



**87 Gower Street,
London**

**Heritage Impact
Assessment**

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Dimension
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On behalf of:
SBR Properties Ltd.

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Section 1

Introduction

- 1.1 This Heritage Impact Assessment (HIA) has been prepared by The Environmental Dimension Partnership Ltd (EDP) on behalf of SBR Properties Ltd. to support the submission and determination of applications for planning permission and Listed Building Consent for proposed development at 87 Gower Street, London.
- 1.2 The HIA has been prepared in accordance with guidance set out in the *National Planning Policy Framework* (NPPF; MHCLG, 2019), i.e. paragraph 189, which advises that:
- “In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets’ importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary. Where a site on which development is proposed includes, or has the potential to include, heritage assets with archaeological interest, local planning authorities should require developers to submit an appropriate desk-based assessment and, where necessary, a field evaluation.”*
- 1.3 The site comprises a single Grade II listed building, and so this HIA presents an assessment of potential impacts arising from the proposed alterations to the listed building within the site, in terms of its “*special architectural or historic interest*”, and any contribution that is made to that special interest by its setting.
- 1.4 The site also lies within the Bloomsbury Conservation Area, the character or appearance of which is desirable to preserve or enhance. As such, the HIA presents an assessment of potential impacts on the “*character or appearance*” of the Conservation Area.
- 1.5 In so doing, this HIA addresses the requirements of current legislation and relevant national and local planning policies providing for the conservation and management of the historic environment, most notably paragraph 189 of the NPPF (above).

Location and Boundaries

- 1.6 The site is located in London within the Bloomsbury area circa 500 metres south of Euston Station and 2.5km to the north of Westminster. It is situated at the western corner of the junction of Gower Street and Torrington Place at National Grid Reference TQ 29626 82044.
- 1.7 The site comprises a single residential property as well as its respective domestic curtilage, which runs westwards to adjoin a mews property to the west of the site.

- 1.8 The boundaries of the site comprise the western side of Gower Street to the east and brick walls defining the southern, western and northern sides of the domestic curtilage.
- 1.9 A plan, showing the arrangement of internal space within the listed building forming the focus of the site, is included here as **Plan EDP 1**.

Proposed Development

- 1.10 The proposed development of the site comprises the following inter-linked applications for planning permission and Listed Building Consent for the refurbishment and extension of the office building.
- 1.11 Plans and elevations of the proposed development are included in **Appendix EDP 1**, which should be consulted for further information.

Section 2 Legislation and Planning Guidance

- 2.1 This section sets out relevant legislation and planning policy, governing the conservation and management of the historic environment.

Legislation

- 2.2 The *Planning (Listed Buildings and Conservation Areas) Act* of 1990 is the primary legislative instrument addressing the treatment of listed buildings through the planning process in both England and Wales.

- 2.3 Section 66(1) of the *Planning (Listed Buildings and Conservation Areas) Act* of 1990 sets out the statutory duty of the decision-maker, where proposed development would affect a listed building or its setting:

“...in considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.”

- 2.4 The ‘special regard’ duty of the 1990 Act has been tested in the Court of Appeal and confirmed to require that “*considerable importance and weight*” should be afforded by the decision maker to the desirability of preserving a listed building along with its setting. The relevant judgement is referenced as *Barnwell Manor Wind Energy Ltd v East Northants DC, English Heritage and National Trust* (2014) EWCA Civ 137.

- 2.5 However, it must be recognised that Section 66(1) of the 1990 Act does not identify that the local authority or the Secretary of State must preserve a listed building or its setting, nor does it indicate that development that does not preserve them is unacceptable and should therefore be refused.

- 2.6 This point is made very clearly in paragraph 54 of the High Court judgement in respect of *Forest of Dean DC v Secretary of State for Communities and Local Government* [2013] EWHC 4052 (Admin), which sets out that:

“...Section 66 (1) did not oblige the inspector to reject the proposal because he found it would cause some harm to the setting of the listed buildings. The duty is directed to ‘the desirability of preserving’ the setting of listed buildings. One sees there the basic purpose of the ‘special regard’ duty. It does not rule out acceptable change. It gives the decision-maker an extra task to perform, which is to judge whether the change proposed is acceptable. But it does not prescribe the outcome. It does not dictate the refusal of planning permission if the proposed development is found likely to alter or even to harm the setting of a listed building.”

- 2.7 In other words, it is up to the decision maker (such as a local authority) to assess whether the proposal that is before them would result in “*acceptable change*”.
- 2.8 Section 72(1) of the 1990 Act sets out the statutory duty for a decision-maker where a proposed development would have an impact on the character or appearance of a conservation area. This states that:
- “...with respect to any buildings or other land in a conservation area, of any powers under any of the provisions mentioned in subsection (2), special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area.”*
- 2.9 As far as Section 72(1) of the 1990 Act is concerned, it has previously been established by the Courts (*South Lakeland DC v Secretary of State for the Environment*, [1992] 2 WLR 204) that proposed development which does not detract from the character or appearance of a conservation area is deemed to be in accordance with the legislation. In other words, there is no statutory duty to actively ‘enhance’.
- 2.10 Equally, it must be recognised that Section 72(1) of the 1990 Act does not identify that the Local Planning Authority or the Secretary of State must preserve or enhance the character or appearance of a conservation area, nor does it indicate that a development that does not ‘preserve or enhance’ is unacceptable and therefore should be refused.
- 2.11 Again, it is clearly up to the decision maker (such as the local authority) to assess whether the development proposal before them would result in “*acceptable change*.”

National Planning Policy

- 2.14 National planning guidance for England is set out in the NPPF (MHCLG, 2019), where Section 16 Conserving and Enhancing the Historic Environment sets out national planning guidance of relevance.
- 2.15 In terms of an application, Paragraph 189 states that:
- “In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets’ importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary. Where a site on which development is proposed includes, or has the potential to include, heritage assets with archaeological interest, local planning authorities should require developers to submit an appropriate desk-based assessment and, where necessary, a field evaluation.”*
- 2.16 In terms of the decision-making process, Paragraph 193 states that:

“When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset’s conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.”

2.17 Paragraph 194 then states that:

“Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification. Substantial harm to or loss of:

- a) grade II listed buildings, or grade II registered parks or gardens, should be exceptional; and*
- b) assets of the highest significance, notably scheduled monuments, protected wreck sites, registered battlefields, grade I and II* listed buildings, grade I and II* registered parks and gardens, and World Heritage Sites, should be wholly exceptional.”*

2.18 Paragraph 196 then adds the following in respect of the identification of harm assessed to be ‘less than substantial’:

“Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.”

2.19 It is concluded to be highly unlikely that development proposals for the site would result in impacts equating to “substantial harm” (e.g. paragraph 195 of the NPPF).

2.20 In relation to conservation areas, paragraphs 200 and 201 of the NPPF are of relevance. Paragraph 200 states that:

“Local planning authorities should look for opportunities for new development within Conservation Areas and World Heritage Sites, and within the setting of heritage assets, to enhance or better reveal their significance. Proposals that preserve those elements of the setting that make a positive contribution to the asset (or which better reveal its significance) should be treated favourably.”

2.21 Furthermore, paragraph 201 states that:

“Not all elements of a Conservation Area or World Heritage Site will necessarily contribute to its significance. Loss of a building (or other element) which makes a positive contribution to the significance of the Conservation Area or World Heritage Site should be treated either as substantial harm under paragraph 195 or less than substantial harm under paragraph 196, as appropriate, taking into account the relative significance of the element affected and its contribution to the significance of the Conservation Area or World Heritage Site as a whole.”

- 2.22 This confirms that, when assessing the impacts in relation to conservation areas, the whole of the conservation should be taken into account.

Local Planning Policy

- 2.23 The relevant Development Plan also includes Camden Council's Local Plan, which was adopted on 03 July 2017.
- 2.24 The policy of relevance to the proposals is Policy D2, which covers the Historic Environment and sets out the following:

"The Council will preserve and, where appropriate, enhance Camden's rich and diverse heritage assets and their settings, including conservation areas, listed buildings, archaeological remains, scheduled ancient monuments and historic parks and gardens and locally listed heritage assets.

