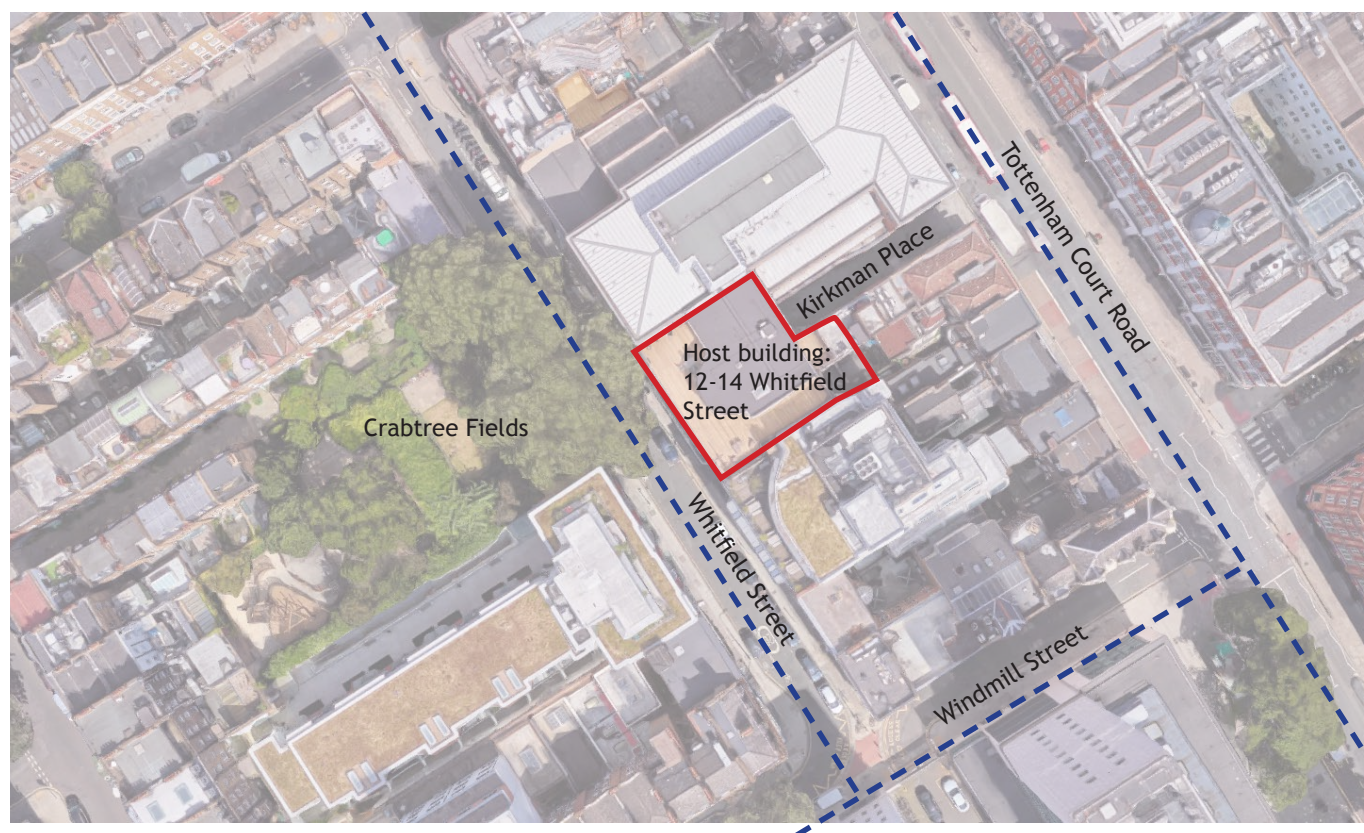
The proposals are for a roof top and rear extension to an existing mixed use building. The proposals also include change of use.

The DAS aims to demonstrate how the proposed development will enhance the appearance of the existing building, as well as the local area. It shows the design development process, and goes into detail of the proposals.

This document should be read in conjunction with all other drawings and reports submitted with the application.



Kirkman House facade from Whitfield Street



The site in context

Site Description

The application site comprises a five storey plus basement commercial / residential building located on the south eastern side of Whitfield Street, close to the junction with Windmill Street. The rear of the building can be seen from Tottenham Court Road, and is accessed from Kirkman Place.

The host building has a decorative, art-deco type frontage and is flanked by the British Transport Police building to the north and a commercial/office building to the south, both of which are similar in scale and proportion to the application site.

