

PROPOSED ANNEX OUT-BUILDING USED AS
PLAYROOM & STORAGE & OFFICE FOR GF & LGF
APARTMENT (G.I.A: 39.2M²)

NEW OUT BUIDING TO BE USED AS ANCILLARY USE OF
THE EXISTING RESIDENTIAL FLAT AS GYM & OFFICE

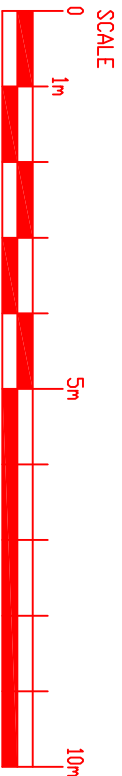
THE ANNEXT TO BE OF FLAT ROOF CONSTRUCTION
AT NO MORE THAN 3m HEIGHT WITH ALL EXTERNAL
WALLS IN SMOOTH RENDER FINISH AND MATCHING
WINDOW PANELS OF WHITE FRAME DOUBLE GLAZING
TO MATCH MAIN EXISTING BUILDING AND IN KEEPING
WITH SITE CONSTRAINTS.

ALL DRAINAGE FOR FOUL AND SURFACE WATER TO
DISCHARGE INTO EXISTING SYSTEM TO MEET
BUILDING REGULATIONS PART-H

THE PROPOSED OUTBUILDING TO BE SET AT 16M
AWAY FROM NEAREST POINT TO THE CENTRAL ASH
TREE WITH TPO

UNDER BRITISH STANDARD - BS 5837 : 2012 CAPS THE
MAXIMUM ROOT PROTECTION AREA (RPA) AT 15m
RADIUS FROM THE TRUNK AND THE PROPOSED
OUTBUILDING SET OUTSIDE ABOVE PARAMETER

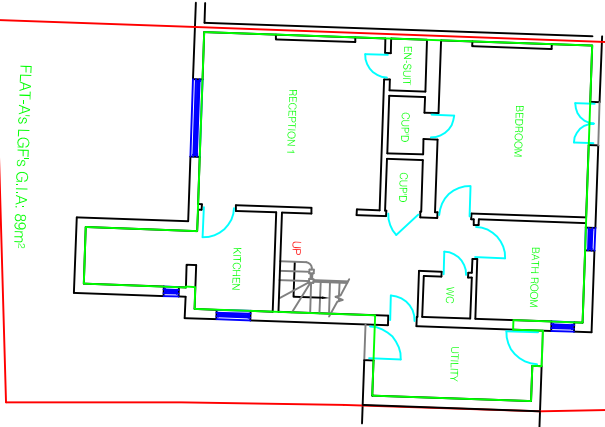
AS PART OF WORKS TO INCLUDE PROTECTIVE
FENCING TO BS-5837 : 2012 WILL BE PLACED AROUND
THE TREE TO PREVENT DAMAGE TO THE TRUNK AND
THERE WILL BE NO PLANT OPERATING IN THE REAR
GARDEN AND THEREFORE GROUND PROTECTION IS
NOT REQUIRED FOR WORKS



		40 WISE LANE MILL HILL LONDON NW7 2RE email: info@homedesignltd.co.uk www.homedesignltd.co.uk		title EXISTING & PROPOSED SITE PLANS	
drawing no		HD1139/8006		project MAISONETTE BASEMENT & GROUND FLOOR FLAT 9 THURLOW ROAD - HAMPSHIRE NW3 5PJ	
drawn by R. L		contract no. HD1139		rev: A scale 1:200 @ A3 date 07/2019	

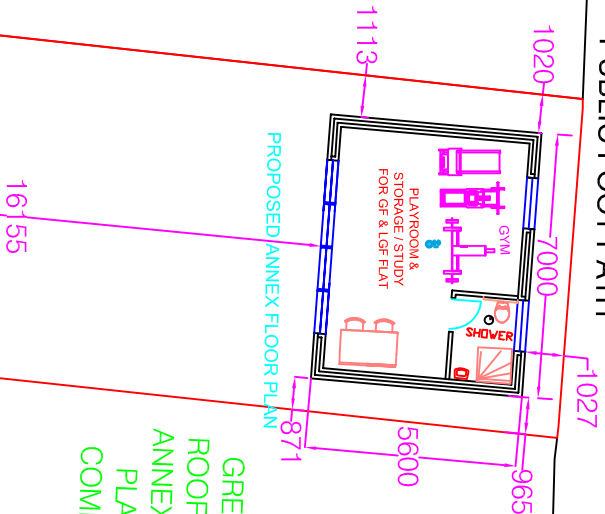
PUBLIC FOOT PATH

EXISTING ASH TREE

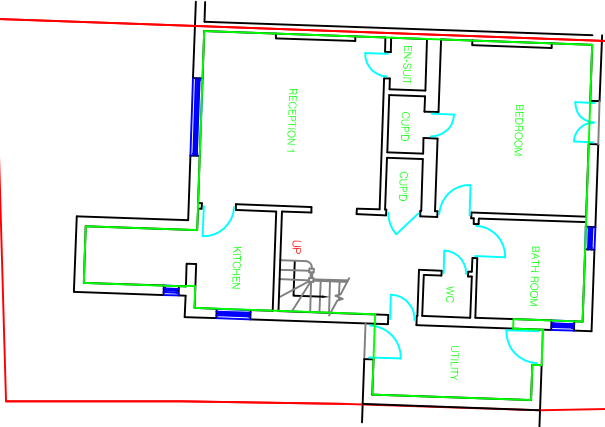


EXISTING LOWER GROUND FLOOR & GARDEN PLAN

PUBLIC FOOT PATH



EXISTING ASH TREE



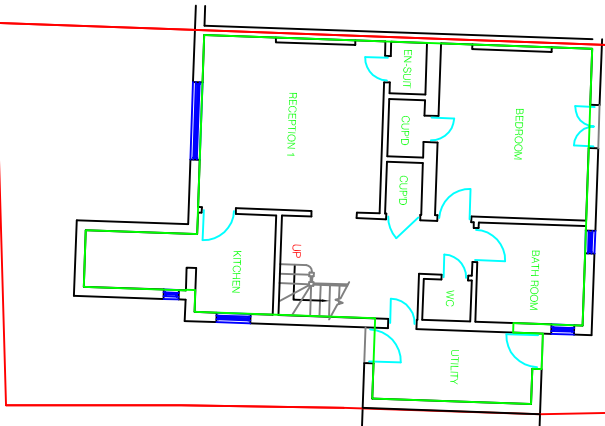
PROPOSED ANNEX OUT BUILDING FLOOR PLAN

PUBLIC FOOT PATH

GREEN FLAT
ROOF TO REAR
ANNEX TO MEET
PLANNING
COMPLIANCE

16' 55"

EXISTING ASH TREE



PROPOSED ANNEX OUT BUILDING ROOF PLAN