

PROPOSED ANNEX OUT-BUILDING USED AS PLAYROOM & STORAGE & OFFICE FOR GF & LGF APARTMENT (G.I.A: 39.2M²)

NEW OUT BUILDING TO BE USED AS ANCILLARY USE OF -
EXISTING RESIDENTIAL FLAT AS GYM & OFFICE

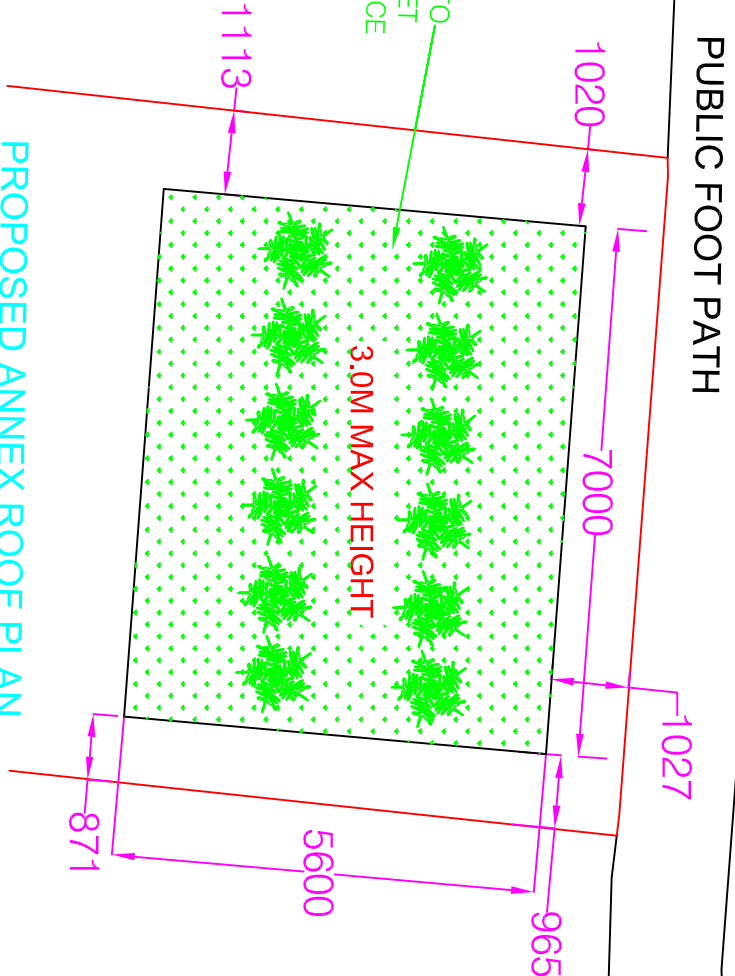
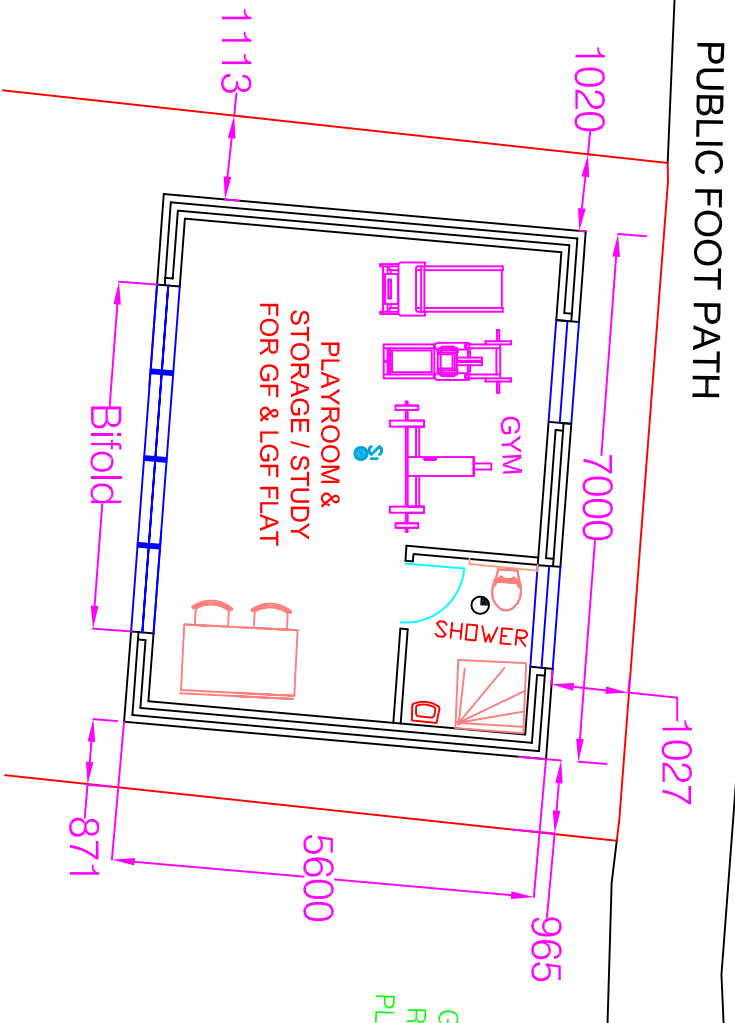
THE ANNEX TO BE OF FLAT ROOF CONSTRUCTION AT NO MORE THAN 3m HEIGHT WITH ALL EXTERNAL WALLS IN SMOOTH RENDER FINISH AND MATCHING WINDOW PANELS OF WHITE FRAME DOUBLE GLAZING TO MATCH MAIN EXISTING BUILDING AND IN KEEPING WITH SITE CONSTRAINTS.

