

# Novak Hiles Architects

## Design & Access Statement

Project Address:  
Flat D, 18 Inglewood Road, West Hampstead,  
London, NW6 1QZ

17th July 2019

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Aerial location plan

## 1.0 Introduction

This Design & Access Statement has been produced to support an application for a new inset roof terrace below the existing roof line of a top floor flat at 18D Inglewood Road, West Hampstead.

The proposed roof terrace design is highly sensitive and discreet, with a careful design approach to make sure that the existing roof looks exactly the same from the public realm and that the roof terrace will have no impact on the existing building, preserving the character of the wider conservation area.

## 2.0 Site Location and Description

18 Inglewood Road is a terraced house situated in West Hampstead, London Borough of Camden, and is located within the West End Green Conservation Area. The building is situated approximately two thirds down Inglewood Road, approaching from the east. The building is comprised of 3 floors with Flat D occupying the top floor. The building is not listed.

The building is arranged front to back on a NNW / SSE axis. The building has a three storey outrigger to the rear which appears to be a common feature on this road. There is also a single storey ground floor rear extension (forming part of the ground floor flat) which has been completed in recent years.

The West End Green Conservation Area Appraisal and Management Strategy (2011) notes that Inglewood road is comprised of largely unspoilt late Victorian terraced houses (1883-4) that display interesting details, particularly the roof. The building is identified as making a positive contribution to the character and appearance of the Conservation area.

The roof is split into three parts. The front of the roof is a pitched mansard type roof, with a primary and secondary dormer. This front part is the only part that is visible from the street and is what gives the house its character.

The middle / top section of the roof is almost flat, with a very low angle toward the front. This part of the roof is not visible from the street and has no discernable architectural detail or quality. The parapet line between the front pitch and the centre section represents the limit of what is visible and therefore the middle/top section of the roof does not make any contribution to the streetscene or character of the conservation area.

The rear part of the roof is also pitched but access to the rear of the property is limited in any case.

The proposed roof terrace described herein will be situated only within the middle section of the roof and inset below the roof line, so that it will not be visible from the street in any way, and to preserve the characterful pitched roof elements at the front and also rear.

Flat D has a split level arrangement incorporating part of the rear outrigger. There is currently a roof light into the living space, situated in the centre of the floor plan. It is proposed to enlarge this forming access to the new roof terrace.

The neighbouring property at 20 Inglewood Road has altered the main roof and loft space to incorporate a roof terrace, whilst 16 Inglewood Road has altered their rear outrigger by removing the roof to create a terrace to the rear of the property.

## 3.0 Local Context and Character

The *West End Green Conservation Appraisal and Strategy Document, 2011* outlines that 'The largely unspoilt late Victorian terraced houses of Inglewood Road (1883-4) to the west of West End Lane are laid out on a curve and display some interesting details, particularly the roof scape.'

The context of Inglewood Road is one of characterful terraced houses with period features and a repeating scale and rhythm.

The roofs are considered to be an important part of this character and so the design for the roof terrace has been developed to make sure that no visible parts of the roof are altered in any way.

The proposed roof terrace described herein will be situated only within the non-visible middle section of the roof and inset below the roof line, so that it will not be visible from the street in any way, and to preserve the characterful pitched roof elements at the front and also rear.

When viewed from the ground the roof scape will remain unaltered and unaffected by the proposed roof terrace. There is no impact of the proposal on the significance of a heritage asset (either the building or wider streetscape) since the visual appearance is preserved.

## 4.0 Relevant Planning History

The relevant planning history of the subject property and its neighbours is as follows:

18 Inglewood Road  
2008/2841/P - Erection of rear single storey extension to ground floor flat – Granted 03/10/2008

20 Inglewood Road  
2006/5412/P - Alterations at roof level to provide a roof terrace within the roof pitch for the top floor maisonette. Granted - 26/03/2007

## 5.0 Relevant Policies and Guidance

The following policies and guidance are considered to be relevant to this application:

National Planning Framework (2018)

The London Plan (2016) and the Draft New London Plan showing Minor Suggested Changes (2018)

Camden Local Plan (2017)  
G1 Delivery and location of growth  
A1 Managing the impact of development  
D1 Design & D2 Heritage

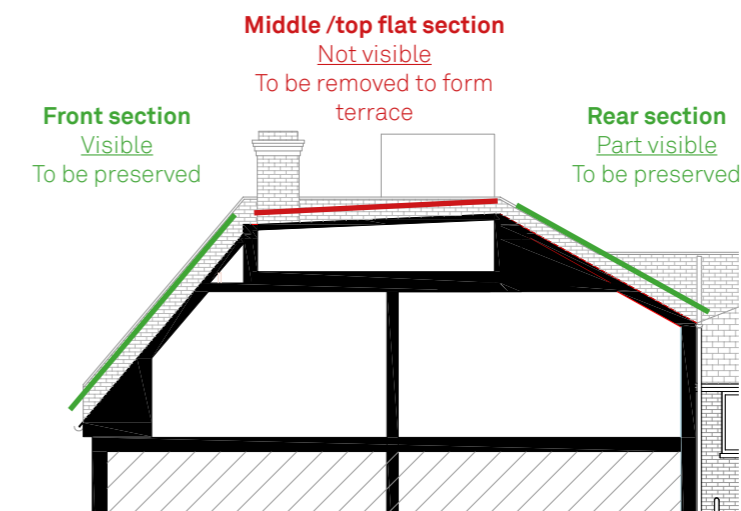
Camden Planning Guidance (Updated 2018)  
CPG 1 Design  
CPG Amenity

Fortune Green and West Hampstead Neighbourhood Plan(2015)  
Policy 2 Design & Character  
Policy 3 Safeguarding & Enhancing Conservation Areas & Heritage Assets

West End Green Conservation Area Appraisal and Management Strategy (2011)



Aerial views showing the subject site (white outline) and the middle section of roof, not visible from the public realm. The views also show the neighbouring roof terraces (yellow outline) at no. 20 as well as the small rear 'outrigger' terrace at no. 16.



Above: Section diagram showing the front, middle and rear sections of roof. The middle section is almost flat and is not visible from the public realm.