To the rear (north-east) of the host building is a courtyard at basement level, surrounded by developments which rise to between 1 and 4 storeys above ground floor level. Views of this courtyard from adjacent streets are obscured by the surrounding buildings.

The majority of the host building is in use as B1 office space, whilst a three-bedroom flat (C3) is located within the existing single storey fourth floor roof extension.

Site Context

Site Photos



Kirkman House facade from Whitfield Street



Kirkman House facade from Tottenham Court Road through Kirkman Place



Rear courtyard



Rear courtyard



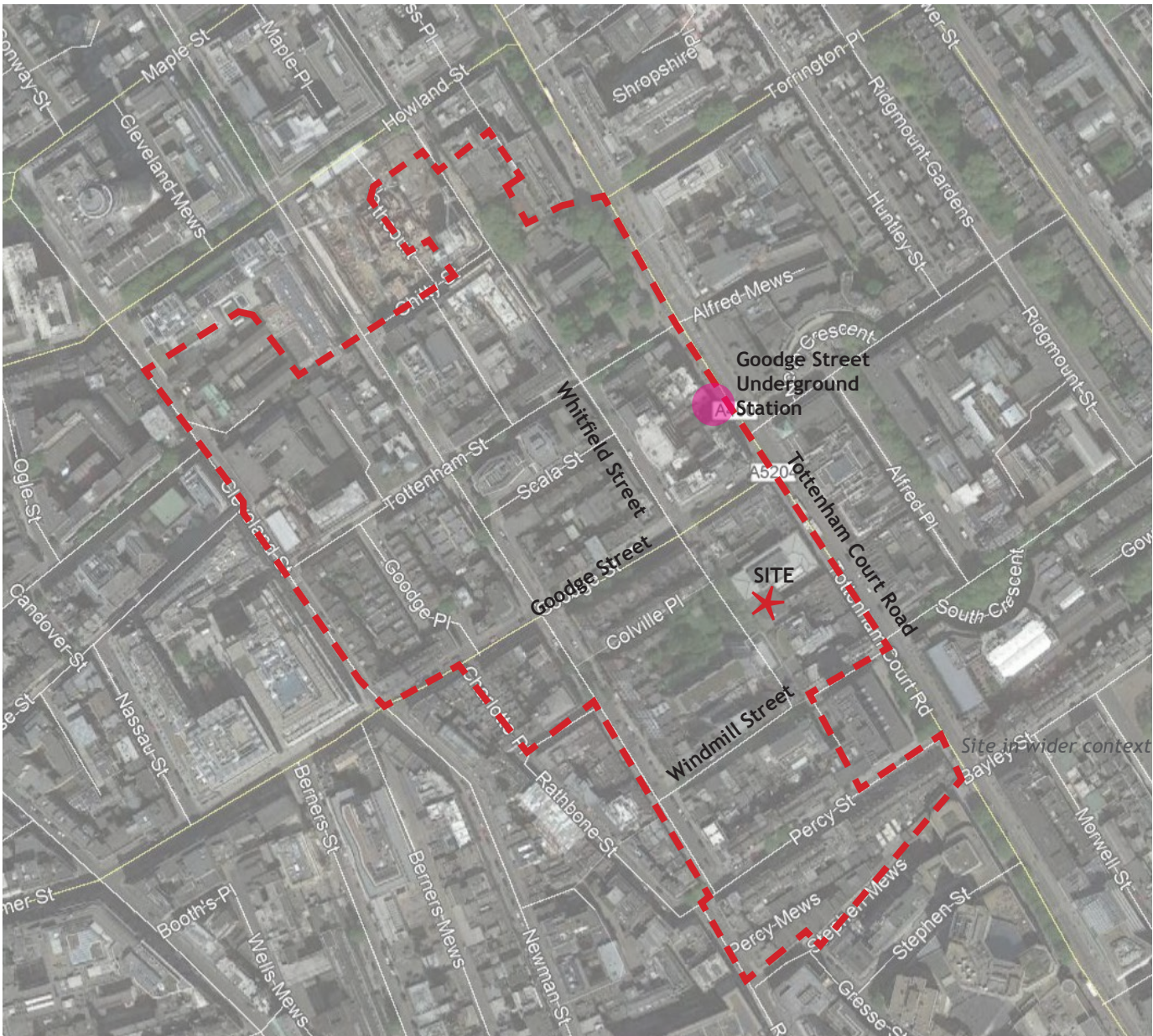
Existing fourth floor roof extension



Existing fourth floor roof extension from the rear



Rooftop stairwell to rear of Kirkman House



Wider Site Context - Heritage Appraisal

The site is located at 12-14 Whitfield Street which is within the Charlotte Street Conservation Area. The building is not a listed building, however it has been identified as making a positive contribution to the character of the conservation area.