Designated Heritage Assets

Designed heritage assets include conservation areas and listed buildings. The Council will not permit the loss of or substantial harm to a designated heritage asset, including conservation areas and Listed Buildings, unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply:

- a. the nature of the heritage asset prevents all reasonable uses of the site;*
- b. no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation;*
- c. conservation by grant-funding or some form of charitable or public ownership is demonstrably not possible; and*
- d. the harm or loss is outweighed by the benefit of bringing the site back into use.*

The Council will not permit development that results in harm that is less than substantial to the significance of a designated heritage asset unless the public benefits of the proposal convincingly outweigh that harm.

Conservation Areas

Conservation areas are designated heritage assets and this section should be read in conjunction with the section above headed 'designated heritage assets'. In order to maintain the character of Camden's conservation areas, the Council will take account of conservation area statements, appraisals and management strategies when assessing applications within conservation areas. The Council will:

- e. *require that development within conservation areas preserves or, where possible, enhances the character or appearance of the area;*
- f. *resist the total or substantial demolition of an unlisted building that makes a positive contribution to the character or appearance of a conservation area;*
- g. *resist development outside of a conservation area that causes harm to the character or appearance of that conservation area; and*
- h. *preserve trees and garden spaces which contribute to the character and appearance of a conservation area or which provide a setting for Camden's architectural heritage.*

Listed Buildings

Listed buildings are designated heritage assets and this section should be read in conjunction with the section above headed 'designated heritage assets'. To preserve or enhance the borough's listed buildings, the Council will:

- i. *resist the total or substantial demolition of a listed building;*
- j. *resist proposals for a change of use or alterations and extensions to a listed building where this would cause harm to the special architectural and historic interest of the building; and*
- k. *resist development that would cause harm to significance of a listed building through an effect on its setting."*

- 2.25 The legislation, plans and policies identified in the paragraphs above have been considered in the preparation of this report.

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Section 3

Methodology

- 3.1 This section of the HIA outlines the methodology that was employed in the identification and assessment of potential impacts.

General Methodology

- 3.2 This HIA has been prepared in accordance with the most up to date version of the *Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures* (CIfA, 2014).
- 3.3 These best practice professional guidelines provide a national standard for the completion of assessments addressing the built aspects of the historic environment.
- 3.4 A range of background sources was collected, from relevant repositories in order to investigate and understand the origins and development of the site and the building within it. The repositories included:
- The National Heritage List for England (curated by Historic England);
 - Camden Archives and Local Studies Library; and
 - Documents prepared to inform and support previous applications.
- 3.5 Having collected, collated and considered the background sources, the site and building were visited by an experienced surveyor specialising in the investigation and assessment of standing buildings. The visit took place in May 2019.
- 3.6 The objective was to understand the building's "*special interest*", identify any features of "*special interest*" that it possesses and consider any evidence for chronological change which might affect that "*special interest*" in order to understand the likely impact of the development proposals.

The Assessment of the Building's Special Interest

- 3.7 Reference is made (where appropriate) to English Heritage (2008) *Conservation Principles, Policies and Guidance for the Sustainable Management of the Historic Environment* in this assessment, but the identification of 'significance' will be based on the definition outlined in Annex 2 of the NPPF (as follows):

"The value of a heritage asset to this and future generations because of its heritage interest. The interest may be archaeological, architectural, artistic or historic. Significance

derives not only from a heritage asset's physical presence, but also from its setting. For World Heritage Sites, the cultural value described within each site's Statement of Outstanding Universal Value forms part of its significance."

- 3.8 So, the "special interest" of the listed building within the site may be archaeological, architectural, artistic or historic.

The Assessment of 'Setting'

- 3.9 The identification and assessment of potential impacts follows the 'stepped' approach set out in Historic England *The Setting of Heritage Assets: Historic Environment Good Practice Advice in Planning Note 3 (Second Edition)*, which was published in December 2017. This best practice guidance is hereafter referenced as GPA 3 or HE (2017).

- 3.10 This 'stepped' approach to the identification of developmental effects in respect of 'setting' can be summarised as follows:

1. Identify which heritage assets and their settings are affected;
2. Assess the degree to which these settings make a contribution to the significance of the heritage asset(s) or allow significance to be appreciated;
3. Assess the effects of the proposed development, whether beneficial or harmful, on that significance or on the ability to appreciate it;
4. Explore ways to maximise enhancement and avoid or minimise harm; and
5. Make and document the decision and monitor outcomes.

- 3.12 It should be noted that Steps 1 to 4 will be covered in this assessment; however, Step 5 is the remit of the decision maker and beyond the scope of this report.

The Assessment of the Conservation Area

- 3.11 The identification and assessment of potential impacts on the character and appearance of the conservation area has had recourse to current Historic England guidance set out in *Conservation Area Appraisal, Designation and Management Second edition, Historic England Advice Note 1 (2019)*.

- 3.12 In that regard, Historic England Advice Note 1 states that "the objective is to understand and articulate exactly why the area is special and what elements within the area contribute to this special quality and which don't, conveying this succinctly...".

- 3.13 It notes a series of considerations that are “*of particular relevance to the analytical framework of an appraisal*” including “*density, types and forms of buildings, gardens and green spaces.*”
- 3.14 As such, it covers the identification of conservation areas and their “*special interest*” rather than providing an assessment framework for developmental change.
- 3.15 As such, Historic England’s *Historic Environment Good Practice Advice in Planning Note 2: Managing Significance in Decision-Taking in the Historic Environment* sets out the following in respect of managing change to heritage assets:
- “*Change to heritage assets is inevitable but it is only harmful when significance is damaged. The nature and importance of the significance that is affected will dictate the proportionate response to assessing that change, its justification, mitigation and any recording which may be needed if it is to go ahead.*”
- 3.16 Accordingly, this HIA has been prepared using best practice professional guidance and is therefore considered to provide a robust basis for an evaluation of the development that is proposed at the site in respect of heritage matters.

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Section 4

Baseline Information and Significance

- 4.1 The following section identifies the heritage assets that are capable of being affected by the site's proposed redevelopment.
- 4.2 This section will identify the heritage assets of relevance to the proposed development and any relevant supporting information on their history, etc.
- 4.3 As per paragraph 189 of the NPPF (MHCLG, July 2018), the following two designated heritage assets are considered to be potentially affected by development proposals for the site:
- 87-97 Gower Street, Grade II listed building (List Entry 1113047); and
 - Bloomsbury Conservation Area.
- 4.4 Copies of the listing citation is included as **Appendix EDP 2**, which should be consulted alongside the following paragraphs.

87 Gower Street

- 4.5 The site comprises 87 Gower Street, which forms part of the Grade II listed building known as *Numbers 87 to 97 and Attached Railings* (List Entry 1113047). This larger designation covers the terrace of six residential properties on the western side of Gower Street, to the north of its junction with Torrington Place. This Grade II listed building was first designated on 28 March 1969 and does not appear to have been amended since. The citation reads:
- 'Terrace of 6 houses. c1789. Darkened stock brick with slate mansard roofs and dormers. Nos 95 & 97 with rusticated stucco ground floors. 3 storeys, attics and basements; No.91, 4 storeys. 3 windows each. Round-arched doorways with pilaster-jambes and cornice-heads, fanlights (Nos 91 & 93 radial patterned) and panelled doors. Gauged brick flat arches to recessed sashes, No.91 with glazing bars. Ground floor and 1st floor of No.91 with bracketed sills. Plain stone 1st floor sill bands. No.87 with 1st floor cast-iron window guards. Parapets. INTERIORS: not inspected. SUBSIDIARY FEATURES: attached cast-iron railings with urn finials to areas. HISTORICAL NOTE: No.91 was the home of George Dance the Younger, architect (GLC plaque).'*
- 4.6 Additional information on the history and chronological development of the property will be set out in the paragraphs overleaf.

History

- 4.7 As noted in the listing citation, the terrace of houses dates from c.1789. The Survey of London notes that this portion of Gower Street was originally known as 'Upper Gower Street' and these six houses, along with a terrace across the street, were the first to be

constructed north of Francis Street (now Torrington Place) (Survey of London 1949). They were built following the granting of a building lease by the Duke of Bedford in 1789 (*ibid.*).