Right: Existing context of Inglewood Road



## 6.0 Design Summary

The proposal is for an inset roof terrace situated below the existing roof line, with no elements visible from the public realm. The roof terrace will be situated within the middle roof section located above the parapet line, which is not visible from any part of the public realm. The front roof section below the parapet line, which is visible from the public realm, will remain untouched, sensitively preserving the appearance of the roof and the frontage of the building in general.

In compliance with Policy D1 Design of the Camden Local Plan, the proposed roof terrace:

- Respects local context and character by not impacting the appearance of the roof externally.
- Preserves the historic environment and heritage assets of the property by not altering any part of the roof which is visible from the public realm.
- Is sustainable in design and construction, by incorporating planting, offering improved opportunities for biodiversity and utilising quality sustainable materials
- Will be of sustainable and durable construction
- Will comprise details and materials that are of high quality and complement the local character
- Will have no impact on the surrounding streets and open spaces
- Maximises opportunities for greening through planting and soft landscaping
- Provides much needed outdoor amenity space

The proposed roof terrace realises the ambition of *Policy 7.23 Amenity Space* of the Camden Local Plan, which states: *'Private outdoor amenity space including gardens, balconies and roof terraces, can add significantly to resident's quality of life and applicants are therefore encouraged to explore all options for the provision of new private outdoor space.'*

In compliance with *Policy D2 Heritage* of the Camden Local Plan, the proposed roof terrace preserves the historic environment and heritage assets of the property (and Conservation Area generally) by carefully not altering any part of the roof which is visible from the public realm.

It is felt that the proposed roof terrace represents the opportunity to enhance the existing building by providing quality external amenity space without changing the perception of the roof scape and without impacting on any neighbouring properties.

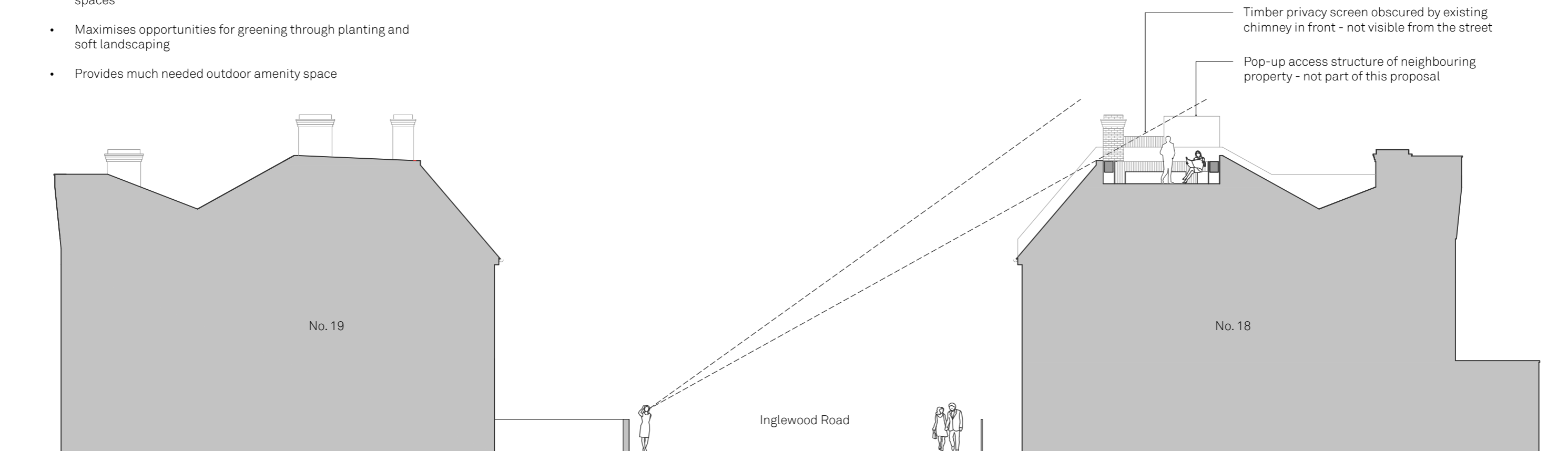
The roof terrace is set back significantly from the front elevation of the building by the front pitched area of the roof, which is retained in order to preserve the appearance and character of the roof. This set back provides a parapet to provide protection from falling but also aids privacy.



View of front of 18 Inglewood Road, existing front roof section to be preserved as existing