To the east of Tottenham Court Road, and close to the site is Bloomsbury Conservation Area. The long views of the proposals will be viewed from the adjoining Conservation area.

The Charlotte Street Conservation Area has a range of building types, however the townhouse in a terraced form is predominant in the area.

Sitting behind Tottenham Court Road, Whitfield Street is a quiet commercial street. It has a varied street scene with a mixture of styles and ages of buildings. There are however a higher proportion of 20th century buildings along Whitfield Street compared to other streets within the conservation area due previous bomb damage.

--- Charlotte Street Conservation Area

Site Context

Site Context - Heritage Appraisal

Kirkman House is a five storey commercial building. It has a decorative, art-deco style frontage, with a modern rooftop extension.

It is the site of a former school, as seen on the map adjacent, dated 1889.

The building is characterised by its tripartite windows with high and low transoms. Each floor has 7 identical windows with the ground floor containing a central opening which forms the principal entrance to the building.

The design of the fenestration, set on a stone facade, and with a blue square detail beneath each window, allows for a consistent rhythm within the buildings design. The stone facade is the dominant element of the building and this part of the building protrudes out beyond the two side wings, of a brick design and with narrower fenestration containing horizontal glazing bars.

The rear of the building is partially covered by other buildings but those area that are exposed have a consistent but simpler design compared to the front facade. The side elevation to the rear is landlocked and cannot be seen from public views. The second facade is fairly basic with no public views.

The building has a single storey off centre rendered roof addition that fails to correspond with either the style of design of the rest of the building.



Historic Map 1889 showing a school on the site of the current Kirkman House

Wider Site Photos



Birdseye view of Kirkman House



Kirkman House facade from Crabtree Fields



Kirkman House facade from Tottenham Court Road through Kirkman Place



View along Whitfield Street

Recent Site History

In 2003 a roof top extension was approved at planning, and subsequently built. The extension was for a residential apartment. Planning application ref: **2003/1054/P** - Erection of a roof extension to provide additional residential floorspace to the existing flat. Approved 22/08/2003.

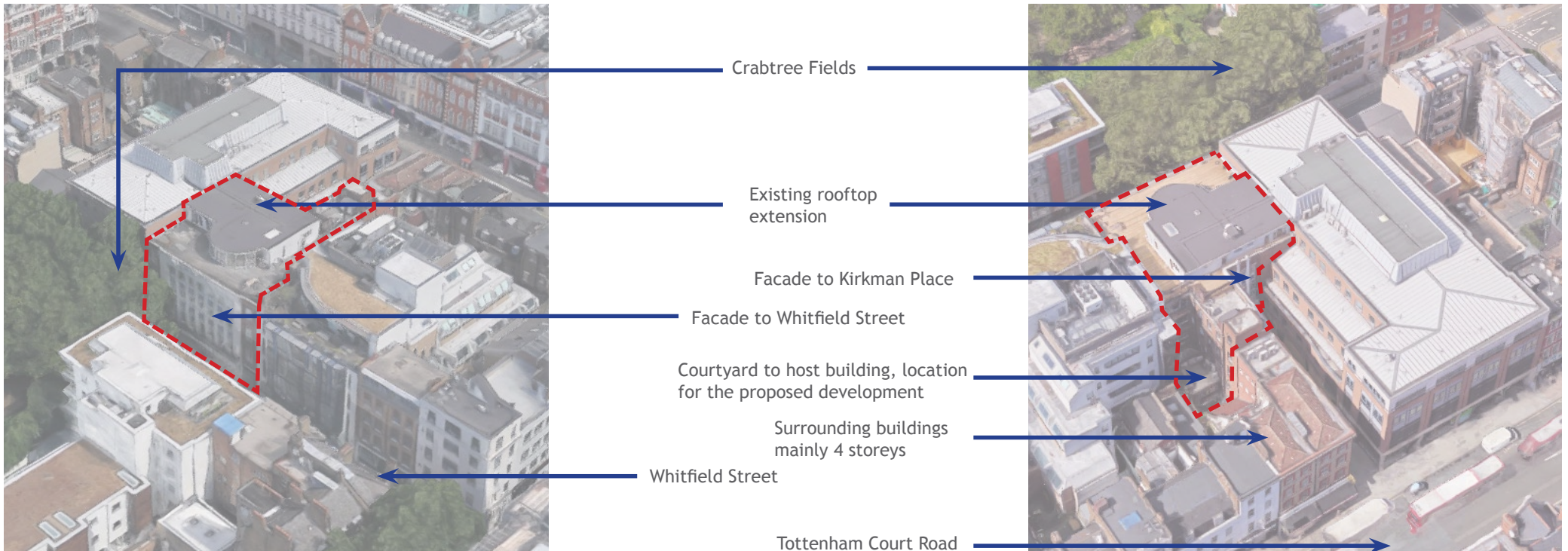
The rooftop extension is out of character to the area, and detracts from the existing building. The extension is mainly cream render, with white windows and details. It has a curved section to the front which is set far back from the front elevation. To the rear which can be seen from Tottenham Court Road has a flat elevation set slightly back from the existing facade. There are a mixture of windows and doors that do not correspond to the existing building below.