- 4.8 The Bloomsbury area in general underwent large-scale development during this period, following a street plan laid out by the Duke of Bedford. It is worth noting that the matching terrace on the eastern side of the road was cleared away for the expansion of University buildings in 1964.
- 4.9 The earliest map to depict the site at anything more than large scale is the St Pancras Parish map of 1801, which depicts the terrace in block plan. This shows the site complete at this time with a small rear extension, albeit apparently smaller than the current rear projection, and evidence suggesting lightwells to the front and rear. This map shows each of the properties within the terrace as being identical, although whether this is a true reflection of the situation is unclear. It is also notable at this time that there was no 'mews' property to the rear of the plot.
- 4.10 The next map to show the property in any detail is the Ordnance Survey five-foot town plan of 1872. This shows the terrace and building much as previously, although the rear projection had been extended, along with some of the others in the terrace. A 'mews' property is depicted to the rear of the plot for the first time.
- 4.11 The next Ordnance Survey Town Plan dates to 1895. This shows a different arrangement to the rear of the building, with the extension now removed and a small extension wrapping around the south-west corner. It is possible this is a draughting error, as the 1900 Goad Insurance plans shows the extension as before. The Goad plan also depicts the rear 'mews' property as gardens. Yet the 'error' is also replicated on the 1911 Ordnance Survey Town plan and it is difficult to establish the precise situation.
- 4.12 At this time, the 1911 census records the house as being used by Rosa Turner, a medical practitioner, along with housekeeper, two nurses and two servants. Rosa Turner is listed in the 1940 Kelly's Post Office directory as still occupying the building. It is probable that the building was being used at this time as a medical practice.
- 4.13 The larger rear extension appears again on the 1953 Town Plan, along with a smaller extension to the southern side of the building. This represents the block plan as it currently is. Also apparent on this map is the fact that numerous rear extensions had been added to buildings further north along Gower Street.
- 4.14 The 1949 Survey of London contains a photograph of the terrace and a detailed description covering the exterior of 87-97. The description of the terrace at this time reads:

'Each of these houses is three storeys in height above a basement, with stock brick facings, plain parapet and slate-covered mansard roofs with dormer windows lighting the attics. No. 91 has had its front wall raised to convert the attic into an additional storey. The first and second floors have each three sash windows and a stone string-course runs at first-floor sill level. In place of the northern window on the ground floor is the entrance beneath a semi-circular brick arch. The moulded head of the door frame, which breaks forward over side pilasters, is set above springing level, making the fanlight contained in the arch

segmental in shape. The entrances are wide, with generous stone thresholds and steps, the impression of width being increased by the skilful treatment of the wrought-iron railings. No. 90 retains its tall curved lamp standard with an interlacing pattern of wrought iron. The ground floors of Nos. 95 and 97 have been rendered in cement and jointed to resemble masonry. The fanlights on the east side of the street are more elaborate than those on the west. The interiors of these houses have contemporary fireplaces one of which, with fluted frieze and pilasters, at No. 98, is illustrated here (page 78). There is much well wrought enrichment as shown in the arch and cornice to the hall of the same house (see above). Measured drawings of the exterior are given on Plate 29."

- 4.15 It also includes details of No. 98 comprising elevation drawings and plans of the ground and first floors, along with some diagrammatic detailing of a chimney piece, console and corncicing. Although it is noted that the terracing fronting the eastern side of the road was more elaborate than the west, it nonetheless represents a contemporary structure built at the same time as No. 87.
- 4.16 Three photographs are available from the latter part of the 20th century within the London Metropolitan Archives, with two of the frontages dated 1966 and 1982, and one of the rear from 1975. These show the elevations of the buildings much as they are today. The 1975 photograph shows the area to the rear of the property as being utilised by car parking. The boundary walling of the garden to the site has a garage door placed within it. At this time, the building appears to have been used by UCL as the Centre for Urban Studies, which occupied the building in the 1970s until around 1980.

Planning History

- 4.17 The most relevant recent aspect of the site's planning history refers to the grant of planning permission and Listed Building Consent for "*Installation of plant equipment at basement level to front pavement vault, new screen under the bridge of front light well, removal of internal partition walls at basement, rear ground floor, front room on second and third floors, wall openings at third and basement levels, and other internal alterations, to office building*" on 02 November 2018 under references 2018/4121/L and 2018/4332/P.
- 4.18 The proposal comprised the removal of internal walls at basement level, ground, second and third floors, although it was later amended to retain more of the internal fabric.
- 4.19 The two linked applications were approved, although the consultation responses are not available online. This demonstrates that the LPA consider changes to the building and its fabric in relation to improving the existing office accommodation for modern standards.
- 4.20 Other applications of relevance include an application in 1977 for the continued use of the rear as car parking. Whilst the application is, in itself, of little relevance, the accompanying plan shows two additional buildings within the rear garden area (**Appendix EDP 3**). These two structures were constructed as part of a 1959 application for the erection of a garage and store (TP82981/9226).

- 4.21 An application from 1967 (app Number 3261) was for the conversion of No. 87 and adjacent No. 89 into ground/first floor offices and second/third floor residential accommodation. Of interest is that it indicates Number 87 had the upper two floors converted from office to residential, with the party wall being knocked through to create access from one property to the other. This was conditionally granted but does not seem to have been carried out. Plans accompanying the application are of limited use as they are proposed not existing and it does not appear to have been implemented.
- 4.22 A drainage application from 1982 shows the internal layout at this time. Although it is of poor quality with some details unclear, a tracing is included in **Plan EDP 2**. This shows that the internal layout was much as existing, although the two smaller rooms on the second and third floors have since been enlarged. It is assumed that this application saw the introduction of the toilets onto the second and third floors, although it is unclear whether these were inserted into existing spaces or the spaces were created for them.
- 4.23 The remainder of the terrace has undergone numerous applications, the most relevant being in relation to Numbers 93-97, which were conjoined into student accommodation in an application submitted in 1971 (HB282). A further application in 2004 (2004/0394/L) for alterations was accompanied by an historic building survey, which gives some idea as to the features of the terrace that might have been apparent in No. 87.
- 4.24 No. 89 was subject to an application in 1990 (9000150) for change of use from student hostel to office use, including internal alterations, although no drawings are available on the planning pages. An application from 1973 (HB607/R) for an improved fire escape contains plans of the building, which give some clues on the likely original layout of No. 87. Likewise, plans contained within an application for conversion from offices to residential at No. 91 in 1996 (L9601286) shed further clues on the former layout.

Summary

- 4.25 From the historic background and planning history of the site, it is clear that the building has undergone several changes that could potentially have impacted upon its “*special interest*”. It was clearly built in the late 18th century as a three-storey residential dwelling as part of a terrace of six. The building originated with a short rear projection, which was added to at some point in the mid-19th century. A third, small, southern extension was added in the later 19th century to form a southern porch.
- 4.26 In the 1950s, two detached structures were constructed in the rear yard comprising a garage and store constructed of concrete post and panel walls and asbestos roofing. It is not clear when these were demolished, but they are not apparent on the 1982 drainage application.
- 4.27 By the 1960s, the property was indicated to be in use as offices. It is probable that changes were undertaken to the internal layout at this time, although it is not known at which date this became the case, or when the building came into office use.

Description

Plan Form and Exterior

- 4.28 The exterior of the building remains much as it did when the listing citation was drafted and as described in the 1949 Survey of London.
- 4.29 The building is a town house built in c.1789, in dark stock brick laid in Flemish bond with a slate mansard roof. The building comprises five floors – a basement, three main floors and attic rooms in the mansard roof.
- 4.30 The main street frontage façade is to the east, set back slightly behind the pavement and a lightwell (**Image EDP 1**). The frontage is of three sections, with two large paned sash windows and the entrance door forming the third bay to the right. The entrance is beneath a semi-circular brick arch within a moulded door frame with side pilasters and segmental fanlight (**Image EDP 2**). The first and second floors each have three sash windows and a stone string-course runs at first-floor sill level. The window openings throughout have rubbed brick splayed flat top arches with projecting stone cills. Those cills on the ground and first floors are supported on stone corbels and have a single iron rail.
- 4.31 The basement frontage within the lightwell is rendered and painted white with cambered head window openings (**Image EDP 3**). The windows have iron grilles, which appear to be original.
- 4.32 The southern elevation is plain brick, although the painted stone string course continues from the frontage (**Image EDP 4**). This elevation also has a secondary entrance porch added on the southern side (**Image EDP 5**).
- 4.33 The rear elevation has only single windows on each floor with narrower windows on the half landings (**Image EDP 6**). The main windows are four pane sashes with side lights set within segmented arch headed openings with simple stone cills. There are two dormer windows in the southern elevation, one with a simple two over two sash, and the other a central casement with single glazed fixed lights on either side. The dormer itself has a central pediment.
- 4.34 There is a single storey rear extension, again built in brick Flemish bond with cambered arches over the windows. This section appears to have been built in three phases, as evident by a subtle change in the brickwork and rendered section in the rear lightwell roughly in line with a plastic downpipe (**Image EDP 7**). This is supported by the historic mapping whereby a shallower projection was added at least in the mid-19th century. There is the absence of a full height closet extension to the rear of the building, as is present at the others within the listed terrace.