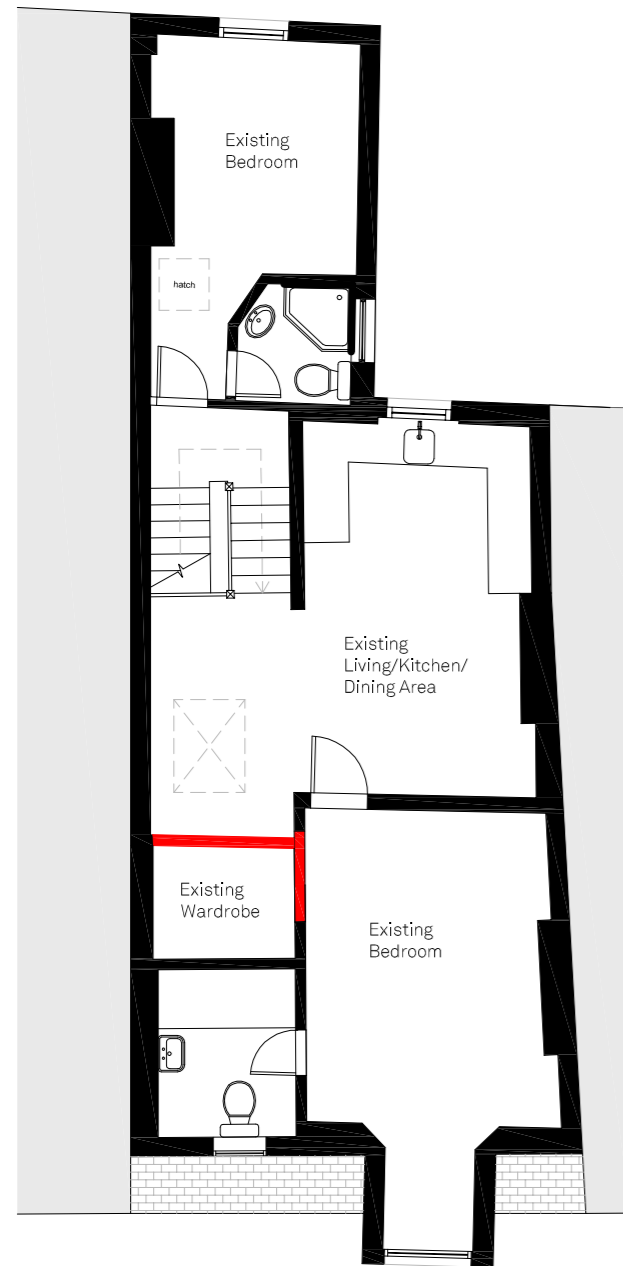


View of rear of 18 Inglewood Road. Access is not possible beyond this point.



Section diagram through Inglewood Road showing that the proposed roof terrace is set fully below the existing front parapet line. The front section of the roof is preserved exactly as existing. The privacy screen to the boundary with no. 20 will be obscured by the existing front chimney.

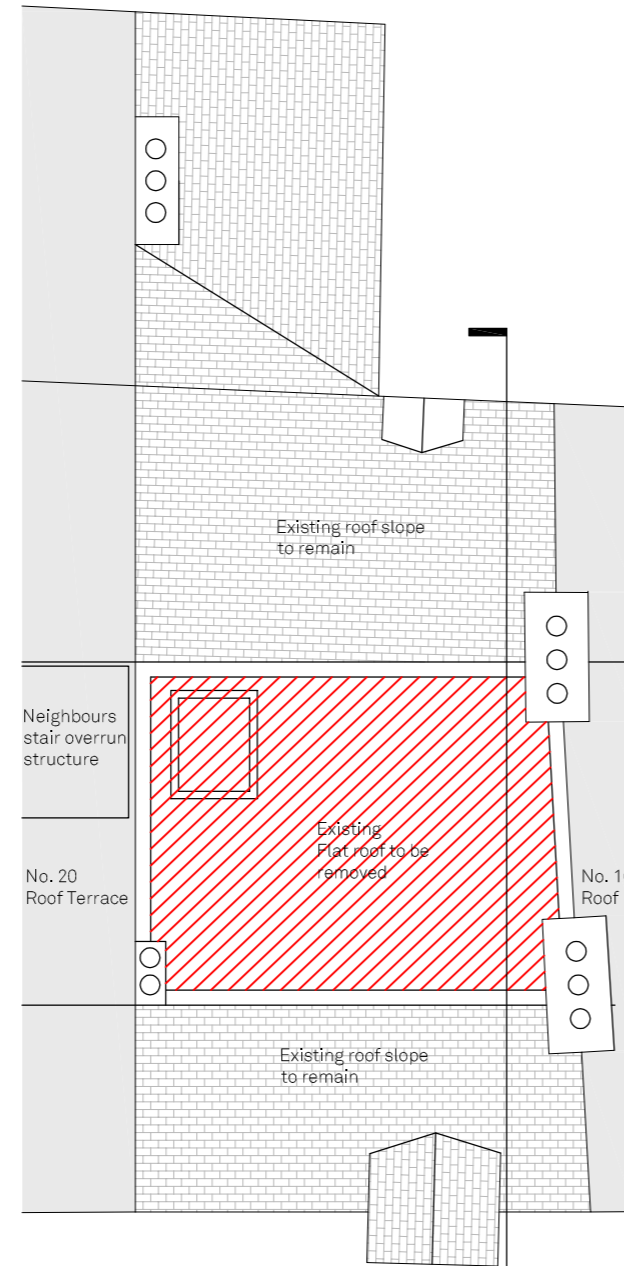
Existing Arrangement



Existing Top Floor Plan

Small interior alterations are proposed to facilitate an alternating stair, which will provide access to the roof terrace through a high quality opening rooflight