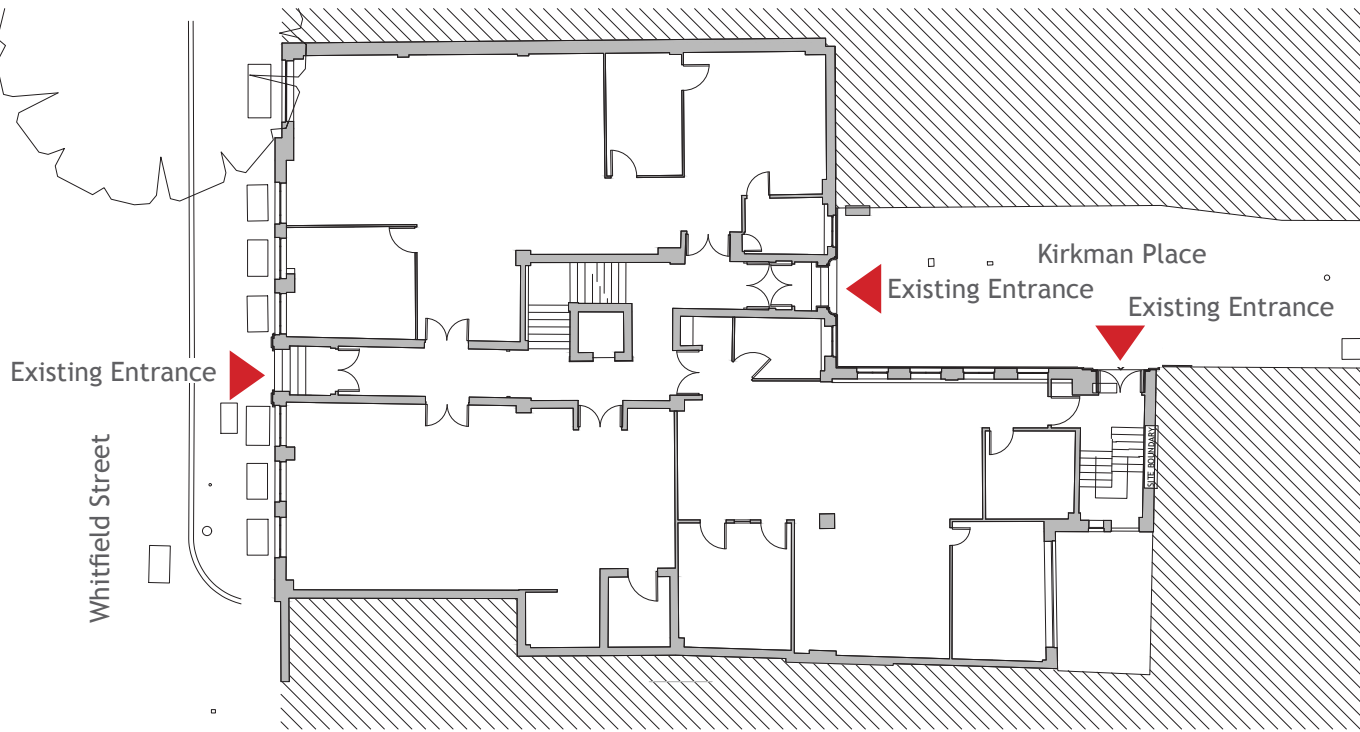
In 2011 a further planning application was approved; **2011/4395/P** - Change of use of ground floor space from garage ancillary to Class B1 office use to use Class A1/A2/B1 flexible use. Approved 02/11/2011. The proposal has never been built.