Interior

Ground Floor

- 4.35 The building is entered through the right-hand section in the entrance hallway (G.1) This is a long narrow entrance hall that runs the full length of the property to the rear door of the extension (**Image EDP 8**). It is currently subdivided by a modern plate glass door, which sits below a semi-circular arch (**Image EDP 9**). This arch has no console brackets, as apparent in photographs taken for building recording on Number 97 (A&B 2003), indicating that they may have been removed. The floor has mosaic tiles with central circular motif. There is a dado rail running at waist height with high level decorative corning. This corning is similar in style to that recorded at Number 97 and is original, albeit in poor condition due to the extent of painting.
- 4.36 The corning continues in the rear half of the hallway, following the outer curve of the adjacent front room and ending at the foot of the stairs (**Image EDP 10**).
- 4.37 Room G.2 is located at the front of the house and accessed off the entrance hall through a modern fire door set within moulded doorcase. This large room, most likely originally the morning room, has a curved rear (western) wall with a built in cupboard where it meets the outer wall to the south (**Image EDP 11**). There is a moulded dado rail at waist height and a simple high-level cornice with plain frieze. The windows are set within recesses with panelled lower section and internal shutters, painted shut (**Image EDP 12**). A fireplace is located centrally on the outer wall with a fire surround in late 18th century style with fluted jambs and bulls-eye decoration at the corners (**Image EDP 13**). It has a marble inlay and a cast iron grate with blue transfer print tile surround of later 19th century style.
- 4.38 Room G.3 is located to the rear of the house, again opening off the entrance passage (G.1) through a modern fire door set within a moulded doorcase. A second door provides access into Room G.2. This is plainer in decoration, with no dado and only a plain high-level cornice. The single rear window is recessed, with lower panel and shutter that has been painted shut. The fireplace is centrally located on the outer wall and has a marble surround and deep mantle set on curved console brackets (**Image EDP 14**). It has a cast iron grate. The whole chimney piece is mid-Victorian in style.
- 4.39 A curious feature of this room is a second door to the right of the fireplace that leads into the south porch (**Image EDP 14**). This could not be accessed due to a security shutter, although an earlier report (2018) shows this to be internally faced with glazed brickwork of brown and duck egg colours. This appears to be a later 19th century addition and provides a secondary external entrance to the rear of the building. It is possible that this indicates the building was historically in multiple uses requiring two separate entrances.
- 4.40 The rear projection (G.4) contains a modern kitchen and toilets accessed from a narrow corridor (**Image EDP 15**). The kitchen subdivision wall is clearly a later insertion, as it disrupts the ceiling, which is flat with beaded soffit. In the corner of the kitchen is a fireplace set diagonally. This has a decorated chimney piece with engraved panels of Japanese style set below the mantelpiece (**Image EDP 16**). It is likely to be of later 19th or early-20th century date.

- 4.41 To the rear of the extension are two toilet areas; the one at the end of the building appears to have been a later addition.

Basement

- 4.42 The basement is accessed off the inner entrance hall via two modern doors which have been inserted to create a small lobby area at the head of the stairs. It would appear that the balustrade was originally open, and only latterly filled in (**Image EDP 17**). The staircase down to the basement lobby itself is cantilevered stone with iron handrail and balustrades. There are two understair cupboards with simple timber doors (**Image EDP 18**).
- 4.43 The front basement room is divided into two sections (B2 and B3) by a modern partition wall. The smaller of the two (B2) contains an external door opening into the front lightwell. The lightwell could not be observed as access was boarded with security shuttering. The room has a range of 20th century cupboards attached to the internal partition wall.
- 4.44 The second space (B3) is larger. It has two recessed window openings onto the lightwell, with moulded wooden architraves but no shuttering or panelling (**Image EDP 19**). A blank chimney breast is located centrally on the external wall. Adjacent to this is a doorway leading to a vaulted storage area (B4), which essentially is an 'infill' at basement level between the building and Torrington Place to the south (**Image EDP 20**). It is not clear whether this was originally open as a lightwell on the southern side of the building.
- 4.45 The third room (B5), which opens off the basement lobby, is located to the rear of the building (**Image EDP 21**). This room is a simple space with a single window and blank chimneybreast placed centrally on the external wall. As with room B3, there is a door to the right of the chimney opening onto a vaulted storage space.
- 4.46 To the rear is a small lobby with a toilet (B7) and boiler room (B8) opening off this. The toilet is a small modern suite with a brick arched ceiling. The boiler room is also situated in a brick arched room with concrete floor and plinth (**Image EDP 22**) – presumably for former boiler equipment. A blocked arch opening represents a former doorway into the rear lightwell to the left. The current door opens out onto the rear lightwell from the rear lobby area, although this has been covered by steel security sheeting.
- 4.47 The rear lightwell is accessed through this door and also by a set of small narrow stairs from the rear garden. It contains a former outside toilet (not accessible) and an open brick arch beneath the paved garden area.
- 4.48 The front lightwell area was not accessible at the time of the visit, although it is known that two under pavement vaults are positioned to the east with a smaller one to the south.

First Floor

- 4.49 The stairs from the ground floor to the first are a simple dog-leg with half landing. The stairs are open string with two balusters to a tread. The balusters themselves are plain stick variety surmounted by a mahogany handrail that ends in a simple spiral on a curtail step (**Image EDP 23**). The stairs are typical of the late 18th or early-19th century style.

- 4.50 The half landing has a large paned sash window fitted into a full height recess with moulded architrave (**Image EDP 24**). Panelling is present on the lower half of the recess, although a plain panel below the window would suggest a larger window was once present here. It is notable that externally the blank panel is in the location of the rear extension, whereby its roofline appears to have truncated the window, providing further evidence of its later addition. It is possible that this was originally intended to form a doorway opening into a full height closet extension, similar to others within the terrace.
- 4.51 The first floor landing has a decorated cornice, although the detail is marred by excessive painting (**Image EDP 25**).
- 4.52 There are two rooms opening off the first floor landing. A single room (1.1) occupies the entire frontage of the house, representing the most elaborately decorated and principal room (**Image EDP 26**). The three windows are set within recesses that have shutters (painted shut) and lower panelling. The chimney breast has a decorative marble surround with deep mantel and carved console brackets. This and the grate are of mid-late Victorian style. There is a high level picture rail running around the walls. There is a cornice running around the top of the walls and the ceiling has a three-level frieze with fan quadrants at the corners (**Image EDP 27**). There is a central ceiling rose. This decoration appears original, although some of the detail has been lost by subsequent painting. This room most likely represents the former dining room.
- 4.53 The second room (1.2) is accessed from the landing and from the dining room through a double door opening. These doors are panelled doors of plank construction with three fielded panels and are possibly of later 18th/early-19th century date (**Image EDP 28**). This room also has a picture rail, cornicing and a single moulded frieze on the ceiling, although it has no ceiling rose. The fireplace is placed centrally against the southern wall and has a carved marble surround with decorative marble inlay and iron grate (**Image EDP 29**). Whilst the grate is of Victorian style, the surround is suggestive of a Regency date. This room is most likely to have been the drawing room.

Second Floor

- 4.54 The stairs rise again through a dog-leg, continuing the balustrade and handrail pattern as that to the first floor. On the half landing is a circular headed window set within a full height recess with panelling to the lower portion and reveals.
- 4.55 The second floor landing has no decorative features such as cornicing, although it is evident that the ceiling has been dropped with only the springing points of an arch or corbelling just visible below the ceiling (**Image EDP 30**). A toilet (2.1) has been inserted onto the landing, which was most likely added for the 1982 drainage application, although the previous report suggests it is unclear if the subdivision already existed at this time and the toilet was in fact inserted into an earlier space. However, in comparison with the plans from the other houses in the terrace, it seems unlikely that this represents an original space. This is due to the main central north-south spine wall extending across the property in each of the other houses in the terrace, suggesting that this section has been removed in Number 87 for the creation of the toilet space.