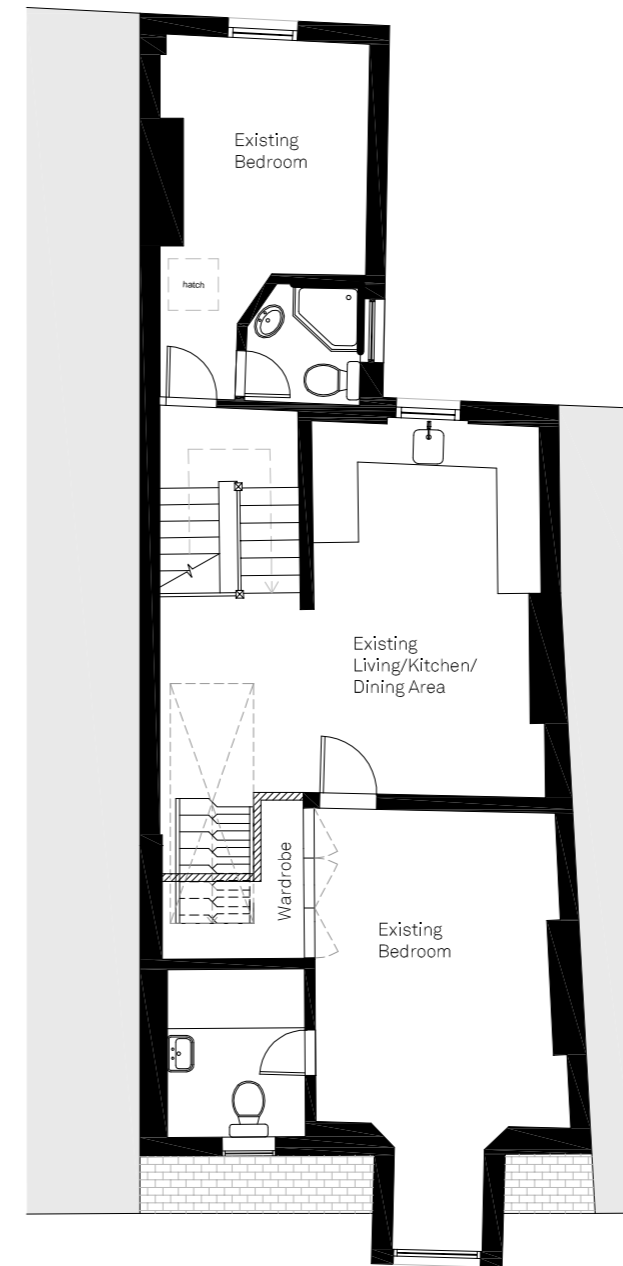
7.0 Proposed Plan Arrangement



Existing Roof Plan

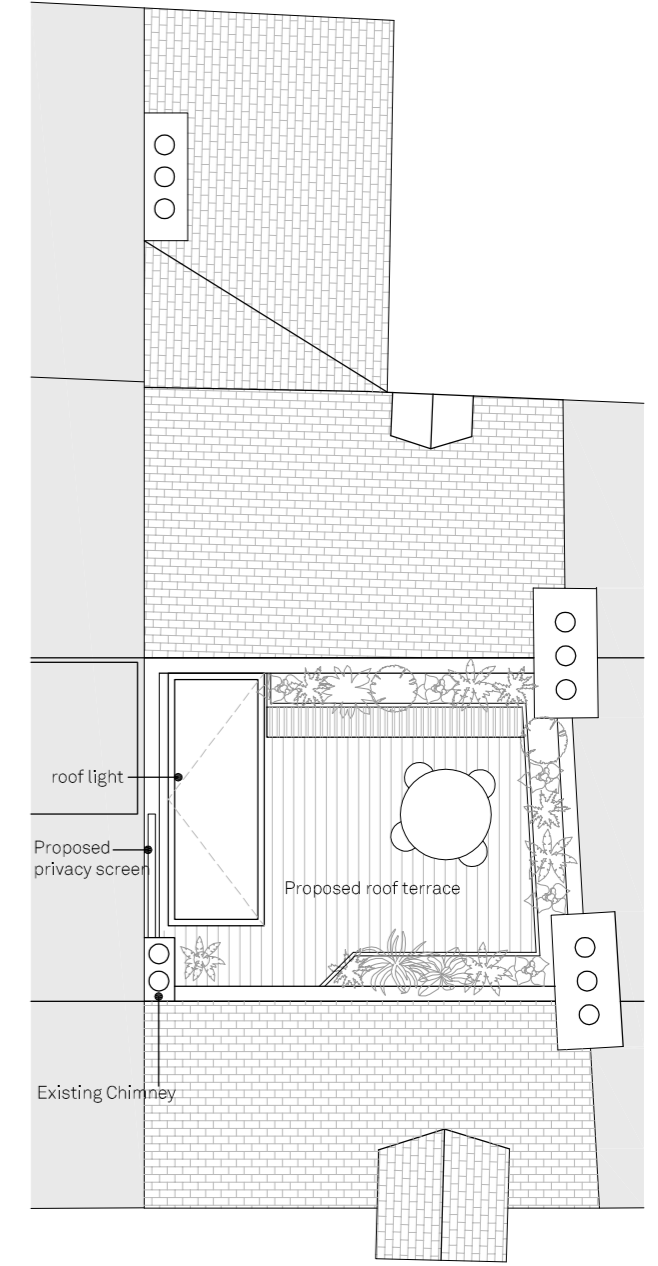
It is proposed to remove the middle section of roof, which is not visible and does not contribute to the character of the conservation area, facilitating the proposed roof terrace. Existing parapets and chimneys will remain completely unaltered.

Proposed Arrangement



Proposed Top Floor Plan

Proposed alternating stair, which will provide access to the roof terrace through a high quality opening rooflight. This maintains storage and limits impact on the living area. The increased rooflight will provide additional natural light to this central area of the floor plan.