ALL DRAINAGE FOR FOUL AND SURFACE WATER TO DISCHARGE INTO EXISTING SYSTEM TO MEET BUILDING REGULATIONS PART-H

THE PROPOSED OUTBUILDING TO BE SET AT 16M AWAY FROM NEAREST POINT TO THE CENTRAL ASH TREE WITH TPO

UNDER BRITISH STANDARD - BS 5837 : 2012 CAPS THE
MAXIMUM ROOT PROTECTION AREA (RPA) AT 15m RADIUS
FROM THE TRUNK AND THE PROPOSED OUTBUILDING SET
OUTSIDE ABOVE PARAMETER

AS PART OF WORKS TO INCLUDE PROTECTIVE FENCING TO BS-5837 : 2012 WILL BE PLACED AROUND THE TREE TO PREVENT DAMAGE TO THE TRUNK AND THERE WILL BE NO PLANT OPERATING IN THE REAR GARDEN AND THEREFORE GROUND PROTECTION IS NOT REQUIRED FOR WORKS

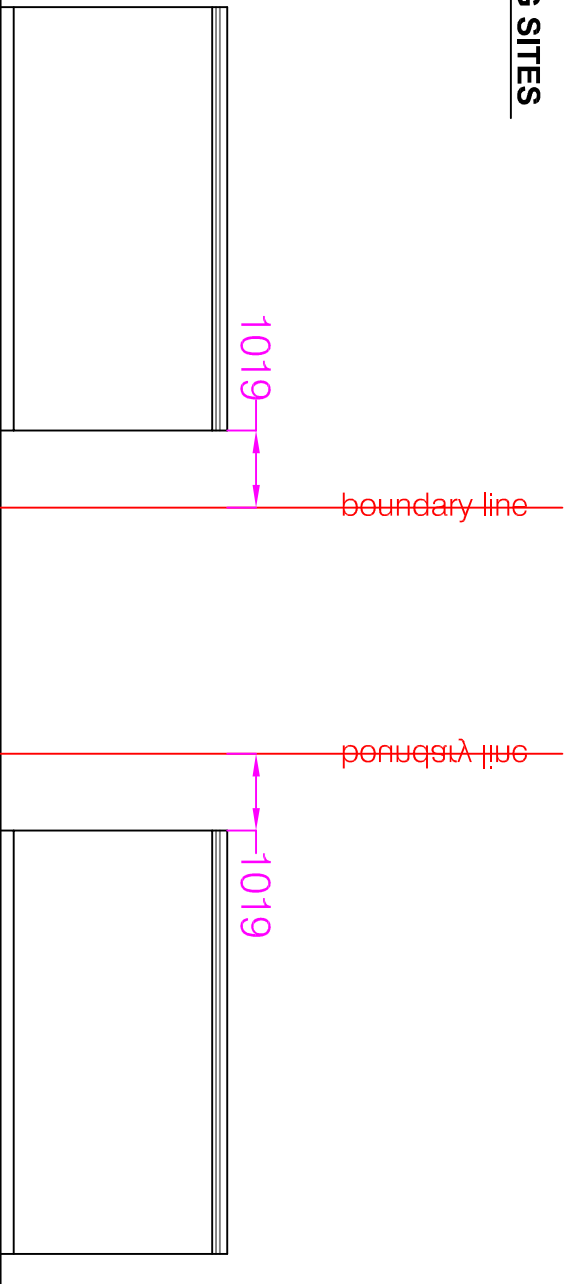
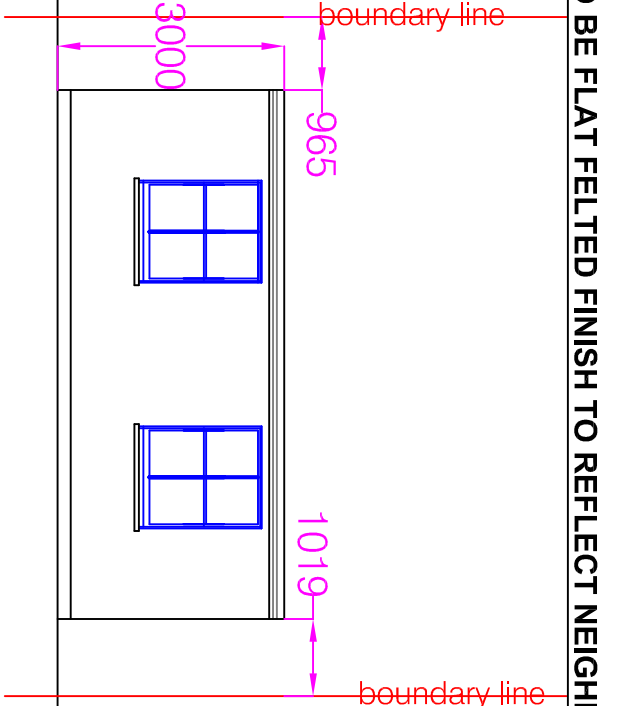
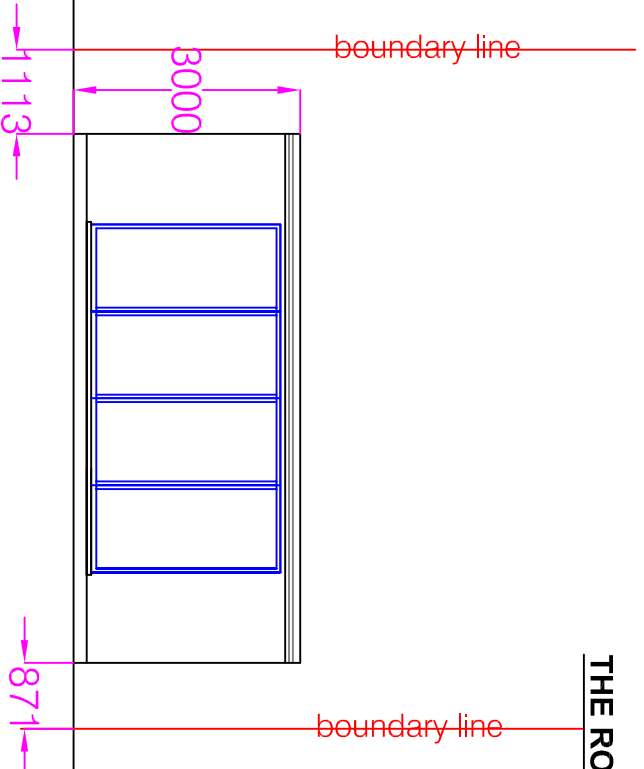