- 4.56 Otherwise, the second floor is subdivided into three rooms, with two at the front and one to the rear.
- 4.57 The larger of the two front rooms (2.2) is lit by two windows set within a recess with lower panelling and painted shutters (**Image EDP 31**). The rear portion of the ceiling has been dropped, matching that in the landing. This covers, or has removed, an ovolo moulded cornice, which only runs on the front and southern walls.
- 4.58 The fireplace is placed centrally and has a marble surround with carved panels on the jambs and lintel with squared panels on the corners (**Image EDP 32**). The insert has a Japanese inspired blue tile pattern and 19th century grille. The surround matches that in the drawing room (1.2) and is of Regency style, whilst the insert is likely to be late Victorian.
- 4.59 The partition wall between rooms 2.2 and 2.3 has no cornice, whilst a short section of cornice runs into the adjacent room, indicating the former proportions of the rooms (**Image EDP 33**) (and matches that indicated on the 1982 drainage application). Otherwise room 2.3 has no cornice. The window is again set within a full height recess with lower panelling and painted shutters.
- 4.60 Whilst it is clear that room 2.3 has been enlarged in recent years, it is unclear whether the partition it replaced (and reflected on the drainage application) is original or whether that in itself was a subdivision of a single large room. The evidence from the other houses in the terrace would suggest that there were indeed two rooms in these locations, albeit smaller than that currently depicted due to the enlargement clearly indicated in the architectural features.
- 4.61 The rear room (2.4) is accessed from both the front room (2.2) and the landing. In common with the front room, there is an area of dropped ceiling to the eastern part of the room that has cut off the remaining cornicing along the eastern wall (**Image EDP 34**). A simple ovolo moulded cornice runs along the remaining walls. It has a large paned sash window with sidelights set into a wide full height recess with panelling on the lower part and painted shutters. The fireplace is located centrally in the southern wall and has a single timber surround of Regency style with a later 19th/20th century grate. To the left of the fireplace is a set of inbuilt cupboards with plain panelled doors of probable later 19th/20th century date (**Image EDP 34**). A set of modern cupboards is located to the right of the chimney breast.

Third Floor

- 4.62 The stairs rise from the second to third floors through a dog-leg again, although it has a simpler closed string stair, plain baluster sticks and simple painted handrail (**Image EDP 35**). On the half landing is a dormer window above and a modern inbuilt cupboard.
- 4.63 The third floor landing has no decorative features such as cornicing. Four rooms open off this comprising a toilet and three offices. Access to the roof is also provided by a narrow wooden winder stair. Again, the evidence would suggest that the toilet is a later 20th century insertion.

- 4.64 The larger of the two front rooms (3.2) has no cornice or other decorative features and a single dormer window. There is broad banding of differing plain plasterwork on the walling below the dormer window, which extends the full width of the wall (**Image EDP 36**). Placed centrally in the southern wall is a fireplace with a simple timber surround and a fire grate of Regency style (**Image EDP 37**).
- 4.65 The second front room similarly has a single dormer window and later in-built cupboard. The broad plaster banding extends from the adjacent room and the ceiling has a corresponding ridge, indicating the line of a former wall that matches that on the 1982 drainage application. As with the second floor arrangement, it is unclear whether the partition it replaced (and reflected on the drainage application) is original or whether that in itself was a subdivision of a single large room.
- 4.66 The rear room (3.4) has a large dormer window with a central opening casement. The fire surround and grate are similar in style to that provided for the front room (**Images EDP 38 and 39**). Otherwise there are no other features of interest.
- 4.67 The attic room is accessed from a narrow wooden winder stair from the third floor landing. This was not inspected as there are no proposed works here. A report from the previous application demonstrates that this area contains benches and possible sleeping platform along with the remains of the top of a wooden shaft tentatively identified as the remains of a dumbwaiter of later 19th and 20th century date, with the toilet inserted into the shaft on the second and third floors (HBAS 2018).
- 4.68 This is improbable, as it is unlikely that a dumbwaiter would only be used to access the second/third floors and the attics, representing the bedrooms and servant's quarters and not extending down to the basement kitchen. As already demonstrated, the toilet cubicles on the second and third floors are later 20th century insertions, rather than toilets inserted into existing cupboards. There is no disruption in the corncicing on the first and ground floors where the shaft would extend down into these areas. There is no evidence to suggest it extended into the basement, ground or first floors (as would be expected). If this is the remains of a dumbwaiter, it only exists in the attic.

Significance

- 4.69 From the above description it is clear that the significance of the building lies within the architectural interest embodied within its fabric, and its historic interest in being associated with the Duke of Bedford's estate and the expansion of planned suburbs in London during the later 18th century. Historic significance may also derive from any past residents who may have lived here, although no national figures are known to have occupied the building.
- 4.70 The architectural interest is chiefly contained within the street frontage façade of the building. This elevation, although relatively plain in comparison with others in the street, does contain the majority of the architectural features and embellishments on the exterior of the building, such as the fanlight, door case, railings and window openings, which also collectively give the building some artistic interest. It also enjoys a unity in the streetscene with the adjacent buildings of the same design. There is nothing remotely unusual in this, given that entire streets were developed as part of the wider changes to the Bedford estate.

- 4.71 In contrast, the rear of the listed building neither possesses nor exhibits any architectural sophistication, and therefore contributes less to its significance. Whilst containing a modicum of value (in being physically part of the listed building), the fabric of the rear, particularly the altered ground and lower ground floors, makes less of a contribution to the significance of the listed building as a whole due to it not representing or illustrating the original arrangement or being of sophisticated architectural design intention.
- 4.72 Again, the architectural and historic interest of the building also extends to its interior. The interest is manifested within the decorative cornicing, particularly in the hallway and on the first floor in the former dining room that also has an interesting ceiling. However, all the decorative plasterwork is suffering from poor decoration. There is also the survival of architraves and shutters in places, although many of the doors are modern fire-doors. Some of the fire surrounds are likely to be original, although the majority of the grates are later 19th century, with the exception of those within the servant's attic rooms, which could be of late 18th century date.
- 4.73 In terms of the layout, it is clear that this has been altered, predominantly through the relocation of partitions, insertion of toilets and alterations to the front rooms. The main north-south partitions are likely to be original, although being plain interior partition fabric, this carries only a small amount of interest. The rear extension also carries less interest as it is apparent this is a 19th century addition.
- 4.74 Elements of the interior of the building clearly contain no heritage interest, these being the 20th century internal partitions, as indicated on **Plan EDP 1**, and the modern firedoors.

Setting

- 4.75 The building is located on the western side of Gower Street, as part of a terrace with a consistent frontage.
- 4.76 The building forms the end terrace, with the architectural interest mainly expressed on the street frontage in combination with the neighbouring properties, which share an architectural unity (**Images EDP 4** and **EDP 40**). In contrast, the southern elevation is plain with no architectural expression.
- 4.77 The rear elevation is plain and utilitarian, overlooking, as it would have, the more functional elements of the rear yards and mews properties (**Image EDP 6**). This is expressed in the whole terrace, with minimal architectural treatment to the rear whereby the rear yards are varied, including that at Number 91 occupied by modern buildings (**Image EDP 41**). Historically, as described above, the rear yard of Number 87 also contained buildings.
- 4.78 The clear inference from the architecture and the uses of space is that the experience of the building from its Gower Street frontage was the principal investiture of the architecture; with the ability to be seen from the street frontage, thereby conveying the greater part to its significance in terms of its setting.
- 4.79 In contrast, there is clearly little design intention to the rear, with the relationship to its setting being merely an historical one in being the functionally related areas.