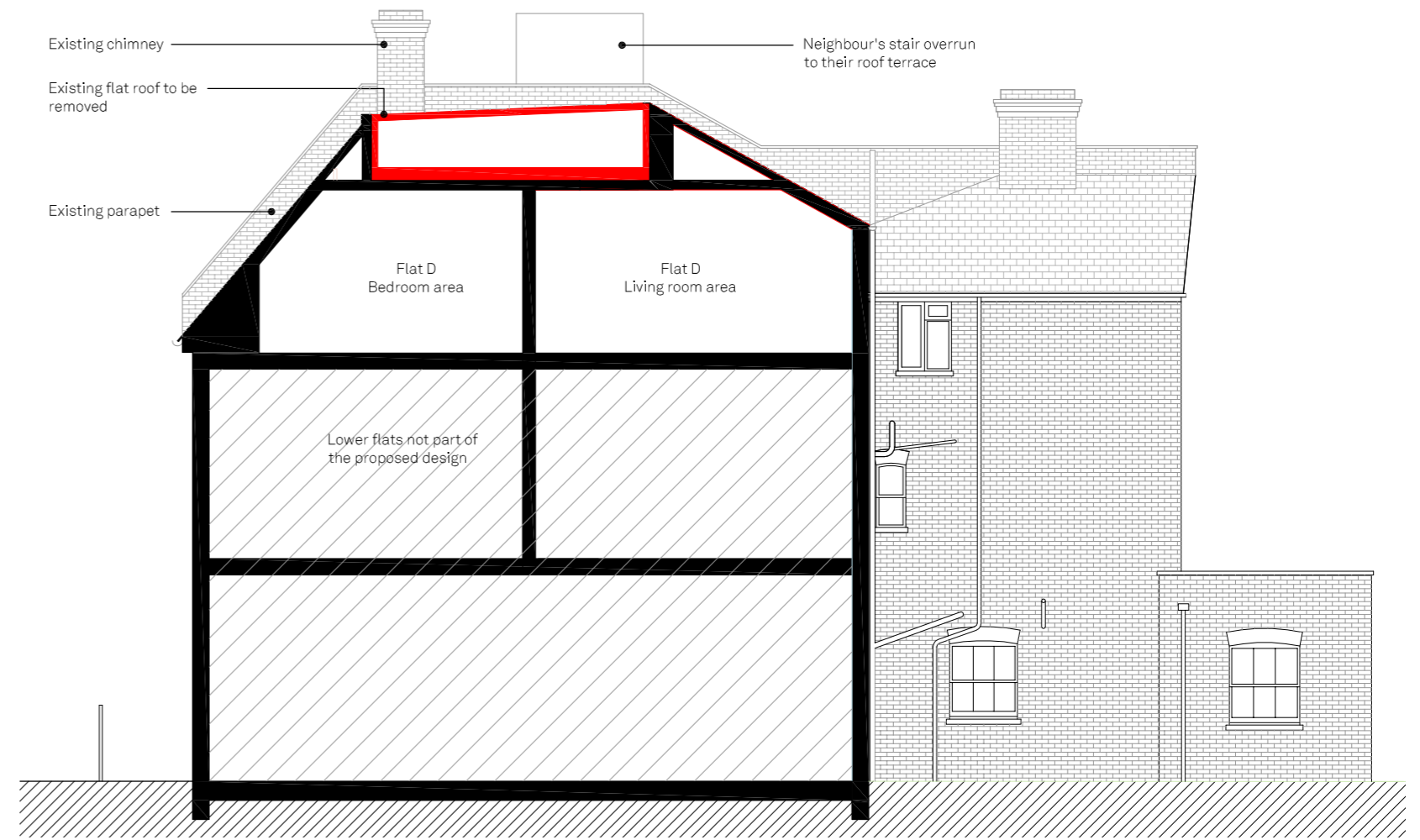
Proposed Roof Plan

The proposed roof terrace will be inset below the roof line. The front pitched section of the roof is completely preserved and unaltered, maintaining its character within the conservation area, as is the rear pitch. The enlarged rooflight provides access.

## 8.0 Proposed Section Arrangement

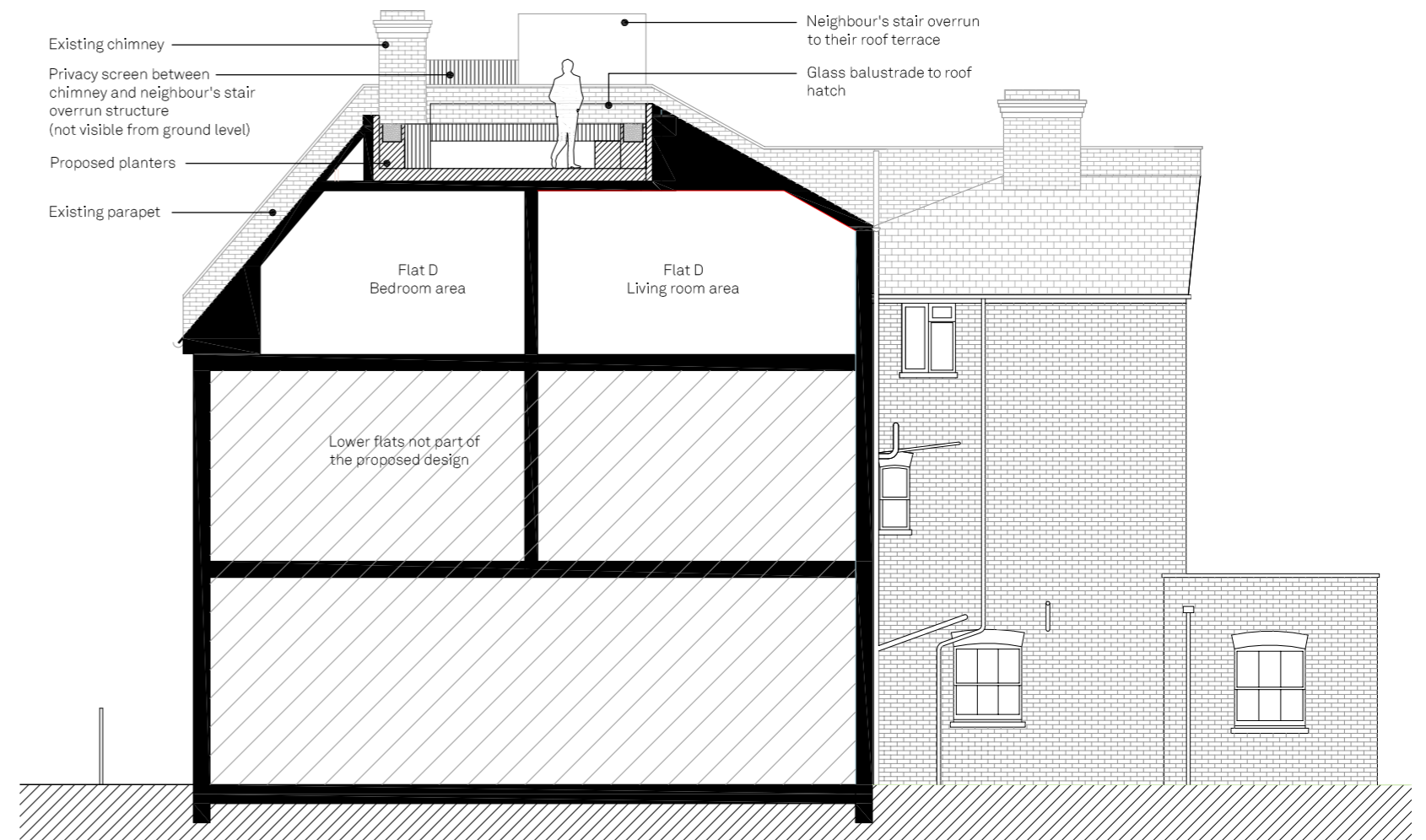
### Existing Section

It is proposed to remove the middle section of roof, which is not visible and does not contribute to the character of the conservation area, facilitating the proposed roof terrace. Existing parapets and chimneys will remain completely unaltered.