Site Context

Site Considerations

- The existing building needs to be taken into account and respected when designing the extension.
- Consideration is to be given to the height, scale and mass of the proposed new construction in relation to surrounding buildings.
- Amenity to surrounding buildings needs to be respected.
- Due consideration needs to be given to the appearance of the surrounding conservation area.
- Location of existing entrances is to be taken into account.
- Long views to be considered.
- No loss of existing residential and office space acceptable.





Existing ground floor plan

Site Access

The host property has three entrances, the main entrance, which is located on Whitfield Street, and two secondary, smaller entrances which are located to the rear of the site and accessed via Kirkman Place, a narrow passageway that connects the property with Tottenham Court Road.

The site is well served by public transport due to its proximity to Goodge Street, Tottenham Court Road Underground stations and numerous bus routes, and has a PTAL rating of 6b.

Pre-application advice

Two sets of pre application advice feedback was given in relation to the current application.

2017/3521/PRE - 20/09/2017

2017/6859/PRE - 01/03/2018

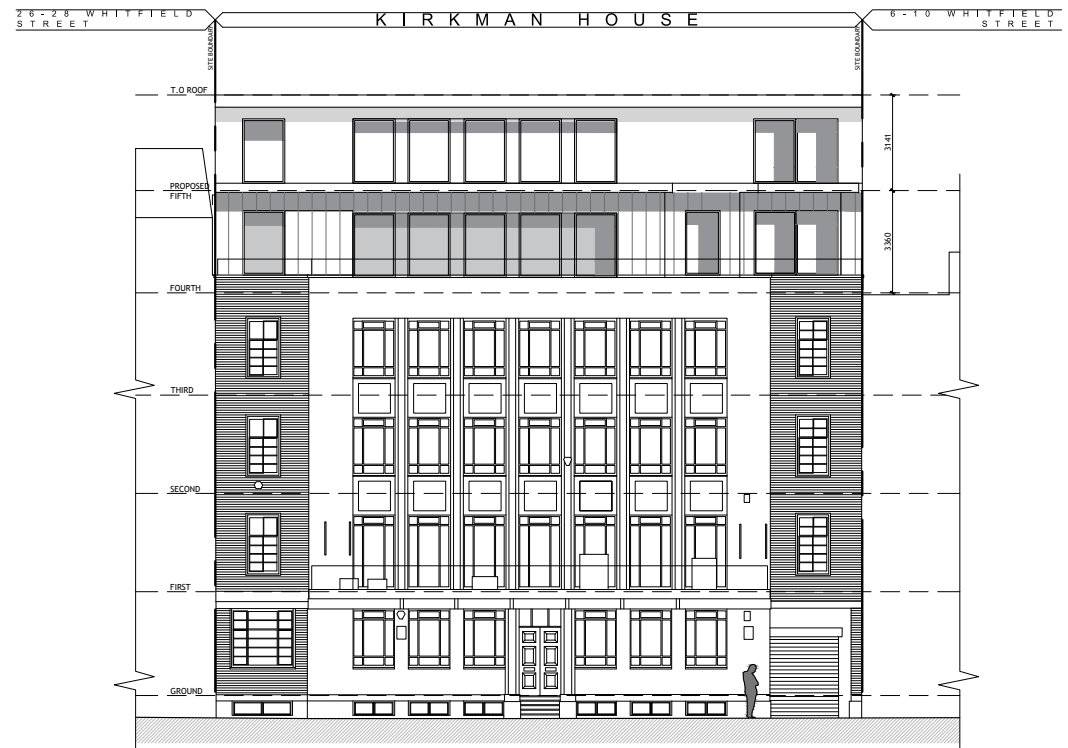
Following a pre-planning application enquiry (**2017/3521/PRE**), the following advice on land use and design was received from the Council:

Building Use

- Whilst the Council would usually resist any loss of B1 space in the Central London Area, officers acknowledge that the loss of office space at ground floor and basement level to convert part of the existing ground floor and basement area to A1/A3 café/retail use could be offset by the additional B1 space provided within the proposed roof and rear extensions. Therefore, an A1/A3 use at the site could be considered acceptable in land use terms. Additionally the council resist development that would involve net loss of residential floorspace.