- 4.80 In the wider area, a modern mews property has been added to the rear (**Image EDP 42**), perhaps as a reflection of a more historical arrangement, although the historic mapping is ambiguous on this point. On the eastern side of Gower Street is the large mid-20th UCL building, replacing the former 'mirroring' terrace. Residential terraces continue to the south of Number 87, on the opposite side of Torrington Place (**Image EDP 43**). These are clearly of a domestic nature albeit with slightly more architectural detailing on their street frontage façade, but also reflecting a similar lack of treatment to their rear elevations and yards to that to the north of Number 87.
- 4.81 Beyond, to the west in Chenies Mews, larger Edwardian apartment blocks represent another phase of development within the area, whilst to the north-west are modern University buildings (**Image EDP 44**). This demonstrates the variety of buildings within its wider setting and establishes a wide range of scales, materials and styles within its setting.
- 4.82 Clearly, those aspects of its setting that make the greatest contribution to its significance relate to its street frontage façade. Here is the greatest architectural investment, serving to create a unity with the properties to the north and south. Those areas to the rear, restricted to the rear yard, have only an historical relationship with no architectural investiture. It is not the character of the space within the open yard that makes the most contribution in this area, which can be varied as at Number 91 (part of the same listing) and as seen more widely, but the fact that it was, and still is, functionally related to Number 87. As such, the yard area makes only a limited contribution.

Bloomsbury Conservation Area

- 4.83 The site is located wholly within the Bloomsbury Conservation Area, although it should be recognised that this does not infer that all (or indeed any) elements of the site will necessarily contribute to the special architectural or historic interest of the Conservation Area taken as a whole, or the character and appearance of the designated area that is desirable to either preserve or enhance.
- 4.84 Similarly, it is worth noting from the outset that conservation area designation does not preclude development, but instead is designed to control demolition and ensure new development responds appropriately to the general character and appearance of the area.
- 4.85 The Conservation Area was first designated in 1968, at first focused on protecting elements of Georgian and earlier developments, but latterly extended to recognise later architecture. The Bloomsbury Conservation Area Appraisal and Management Strategy (CAA) was adopted in April 2011.
- 4.86 The Conservation Area is an extensive asset that covers areas of differing character. Overall, the CAA notes that the area is "*noted for its formally lined arrangement of streets and the contrasting leafy squares.*" There is a variety of scale for the built form across the area, reflecting its growth as a planned residential suburb and, latterly, home to a number of large institutions including hospitals, universities and the British Museum. Perhaps paradoxically, having recognised that fact, the CAA notes that the predominant form across

the area is reflected in townhouses, arranged in terraces, reflecting the speculative residential development of the 17th-19th centuries.

4.87 Overall, the character is described in the CAA as:

“The area’s hierarchy of main arterial routes, grids of streets, rear mews spaces and narrow lanes creates a noticeable transition in the sense of enclosure moving around the Conservation Area. This dynamic spatial character emphasises the difference in the scale of the component streets and spaces, making each component element and the difference between them notable.”

4.88 In terms of views in general, the CAA notes that, although the area was planned, its “was not planned to create distinctive formal vistas to architectural set pieces.” Instead, it describes views as being characterised by the “experience of moving between streets, squares and other spaces.” In this instance, it goes on to note “Also of important in appreciating the character of the area are the views of the plainer backs of terraces where these remain intact, creating an interesting contrast with polite and formal frontages.”

4.89 The Conservation Area is divided into 14 sub areas, with the site being located in sub-area 5 – Bedford Square/Gower Street.

4.90 The CAA identifies this sub-area as a “virtually intact and exemplary piece of late 18th century town planning consisting of terraced housing built speculatively by a number of different builders to a plan produced by the Bedford Estate.” It notes that the terraces in Bedford Square (380m to the south-east of the site) are the most ornate, with those in Gower Street being “plainer in architectural detail.”

4.91 Of Gower Street the CAA states that there is a “significant stretch of grade II listed terraced houses, between Bedford Square and UCL Medical School.” This includes the site itself, whereby it forms the first building within the terrace built to the north of Torrington Place (**Image EDP 4**). As suggested in the CAA, the terraces to the north of Torrington Place are less elaborate in their architectural treatment than those to the south, indicating their decreasing status the further north along the street, away from the elaborate Bedford Square.

4.92 It notes the repeated key characteristics of:

“Yellow stock brick fronts, fenestration pattern, window detailing the frontage railings, stucco banding and parapets, chimney stacks and pots’, and ‘the shared height of the three storey blocks with mansard roofs (with the exceptions of Nos 25, 39, 91 and 103 which are of four storeys). The most notable variation is the treatment of doorways.”

4.93 The discussion of the frontages clearly demonstrates the positive contribution that they make to the character and appearance of the Conservation Area, whereas the rears are barely mentioned, and even then only to highlight the plainness of their architecture compared to the frontages, e.g. in relation to views as already discussed above.

- 4.94 It is now the case, as recognised in the CAA, that many of these former residential premises have been converted for alternative uses, including university halls of residences, educational uses, hotels and offices. The same is true for the terrace of 87-97 Gower Street, whereby the former use of the site was as a university building and latterly private offices, with the remainder of the terrace being utilised for University purposes. Yet despite this, they have retained their outwardly residential character, demonstrating the narrow frontages and uniformity of design characteristics for the terraced buildings.
- 4.95 On the eastern side of Gower Street, the CAA describes the “*institutional buildings associated with the expansion of the university.*” These are of a typical larger scale to the residential terraces and differing materials, being clearly institutional in nature, including UCL’s Darwin Building, which is positioned opposite the site.
- 4.96 The rear of Gower Street is characterised by ‘mews’ style properties of smaller two-three storey scale. Those within Chenies Mews, to the rear of the site, are modern (**Image EDP 44**) and it is unclear from the historic mapping if there were originally mews properties associated with the site. On the western side of the ‘mews’ streets are larger-scale Edwardian mansion blocks, built in red brick with painted detailing.
- 4.97 It should be noted that there is no discussion of the contribution made by the rear elevations of the buildings in relation to this sub-area, other than the ‘general’ comments on the character of the whole Conservation Area and the contrast between the elaborate frontages and plainer rear elevations. Indeed, there is understandably much emphasis on the street frontages and their architectural treatment across the Conservation Area, and rear spaces of properties are rarely mentioned other than in some places where they contribute to the street scene, i.e. are outwardly experienced from public areas. It is noted that the rear elevation of the Gower Street terrace, let alone the spaces within the yard areas, is not mentioned.
- 4.98 In this sense, the character and appearance of the Conservation Area of relevance to the site can be summarised as:
- Planned grid pattern of streets;
 - Three-four storey terraced houses;
 - Diminishing scale of ‘mews’ properties;
 - Stock brick materials;
 - Views of the plainer backs of terraces; and
 - More sophisticated architectural treatment of street frontages set against the plainer rear elevations.
- 4.99 In relation to the site it is clear that the modest architectural treatment is reserved for the street frontage elevation. It is this façade, along with its relationship to the townhouses on

the western side of Gower Street in general that makes the greatest positive contribution to the Conservation Area.

- 4.100 The southern side elevation to Torrington Place, despite being clearly visible from the street due to its position on the end of the terrace, has no treatment other than the continuation of the string course from the Gower Street frontage. The rear elevation is visible above a high brick boundary wall, along with the rear elevations of the adjacent properties. The ability to appreciate the built form of the upper floors of the rear of the terrace from the street level does make a small contribution to the character of the area. However, it is clear through the architectural treatment of the building that the ability to see these elevations was of little consequence to its design and, as such, makes less contribution. Moreover, the experience of this is only applicable for the first floor and above, with the high brick wall creating a sense of enclosure and exclusion at ground floor level.
- 4.101 Being an end terrace, the space to the rear of the property does allow for the appreciation of the hierarchy of buildings within the area from the street, with the characteristic street front terrace and more diminutive rear 'mews' property to the rear being readily experienced, despite the mews property being a late 20th century addition.
- 4.102 In this sense, it is clear that the property does make a positive contribution to the character and appearance of the Conservation Area. It does so primarily due to the Gower Street frontage, being part of a larger terrace of townhouses and containing the greatest architectural sophistication. Being an end terrace, the building does also make some limited contribution through its rear elevation and the ability to appreciate the building hierarchy within the area. This effect is restricted to the first floor and above due to the presence of the high brick walling on Torrington Place (**Image EDP 42**).
- 4.103 In this respect, the rear yard space makes a neutral contribution in that it cannot readily be experienced and was nothing more than utilitarian in its use and appearance. Indeed, it is apparent from the planning history above that this area was previously occupied by buildings, demonstrating the lesser importance of the rear spaces.

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Section 5 Impact Assessment

- 5.1 This section of the report summarises the nature of the development proposed and then assesses its likely impact on those historic assets described in **Section 4**.