### Proposed Section

The proposed roof terrace will be inset below the visible roof line. The visible front pitched section of the roof is completely preserved and unaltered, maintaining its character within the conservation area, as is the rear pitch. The enlarged rooflight provides access. All elements of the rooflight are set below the roofline. The privacy screen to no.20 will be obscured by the existing front chimney, refer to p6 for photo study



### 9.0 Overview of Sensitive Design Approach & Avoiding Impact on the Existing Roofscape

The proposed roof terrace is to be set entirely below the existing parapet line, which remains unaltered. The middle roof section above the parapet line is not visible from the public realm. The front roof section below the parapet line, which is visible from the public realm, will remain untouched. The external appearance of the building, viewed either from close proximity or at a distance, will therefore not appear different in any way. The proposed terrace cannot be considered to have any bearing on the reading of the building or the roof scape, which will remain visually unspoilt. The design proposal is therefore considered to be highly sympathetic and discreet, preserving the age and character of the building, which will appear completely unaltered. The integrity of the roof form is retained, since from street level the roof form will look exactly as it does now.

The terrace will not cause additional harm because it will not change the way that the existing roof scape or form of the building is viewed or enjoyed. The character of the building is entirely preserved. The roof terrace has been designed to be completely sensitive to the existing building by not being visible externally from any external point around the building or public realm.

The development will not set a precedent for harmful development of other roofs in the area, since it has been possible in this instance to design the roof terrace very carefully and sensitively to not alter the appearance of the roof or the character of the building at all.

Since the proposed terrace sits entirely below the parapet it does not represent an 'addition' to the roof, and alterations are made entirely out of view.

LB Camden have previously granted permission for a roof terrace to the neighbouring property at 20 Inglewood Road, planning reference number 2006/5412/P. The roof terrace at no. 20 features planter containers that sit above the front parapet line and a means of access that extends above the roofline, which are both considered to be undesirable in this case.

The proposal described herein for no. 18D is a superior and far more sensitive design proposal than the existing terrace no. 20, because unlike no. 20 the front parapet at no. 18D will remain exactly as existing with no visible protrusions above this line, and the means of access to the roof terrace will be via a glass roof light which will not extend above the parapet line or ridge line of the roof, ensuring it remains not visible from the public realm and preserving the character and roof form of the existing building.

The middle part of the roof is sufficient to accommodate a terrace by setting it down below the ridge lines, therefore ensuring that it will not be visible from anywhere else. The terrace is not situated toward the front of the roof, but further back where it is not visible

### 10.0 Retaining Existing Parapets

The parapet heights remain completely unaltered. The new terrace is set down below the parapet line so that the parapet height remains exactly as existing. The existing parapet itself will remain in situ.

### 11.0 Access

The means of access to the roof terrace will be via an opening glass roof light which will not extend above the parapet line or ridge line of the roof, ensuring it remains not visible from the

public realm and therefore preserving the character and roof form of the existing building. The roof light will also provide additional natural light to the living space below.

### 12.0 Avoiding Overlooking of Habitable Rooms

Being at roof level, the proposed terrace will not result in the overlooking of habitable rooms of any adjacent properties. Furthermore, the roof terrace is located over 19m from the nearest property to the north and over 22m to the nearest property to the south, which is considered a distance such that overlooking would not be a problem anyway. Occupants standing on the roof terrace will not be able to see into other properties and they would not be close enough to cause any kind of disturbance.

### 13.0 Privacy Screen

The pre-app feedback stated that:

*'The terrace would be directly adjacent to an existing terrace at no.20 and would therefore cause direct overlooking. A privacy screen could be installed to mitigate the amenity impact, however the screen would cause additional clutter to the roof slope and would therefore be unacceptable in design and heritage terms.'*

The proposed privacy screen will prohibit direct overlooking to/from the existing terrace at no.20, whilst not being visible from the public realm, either in close proximity or at a distance from the property. This is because the screen is completely obstructed from the front by an existing original brick chimney and will therefore have no impact. It is obstructed from the rear by the existing access pop-up to the neighbouring roof terrace at no.20 which is situated astride the party wall line. Since the privacy screen will not be visible from the public realm, it cannot be considered to clutter the roof.

### 14.0 Further Design Responses to Policy

Policy CPG1 states that a terrace should normally comply with the following criteria:

- 'The dimensions of the roof should be sufficient to accommodate a terrace without adversely affecting the appearance of the roof'*

Design Response: The middle/top part of the roof is sufficient to accommodate a terrace by setting it down below the ridge lines, therefore ensuring that it will not be visible from anywhere else.

- 'A terrace will only normally be acceptable on the rear of properties.'*

Design Response: The terrace is not situated on the front part of the roof, being set back toward the rear.

- 'It should not result in the parapet height being altered'*

Design Response: The parapet heights remain completely unaltered. The new terrace is set down below the parapet line so that the parapet height remains exactly as existing.

- 'It should not result in overlooking of habitable rooms of adjacent properties.'*

Design Response: Being at roof level, the proposed terrace will not result in the overlooking of habitable rooms of any adjacent properties. Furthermore, the roof terrace is located over 19m from the nearest property to the north and over 22m to the nearest property to the south, which is considered a distance such that overlooking would not be a problem anyway.

The proposal is therefore considered to comply with policy.



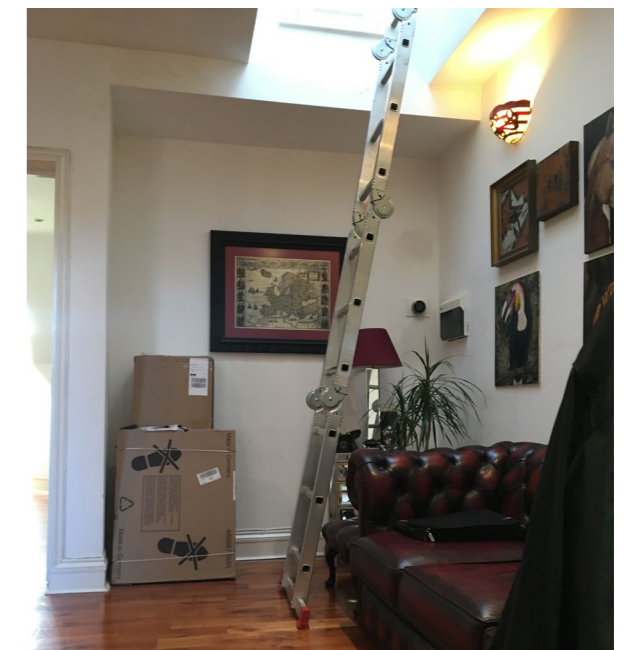
Existing Front Elevation

Proposed Front Elevation

The front part of the roof, which is visible from the street, will be completely unaltered. It is proposed to remove only the middle section of roof, which is not visible and therefore does not contribute to the character of the conservation area, facilitating the proposed roof terrace. The front elevation will therefore be unchanged. Existing parapets and chimneys will remain unaltered.