Design

- The size, scale and bulk of the proposed rear extension and roof extension are considered to represent a proportionate addition that would not have a significant impact on the character of the host building.
- The design and fenestration do not appear to have taken any reference from the design and appearance of the art deco facade below. In their current form the proposed roof extensions appear as two rather uninspiring blocks.



Scheme presented at 2017/3532/PRE pre application advice



Scheme presented at 2017/6859/PRE pre application advice

Pre-application advice

As part of the pre application advice 2017/3521/PRE it was recommended any further design development was presented before Camden's Design Review Panel. The following advice 2017/6859/PRE was given by the review panel.

The submitted drawings show a loss of residential floor space. The council confirmed that the floor area could not be regained by previous separate schemes completed by the applicant. A solution to the issue could be to move existing residential space to an alternative location, which could be elsewhere within the extended building.

Although the scheme had been developed since previous pre application comments, the design review panel viewed them to be mainly unchanged from the previous submitted. Whilst officers accept the proposed roof extensions may be acceptable in terms of their size, scale and bulk, their design and fenestration still do not compliment or take reference from the high quality design and appearance of the art deco facade of the host building.

Proposal

The proposals submitted for this application have taken into account the previous pre application advice, and the design has been developed to take into account the comments raised.

Rooftop Extension

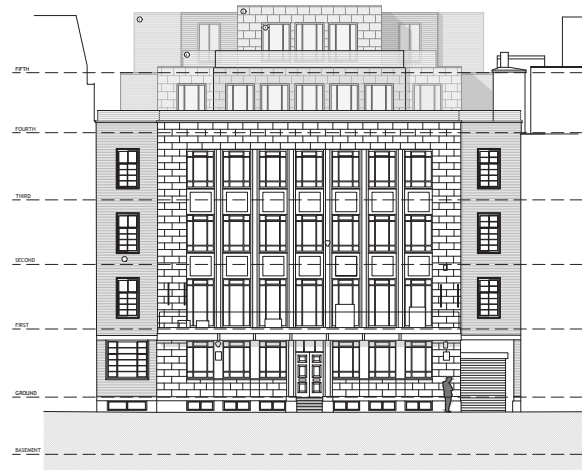
The proposed rooftop extension spans two floors. The fourth floor is an extension to the existing floor, with the fifth floor a proposed extension above the existing.

The elevations have been designed to reflect the art deco style of the existing building below. The design is symmetrical, and tapers away to the top. The complex shape has also been designed to make it seem as small as possible, whilst also maximising the floor area. The rear elevation has been designed to look symmetrical from Kirkman Place, whilst also designed to be visible to long views from nearby buildings.

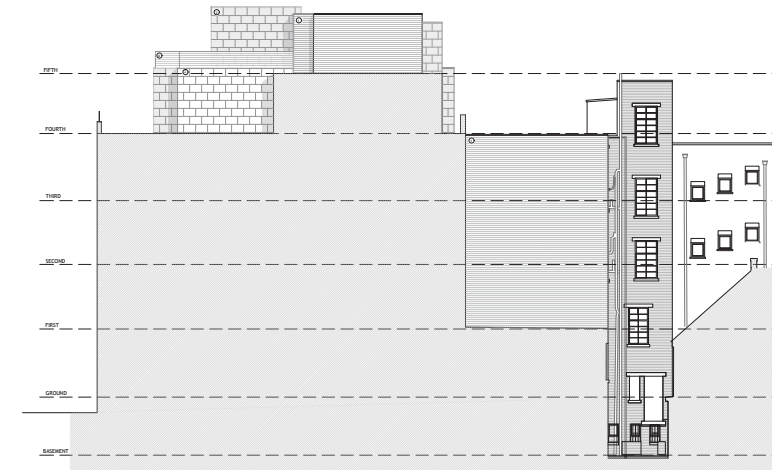
The window proportions are the same as the existing below but with simpler window bars.

Rear Extension

The rear courtyard is proposed to be extended. The basement and ground floor currently extend further than the upper levels. The extension will come in line with the existing ground and basement floors. The windows will follow the proportions of the existing windows below. The extension will only be viewed from neighbouring properties and cannot be seen from a distance.