PROPOSED ANNEX FLOOR PLAN

ALL EXTERNAL WALLS TO BE SMOOTH RENDER AND PAINTED WHITE TO MATCH MAIN BUILDING LOWER GROUND EXTERNAL FACADE

THE WINDOWS AND EXTERNAL DOORS TO BE WHITE DOUBLE GLAZED FRAMES IN ALUMINIUM FRAMES TO MEET CONSERVATION AREA.

THE ROOF TO BE FLAT FELTED FINISH TO REFLECT NEIGHBOURING SITES



FRONT ELEVATION FACING
MAIN BUILDING AND THE
REAR GARDEN

FRONT ELEVATION FACING
REAR BOUNDARY FENCE

SIDE ELEVATION FACING
NO-8 THURLOW RD

**SIDE ELEVATION FACING
NO-10 THURLOW RD**



EVER GREEN HEBE -
PINGUIFOLIA PEGEI POSITIONE
CENTRAL TO THE GREEN ROOF



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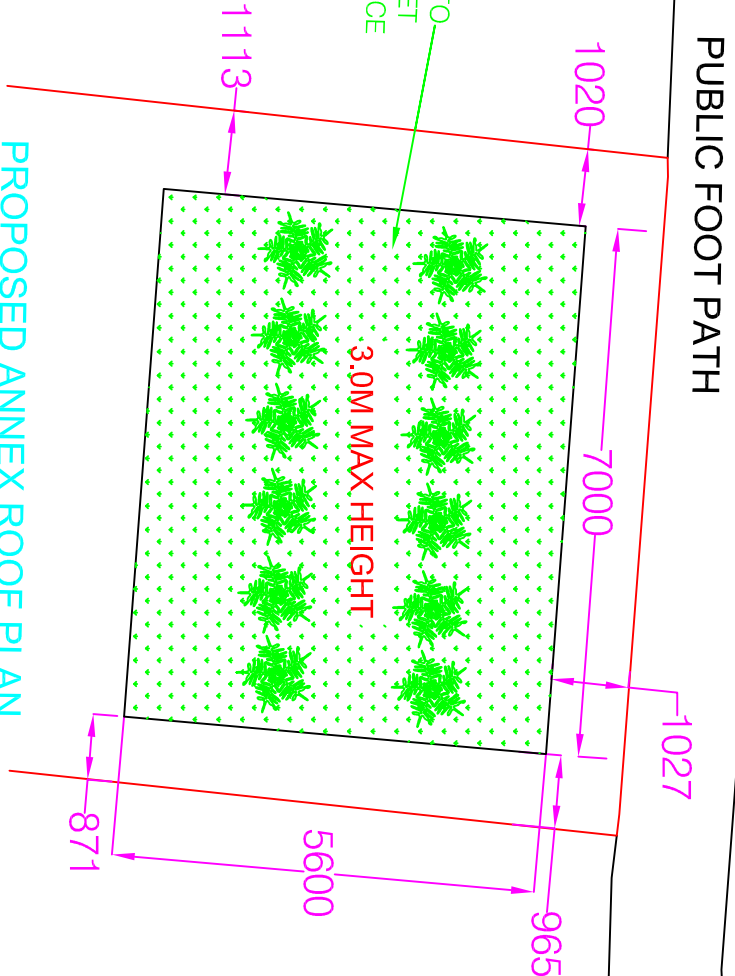
PROPOSED REAR GARDEN ANNEX
OUT-BUILDING PLANS & EVALUATION

project MAISONETTE BASEMENT & GROUND FLOOR FLAT
9 THURLOW ROAD - HAMPSTEAD NW3 5PJ

drawing no	HD1139/8005	rev: A	scale	1:100 @ A
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drawn by R.L	contract no. HD1139	date 07/2019
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PUBLIC FOOT PATH



PROPOSED ANNEX ROOF PLAN