The front part of the roof, which is visible from the street, will be completely unaltered.



Existing rooflight to be replaced by a larger opening, providing access via alternating stairs

### 15.0 Non-Visibility from Inglewood Road

The following photographic study demonstrates that that area of middle roof to be removed is not visible and therefore does not contribute to the character of the conservation area, and also that the location of the existing chimneys and dormers mean that the proposed privacy screen will not be visible from the public realm around the building.

Existing dormer and chimney obscure view of privacy screen



Viewpoint 01, approaching from the east end of Inglewood Road

Existing dormer and chimney obscure view of privacy screen



Viewpoint 02, approaching from the east end of Inglewood Road

Existing dormer and chimney obscure view of privacy screen



Viewpoint 03, directly opposite the property on Inglewood Road

N. 20's dormer obscures view of privacy screen

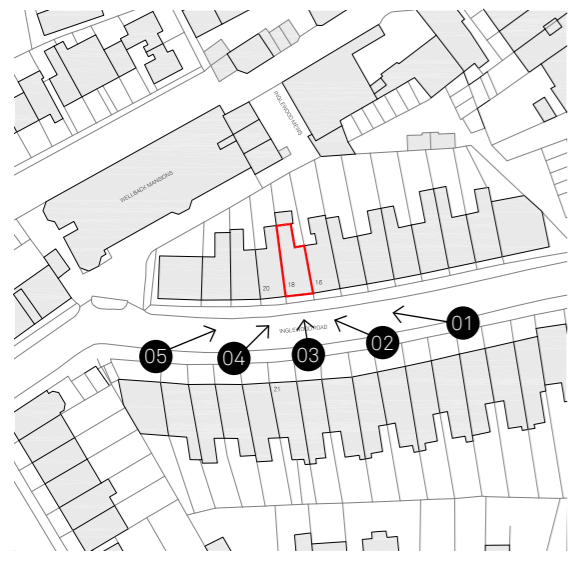


Viewpoint 04, approaching from the west end of Inglewood Road

Existing dormer and chimney obscure view of privacy screen



Viewpoint 05, approaching from the west end of Inglewood Road



Location Map of View Points Above



## 16.0 Pre-Application Feedback

The applicant sought pre-application feedback for the proposed roof terrace and a proposed rear roof dormer, submitted 08.03.2019, your reference 2019/0875/PRE.

Following the receipt of pre-application feedback, the rear dormer has been omitted and no longer forms part of the proposed works.

The main issues discussed in the pre-application feedback were:

- Design and heritage;
- Impact on the amenity of adjoining occupiers;

It is important to note that the Assessment section of the Pre-Application Feedback states *'The ridge of the second pitch is not visible from the street as the second [middle] slope of the roof is shallow and the ridge is set back'*, acknowledging that the middle area of the roof where the roof terrace is proposed is not visible from the street.

Responses to the main points of feedback regarding the proposed roof terrace are described in the following section 'Responses to Pre-Application Feedback'

## 17.0 Responses to Pre-Application Feedback

The design has been developed further in response to the pre-application feedback, and further description and justification in response to the feedback is also provided as follows:

1. *'The Council will seek to ensure that roof alterations are sympathetic and do not harm the character and appearance of buildings or the wider townscape in the borough.'*

The roof terrace is set entirely below the existing parapet line, which remains unaltered. The middle roof section above the parapet line is not visible in any way from the public realm. The proposed terrace therefore cannot be considered to have any bearing on the reading of the building or the roof scape, which will remain visually unspoilt. The external appearance of the building, viewed either from close proximity or at a distance, will not appear different in any way. The design proposal is considered to be highly sympathetic and discreet.

2. *'The Council would support a roof alteration when there is an established form of roof addition or alteration to a terrace or group of similar buildings and where a continuing the pattern of development would help to re-unite a group of buildings and townscape.'*

Since the proposed terrace sits entirely below the parapet it does not represent an 'addition' to the roof, and alterations are made entirely out of view.

3. *'Roof alterations are considered acceptable when there are a variety of additions or alterations to roofs which create an established pattern and where further development of a similar form would not cause additional harm.'*

The terrace will not cause additional harm because it will not change the way that the existing roof scape or form of the building is viewed or enjoyed. The character and detail of the building is entirely preserved. The roof terrace has been designed to be completely sensitive to the existing building by

not being visible externally from any external point around the building or public realm.

The development will not set a precedent for harmful development of roofs in the area, since it has been designed very carefully and sensitively to not alter the appearance of the roof or the character of the building at all.

4. *Alterations should be architecturally sympathetic to the age and character of the building and retain the overall integrity of the roof form.*

The proposed roof terrace is designed to be entirely discreet and be hidden below the roof line, preserving the age and character of the building, which will appear completely unaltered. The integrity of the roof form is retained, since from street level the roof form will look exactly as it does now.

## 18.0 Heritage Statement

The property is located within the West End Green Conservation area.

The *West End Green Conservation Appraisal and Strategy Document, 2011* outlines that *'The largely unspoilt late Victorian terraced houses of Inglewood Road (1883-4) to the west of West End Lane are laid out on a curve and display some interesting details, particularly the roof scape.'*

When viewed from the ground the roof scape will remain unaltered and unaffected by the proposed roof terrace. There is no impact of the proposal on the significance of a heritage asset (either the building or wider streetscape) since the visual appearance remains exactly the same, and is therefore preserved. The visible front part of the roof remains entirely in situ.