Summary of the Development Proposals

- 5.2 Broadly, the proposals comprise the refurbishment of the existing office space, demolition of the rear extension and the provision of a new extension within the rear yard area at ground floor level. The pertinent areas of potential impacts are explored further below

Alterations to the Fabric

- 5.3 As far as alterations to the existing fabric are concerned, the proposals relate primarily to the removal of the existing rear extension and the removal of internal partitions to create larger, more useable office spaces. The latter comprise:
1. Removal of basement partition walls between B1, B2, B5 and B3;
 2. Part removal of partition walls between G.2 and G.3;
 3. Part removal of first floor partition wall between 1.1 and 1.2;
 4. Removal partition wall between 2.2 and 2.4; and
 5. Removal of third floor partition between 3.2 and 3.4;
 6. Dropping of basement rear window in B.5; and
 7. Removal of part of the vault in the basement room B.8.
- 5.4 Additionally, it is proposed to keep and make good the existing corncing throughout the building and ceiling plasterwork on the first floor, which are in a poor state of preservation.
- 5.5 The attic space is to be used as a breakout space, although no details of this are available at this time it is envisaged that minimal changes would need to be undertaken here.
- 5.6 Some other aspects have already been approved under the existing consent, including the provision of plant equipment within one of the under-pavement vaults. The existing extent also establishes that the alteration to the building to provide modern office accommodation is acceptable.

External Alterations

- 5.7 The proposals for Number 87 envisage no alterations to either the principal eastern elevation or the southern elevation. To the rear there will be the replacement of the rear extension with a larger one in plan, otherwise there is no proposed change to this elevation on the first floor and above.
- 5.8 At the same time, the proposals do not envisage any alterations to the fenestration of the elevations, which would change the building's external appearance. This is with the exception of the dropping of the cill of the rear window in Room B.5 to provide a doorway access to the new space within the rear lightwell.

New Build Extension

- 5.9 The new build extension involves the refurbishment of the spaces within the basement, the addition of steps from the current vault and removal of part of the walling to provide access to the new ground floor extension to the rear. This involves demolition of the current rear extension, although the later corner fireplace would remain.
- 5.10 Key design features of the new extension include:
1. Extension massing designed only so as not to protrude above the rear yard street walling. This matches current massing within Gower Street, including at No. 91;
 2. Retention of the lightwell to provide for natural space at basement level;
 3. Use of matching brick materials; and
 4. Opening of former doorway from the existing boiler room vault into the lightwell.
- 5.11 These design features have taken into account the site context, and utilised appropriate materials. The massing in particular has been designed so as not to be visible from the streetscape on either Gower Street or Torrington Place.

Impact Assessment

New Build Extension

- 5.12 The proposed extension is located within the rear yard and envisages the removal of the rear extension, although the later 19th/20th century corner fireplace – the only feature of interest in this area – will remain.
- 5.13 This section of the building has been extended and altered, thereby not reflecting the original late 18th century arrangement. The bulk of the extension is considered to be mid-19th century, with a later 19th century addition at the rear. The interior, with the exception of the fireplace identified above, is modern and has no heritage interest.

- 5.14 Overall, it is considered that although it is listed, the rear extension makes only a little contribution to the significance of the building as a whole, especially in the context of the wider terrace. This is due to its later date, piecemeal expansion and lack of elaborate architectural features either externally or internally.
- 5.15 In this regard, the loss of this section of the building, including the small section of rear vault and dropping of the rear window in B.5, would represent only a very limited impact on the asset's overall significance.
- 5.16 Likewise, due to the high walling of the rear yard and the enclosing effect of the surrounding buildings, it is considered that the demolition of the rear extension would not be perceived from the wider Conservation Area and cause no change in its character or appearance in that regard.
- 5.17 In terms of the new design, measures have been taken to ensure that the proposals have a minimal impact on the Conservation Area and the setting of the listed building.
- 5.18 In terms of the latter, **Section 4** (above) identifies that the contribution made by the rear yard area to the significance of the building relates primarily to its historic relationship as a utilitarian space, rather than the 'openness' of the yard itself. Indeed, the differing uses within the yard are evident through historical mapping, through the various 19th century extensions and 20th century buildings placed here, which demonstrates the evolving nature of the utilisation of this space means it makes a very low contribution.
- 5.19 As such, the introduction of built form within the yard is, in itself, considered to be minimally harmful. In this sense, the historic relationship will remain unaltered and the proposals can be seen as part of the ongoing historical utilisation of the rear space for different functions. The use of matching brick materials is considered to be consistent with that of the host building. The retention of the lightwell also maintains a feature of the original layout within the new design.
- 5.20 The restriction of the massing, so as not to be visible above the parapet wall, also ensures that the experience of the rear elevation of Number 87 is maintained, causing no harm in that regard.
- 5.21 The latter point can also be extended to the Conservation Area, whereby one of the characteristics is the experience of the 'plain' rear of the terrace in stark contrast to the frontage. This element of its character will be preserved whereby other aspects will clearly not be altered, including the 'planned' grid pattern of streets; three-four storey terraced houses, diminishing scale of 'mews' properties; stock brick materials; views of the plainer backs of terraces; and more sophisticated architectural treatment of street frontages set against the plainer rear elevations.
- 5.22 Indeed, the utilisation of rear spaces of buildings such as this is far from uncharacteristic in the Conservation Area due to the evolution from a predominantly residential area into an institutional area, and the changing nature that brings.

- 5.23 As such, due to the lack of appreciation of the new extension from the public areas of the Conservation Area, and the fact that the such uses of rear yard areas is not uncharacteristic, it is considered that the proposals preserve its character and appearance.

Internal Alterations

- 5.24 In terms of the loss of internal partitions, it is clear that some are of later 20th century creation and carry no heritage interest. Those lost comprise the partitions between B2/B3 and 3.3/2.2. It is considered that their loss will cause no harm to the significance of the listed building.
- 5.25 Original partitions to be lost comprise those between B3/B5/B1, G.2/G.3, 1.1/1.2, 2.2/2.4 and 3.2/3.4, as well as a section of vault walling in B.8.
- 5.26 In these cases, impacts have designed to be minimised, with features such as the stubs of the walls will be retained, and temporary screens and planters utilised, as a reminder of the former layout of the building whilst also providing for more open and flexible office space. Furthermore, the cornices will be retained where possible, in particular those most significant elements in relation to that between 1.1/1.2 and hallway G.1. The plasterwork and cornicing will be repaired and made good. In this sense, the most sensitive features of the building will be retained and indeed enhanced. The removal of the partition between 1.1 and 1.2 will result in the loss of potential 19th century doors in the double door opening and the removal of a door architrave between G.2 and G.3.
- 5.27 In this respect, other than the doors, which do not meet modern standards, the losses relate solely to plain fabric and involve no architectural features of significance. The retention of stubs and use of features such as temporary screens will echo the former layout of the building. The impact is greatest on the ground and first floors, whereas the lower status rooms on the second floor and the servant's rooms on the third floor are considered of to be of less value.
- 5.28 The loss of the partitions will result in an impact, but due to being plain internal partition walling, this is considered to be limited and the remnant stubs of the walling will serve as a reminder of the former layout of the building. Set against this is the direct enhancement to the internal architectural features of the building comprising the cornicing and the ceiling decoration, which can be subject to a repair schedule secured as a condition. Other architectural features of interest, such as fireplaces and fire-surrounds, will be retained.
- 5.29 In relation to the Conservation Area, it is considered that these internal alterations will have no outwards effect and cause no change to the character and appearance of the Conservation Area.