Front / West Elevation (Whitfield Street)



Side / South Elevation

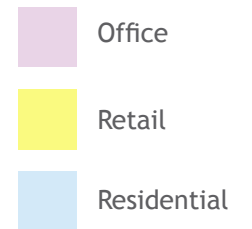


Building Use

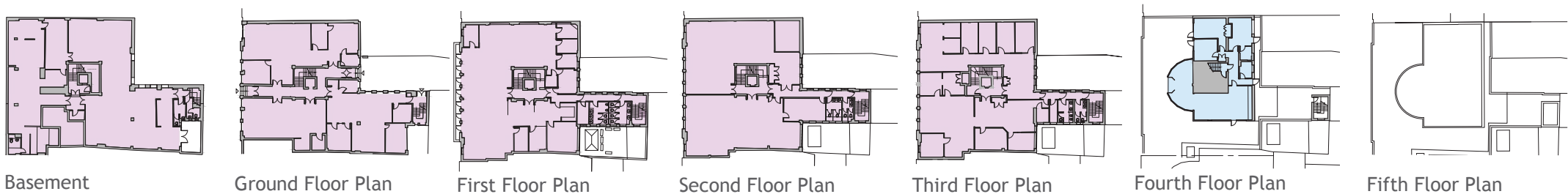
The existing building is a mixture of office and residential uses. It has been noted that there cannot be a reduction in either office or residential space to be compliant with the councils policies. The proposals submitted do not include any loss of either.

the proposed extension. The proposed residential has its own access from Kirkman Place. There is a small area of retail space proposed which is to the rear of the building on ground and basement floors. This can be accessed from Kirkman Place.

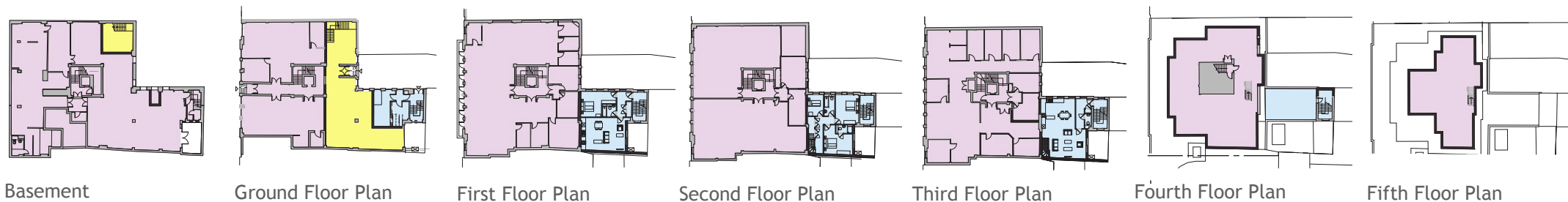
The existing building has been rearranged to make the areas more concise with the separate uses. The existing building is used as offices from basement to third floor. The top floor is a residential unit. The proposals move the residential to the rear of the building, partly in the existing building, and partly in



Existing



Proposed



Areas Schedule

The areas schedule below show the loss and gain of uses and areas within the building.

	Existing Office GIA	Proposed Office GIA	Existing Retail GIA	Proposed Retail GIA	Existing Residential GIA including circulation	Proposed Residential GIA including circulation	Existing Residential GIA flat only	Proposed Residential GIA flat only
Basement	452.24	426.55	0	22.26	0	0	0	0
Ground Floor Plan	404.21	227.8	0	124.82	0	40.26	0	0
First Floor Plan	398.2	349.99	0	0	0	77.39	0	67.17
Second Floor Plan	394.71	346.1	0	0	0	78.08	0	67.67
Third Floor Plan	395.97	347.27	0	0	0	77.96	0	67.19
Fourth Floor Plan	0	224.96	0	0	163.01	0	136.64	0
Fifth Floor Plan	0	122.93	0	0	0	0	0	0
TOTAL	2045.33	2045.6	0	147.08	163.01	273.69	136.64	202.03



Proposed front elevation

Appearance and Materials

The proposed rooftop extension has been designed to reflect the art-deco style of the existing building below.

The materials of the extension are a mixture of brick and stone cladding, both reflecting the existing building below.

The design is symmetrical, and tapers away to the top. The complex shape has also been designed to make it seem as small as possible, whilst also maximising the floor area. The rear elevation has been designed to look symmetrical from Kirkman Place, whilst also designed to be visible to long views from nearby buildings.

The window proportions are the same as the existing below but with simpler window bars.

Windows are to be in crittal-style glazing with white frames.