The proposed works are justified as follows:

- As the proposed roof terrace is not visible from street level the proposal does not cause any harm or loss of significance to the conservation area.
- The proposal does not affect the way in which someone walking along the street or viewing the roofline of the properties reads or enjoys the existing buildings, since the roof terrace and privacy screen will not be visible from anywhere along Inglewood Road, or from the rear.
- The proposed roof terrace will not impact on any of the surrounding properties with regard to overlooking, privacy or overshadowing.
- The *'West End Green Conservation Area Appraisal and Management Strategy' 2011* identifies the terrace houses on Inglewood Road to be a character zone and list these houses as *'buildings that make a positive contribution'*. This report was written following the addition of the roof terrace to the neighbouring property at No. 20. Owing to the presence of planting containers above the parapet line and the visibility of the means of access, the terrace at no. 20 is considered to have *some minor* impact on the conservation area. However no part of the proposed terrace forming the application at 18D described herein will be visible from any area and is completely set below the existing roof line in entirety, and the front parts of the existing roof that are currently visible will remain completely unaltered, therefore the application proposal cannot be said to have any impact at all on the conservation area.

- The front area of the roof that features the interesting details mentioned in the *West End Green Conservation Appraisal and Strategy Document, 2011*, such as the decorative dormer, roof tiles, fascia boarding and eaves detailing, will all remain completely unaltered by the roof terrace, which will not be visible.
- The proposed roof terrace will therefore not cause harm or impact upon the building's existing positive contribution to the conservation area.
- The building has already been divided into flats, similar to others on the road therefore the internal character of the building has already been altered. By introducing access from the top floor flat (18D) to the proposed roof terrace this will enable residents to have much needed access to private outdoor space which they current do not have access to, without impacting on the appearance or heritage character of the building.
- The proposed roof terrace will also provide the opportunity to introduce greenery, biodiversity and planting, without impacting on the appearance or heritage character of the building.
- Within the London Plan the introduction of roof terraces is highly encouraged stating within item 5.25, that *'Vegetated roofs, including terraces and gardens, can improve the thermal performance of the building, reduce the urban heat island effect, support sustainable urban drainage by absorbing rainfall to reduce flooding, enhance biodiversity, provide amenity for residents who may not have access to private gardens, and provide opportunities to grow food and improve appearance.'* Therefore as the roof terrace will not cause any harm to the conservation area or anyone's experience of Inglewood Road the proposal should be approved to improve the quality of life for the residents as well as offering a sustainable and environmentally beneficial asset to the area.

It is therefore considered that the proposed roof terrace is a sensitive design proposal that is discreet and hidden, with no elements visible from the public realm, which will preserve in situ the existing detailed frontage of the roof of the building, and therefore ensure the character of the street and wider conservation area can be maintained with no visible impact.

## 19.0 Materiality

The external roof materials of the retained visible front and rear sections of roof will remain untouched in situ.

The roof terrace itself will be inset below the roof line and will not be visible from the public realm or neighbouring properties. The roof terrace will therefore only be visible from the occupants of the subject property, 18D Inglewood Road.

The primary proposed material is to be robust seasoned Siberian Larch timber, which is known as a high quality and resilient timber particularly suited for use in external conditions without the need for the ongoing application of preservative treatment, as would be the case with lesser quality timbers. This means that the timber will continue to look attractive naturally without the need for excessive maintenance, preserving a quality appearance over time.

Siberian Larch will quickly 'silver' in the external conditions, meaning that it naturally turns very quickly to an attractive silver-grey colour that will compliment the existing tones of the roofing tiles, existing render and other roofing material, so that the appearance from within the inset roof terrace is of the materials blending seamlessly with the roof surroundings.

The Siberian Larch is to be used for the external decking, planters, privacy screen and seating, ensuring continuity in materials throughout. A discreet glass balustrade will provide edge protection to the opening rooflight, accessed from the end.

## 20.0 Conclusion

- The proposed roof terrace will provide much needed high quality external amenity space to this residential property
- The proposed roof terrace will provide greenery and planting for the benefit of London's ecology, enhancing biodiversity in the area, in particular for bees and other insects.
- The proposed roof terrace will be entirely set down below the roof line, with the existing parapet and main front and rear parts of the roof left completely in situ, so that the roof appears exactly the same from the public realm, viewed either from close proximity or at a distance.
- The proposed roof terrace therefore preserves the existing roof and character of the building, which will not appear any different externally. The integrity of the roof form is retained, since from street level the roof form will look exactly as it does now.
- The proposed terrace will not have any impact on the reading of the building or the roof scape, which will remain visually unspoilt. The design proposal is considered to be highly sympathetic and discreet, with due consideration for the conservation area and the host building.
- The proposed roof terrace is a far more sensitive design than the existing neighbouring terrace at no. 20, previously granted planning permission by LB Camden, because the front parapet will remain exactly as existing and the means of access to the roof terrace will be via a glass roof light which will not extend above the parapet line or ridge line of the roof, ensuring it remains not visible from the public realm and preserving the character and roof form of the existing building.
- The proposed privacy screen will prohibit direct overlooking to/from the existing terrace at no.20, whilst not being visible from the public realm.
- The proposed terrace will not result in the overlooking of habitable rooms of any nearby properties.
- The proposed roof terrace will not have any harmful effect on the external amenity of nearby properties.
- The proposed roof terrace will not cause any loss of daylight and sunlight to nearby properties.

Given the strong positive benefits of the proposed high quality external amenity roof terrace, as well as the sensitive measures taken to preserve the character of the existing building and the wider conservation area, we urge the London Borough of Camden to lend its support to this application.



Visual of proposed roof terrace

- |    |  |
|----|--|
| 01 | Existing front parapet, retained   |
| 02 | Inset roof terrace set below existing roof line  |
| 03 | Siberian larch timber decking  |
| 04 | Siberian larch timber planters and seat  |
| 05 | Opening glass rooflight providing access   |
| 05 | Glass balustrade set below roof line   |
| 06 | Existing rendered chimney unaffected, brick details maintained   |
| 07 | Proposed privacy screen to boundary with no.20, obstructed at street level by the existing front chimney |
| 08 | Existing metal enclosure providing access to roof at no. 20, neighbouring property                       |
| 09 | Existing rear parapet, retained  |
| 10 | Existing rendered brick party parapet wall maintained as existing.                                       |



Opening glass rooflight providing access, set below roof line

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