*Proposed materials:
stone cladding*

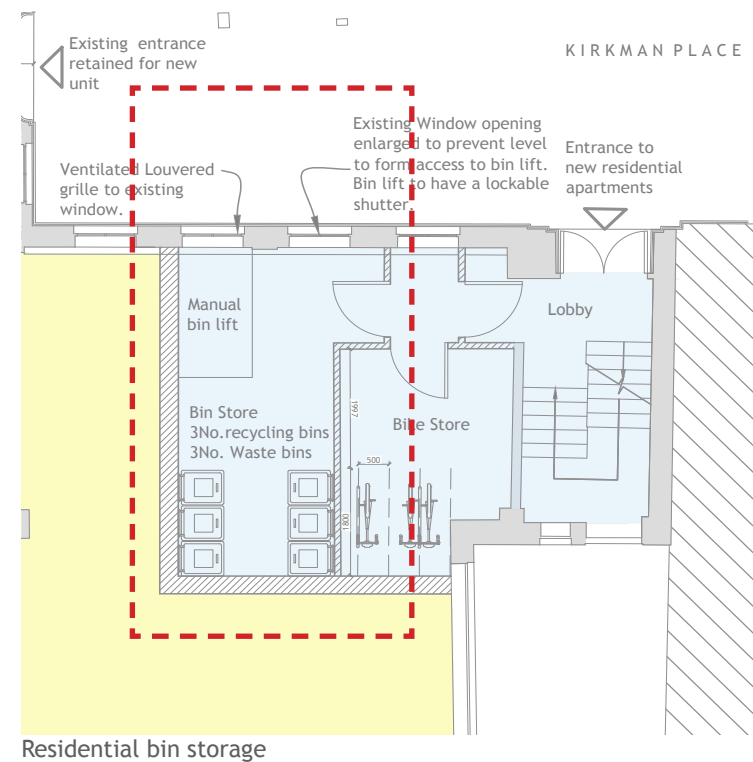
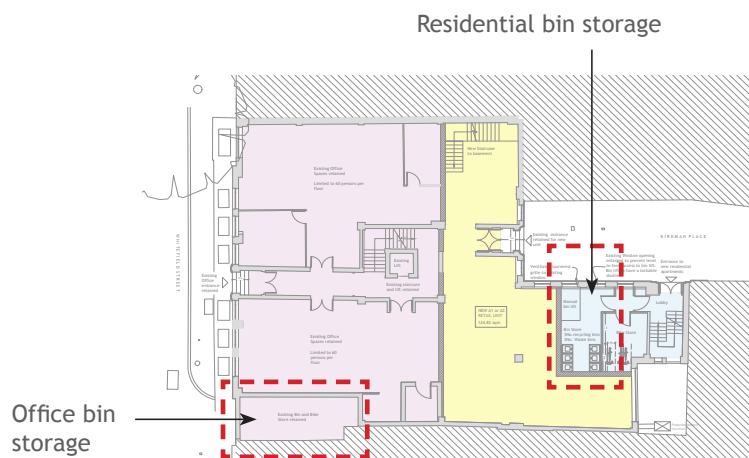


*Proposed materials:
cream bricks*

Refuse

Refuse storage is proposed within the ground floor in two separate locations. The offices retain their existing refuse which is to the front of Kirkman House, and accessed off Whitfield Street. The residential bins storage is proposed to be on the ground floor at the rear.

Refuse provisions have been designed in line with Camden Planning Guidance Design CPD 1. Adequate space has been allowed for recycling, food waste and a waste bin for non recyclables.



Conclusion

The proposals seek to extend and redevelop the rooftop space to Kirkman House, as well as extending the building to the rear courtyard with a high quality design, taking influence from the existing building.

The existing rooftop extension is out of character to the original building below, as well as the surrounding area. The proposals seek to remove this extension and instead take influence from the existing, producing a two storey modern extension to the rooftop of Kirkman House. The proposals also extend the building to the rear within the existing courtyard. This extension will provide space for residential apartments, and cannot be seen from long views.

The proposals rearrange the internal uses of the building. The office use floor space area remains unchanged, however it is now all to the front of the building, including within the proposed rooftop extension. The residential is all to the rear of the building, some of it within the courtyard extension. In addition to this, retail use is proposed to a small area within the ground floor and basement to the rear of the building.

The proposals seek to enhance the appearance of an existing building with a high quality extension. It also gives the opportunity to provide further retail space, and also consolidates existing areas within the building.