Section 6 Conclusions

- 6.1 In line with paragraph 189 of the NPPF (2019), this report has described the significance of the designated heritage assets affected, including the contribution made by their setting. One listed building has been identified as being affected by the proposed development, this being Numbers 87-97 Gower Street, along with the Bloomsbury Conservation Area. It follows an existing consent granted in 2018, which established that changes to the building are acceptable in the context of the provision of modern office accommodation.
- 6.2 The significance of the building is assessed as deriving from a combination of their architectural, historic and, to a lesser extent, archaeological interest. Paragraph 193 of the NPPF states that “*great weight*” should be given to the “*asset’s conservation...the more important the asset, the greater the weight should be*”, therefore reflecting the “*statutory duty*” described in s66(1) of the 1990 Act. It then is stated in NPPF Paragraph 194 that “*any harm to, or loss of, the significance of a designated asset...should require clear and convincing justification.*”
- 6.3 In this respect, it is considered that the most important aspects of the building’s significance, i.e. its external architectural features and internal features of interest, are being preserved and enhanced, thereby securing the significance of its architectural interest and the future of the building in a use appropriate to its conservation.
- 6.4 Insofar as there would be ‘harm’ caused by the proposals, it is principally in respect of the removal of fabric from the building that is of lesser interest, thus being at the very lowest end of ‘less than substantial’. This comprises plain internal partition walling and the later rear extension. Design features such as stud walls and temporary partitions have been included to serve as a physical representation of the former layout so as to minimise the effect. This is set against the retention and refurbishment of those internal aspects of greatest architectural interest, including the fireplaces and surrounds, cornicing and ceilings where relevant. The refurbishment of the latter provides an enhancement to the building and a schedule of repair can be secured as a suitably worded condition.
- 6.5 Otherwise, the other ‘harmful’ aspect focuses on the minimal harm caused by the loss of the open yard space in terms of alterations to the listed building’s setting. The harm is minimal as historically the rear yard was a functional space and typically utilised for differing functions and uses as time progressed. Indeed, this is evident at Number 87 through the historical extensions and presence of former buildings in the 20th century. The use of space for such structures (as proposed) is a well-established characteristic in relation to similar terraces in the wider area, which saw multiple uses functionally in relation to ancillary uses of the main building.
- 6.6 Case law [e.g. *Regina (Palmer) v Herefordshire Council [2016] EWCA Civ 1061* (04 November 2016)] has established in terms of the planning balance of paragraph 196 of the NPPF, and within Policy D2 of the local plan, that the decision maker can conclude that although proposals may have an impact, mitigation and enhancement measures can

be taken into account to come to an overall effect. In this case, in as much as the proposals represent the lowest end of 'less than substantial harm', the enhancements to the building through the restoration of its internal architectural features of the building should also be recognised. Furthermore, the designs should be seen in the light of creating a more modern and marketable office space in order to secure future tenants of the buildings and thus ensure its ongoing maintenance and upkeep.

- 6.7 In relation to the Conservation Area, it is considered that the proposals are entirely consistent with its wider character and appearance and it is clear that those aspects considered important, as identified within the CAA, will be preserved. In this sense the design has taken into account the character of the host building and the wider area.
- 6.8 Given the very low level of harm identified, it is concluded that there is no reason why the development proposals should not be treated favourably given that they would secure the building's future use and conservation.

Section 7

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'Gower Street', in *Survey of London: Volume 21, the Parish of St Pancras Part 3: Tottenham Court Road and Neighbourhood*, ed. J R Howard Roberts and Walter H Godfrey (London, 1949), pp. 78-84. *British History Online* <http://www.british-history.ac.uk/survey-london/vol21/pt3/pp78-84> [accessed 05 June 2019].

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Images



Image EDP 1: The main elevation of Number 87 viewed from Gower Street, showing the principal architectural features, looking west.



Image EDP 2: Detail of the main entrance of Number 87 showing the fanlight and moulded door frame.



Image EDP 3: View of the front lightwell of Number 87 showing the external treatment of the basement area, looking north. The under-pavement vaults are to the right.



Image EDP 4: View of Number 87 from the south-east, showing the plain southern elevation and relationship with the rest of the terrace.



Image EDP 5: View of the secondary entrance on the southern elevation of Number 87, added towards the later 19th century, looking north-west.



Image EDP 6: View north along corridor G7 into garden room G8 in the background.



Image EDP 7: View of the single storey rear extension, showing possible extensions, looking north.



Image EDP 8: View of the entrance lobby G.1 looking east towards the entrance door. Note the decorative cornice and mosaic floor.



Image EDP 9: View of the arch within the entrance hall G.1, looking west from the entrance.



Image EDP 10: View of entrance hall G1 looking west from the stairs, here showing the nature of the cornice running around the outer wall of G.2.



Image EDP 11: View towards the rear (western) wall of room G.2 looking west. Showing the characteristic curved wall at this end of the room. Note that the door architraves appear original, but the two main doors are modern; only the six-panelled door to the cupboard on the left is of original style.



Image EDP 12: View towards the front (east) of room G.2 showing the window openings and fireplace to right.



Image EDP 13: View of the fireplace in Room G2 looking south and illustrating the late 18th century style surround and 19th century tiling and grate.



Image EDP 14: View of the fireplace in room G.2 looking south, showing its 19th century style surround and grate. The door to the right leads to the later 19th century porch add-on to create a second street level entrance.



Image EDP 15: View of the corridor and modern partition in the rear extension looking west.



Image EDP 16: View looking east within the modern kitchen showing the inserted corner fireplace.



Image EDP 17: View east of the stairs down to the basement, showing the inserted fire door to the right, and the suggestion of infilled balustrade.



Image EDP 18: View looking north of the built-in cupboards under the basement stairs.



Image EDP 19: View looking east in basement room B3, showing the lack of decoration and modern shelving.



Image EDP 20: View looking east and the vaulted storage area (B4) off room B3.



Image EDP 21: View looking south within the plain rear basement room B5, showing plain features and blocked fireplace.



Image EDP 22: View looking west of boiler room B8 showing brick arched vault. The boiler to the left is located within a blocked doorway.



Image EDP 23: View looking north-west toward the stairs from the entrance lobby G.1 to the first floor, showing a style of typical Regency date.



Image EDP 24: View looking west to the half-landing of the stairs, showing the plain panel beneath the window that corresponds with the roofline of the rear extension.



Image EDP 25: View east towards the first floor landing, showing the decorative cornice.



Image EDP 26: Typical view of Room 1.1, looking south, illustrating the 19th century style fireplace, cornicing and ceiling frieze.



Image EDP 27: Detail of the plasterwork on the ceiling of room 1.1 looking north.



Image EDP 28: View looking east in Room 1.2 showing the 18th/19th century double doors and cornicing.



Image EDP 29: View looking south towards the fireplace in Room 1.2 at the rear of property, showing the Regency style surround and 19th century grate.



Image EDP 30: View east to the second floor landing. The ceiling has been dropped and the suggestion of springing points for a potential arch can just be made out. The inserted toilet can be seen to the left.



Image EDP 31: View eastwards in Room 2.2. The left-hand partition is a modern insertion.



Image EDP 32: View of the fireplace in Room 2.2, with its Regency style surround and 19th century inlay and grate.



Image EDP 33: View looking east in Room 2.3 showing the cornicing to the top right continuing from Room 2.2. This demonstrates that the partition wall to right has been moved.



Image EDP 34: View looking south-east in Room 2.4, showing relatively plain timber fireplace surround and 19th century grate. Also showing in-built cupboards to the left. Note the curtailing of the corning due to the dropped ceiling in the area, which also continues into Room 2.2 and the landing.



Image EDP 35: View west to the stairs leading up from the second floor landing to the third floor. Note the plainer style of handrail and balustrade, indicating that this leads to the servant's quarters at the top of the building.



Image EDP 36: View looking east in Room 3.2, showing the broad plaster band that continues partially into neighbouring Room 3.1, indicating that the partition has been moved.



Image EDP 37: The late 18th century style fireplace and grate within Room 3.2 looking south.



Image EDP 38: View west in Room 3.4, showing the large dormer window.



Image EDP 39: View of the late 18th century style fireplace in Room 3.4.



Image EDP 40: View of the eastern side of Gower Street to the north of Number 87, which can be seen as the end terrace above the van, looking south-west. This shows the wider context and how the building appears in conjunction with the characteristic townhouses on this side of Gower Street.



Image EDP 41: View of the rear of 91 Gower Street, looking east, showing the building occupying the rear space of this Grade II listed property that forms part of the same listing as Number 87. Also showing the full height closet extension not apparent on Number 87.



Image EDP 42: View of the rear of 87 Gower Street looking north-east, showing the high boundary wall and the modern 'mews' style property to the rear. This shows the experience of the 'plainer rear elevation' that are generally identified within the CAA. Note the elevation can only be seen from the first floor and above. The larger-scale 20th century UCL buildings on the eastern side of Gower Street can be seen beyond.



Image EDP 43: View of the terraces to the south of 87 Gower Street, looking north west with Number 87 appearing by the traffic lights. These townhouses are slightly more elaborate than 87 Gower Street, although they clearly demonstrate a unity of scale and character.

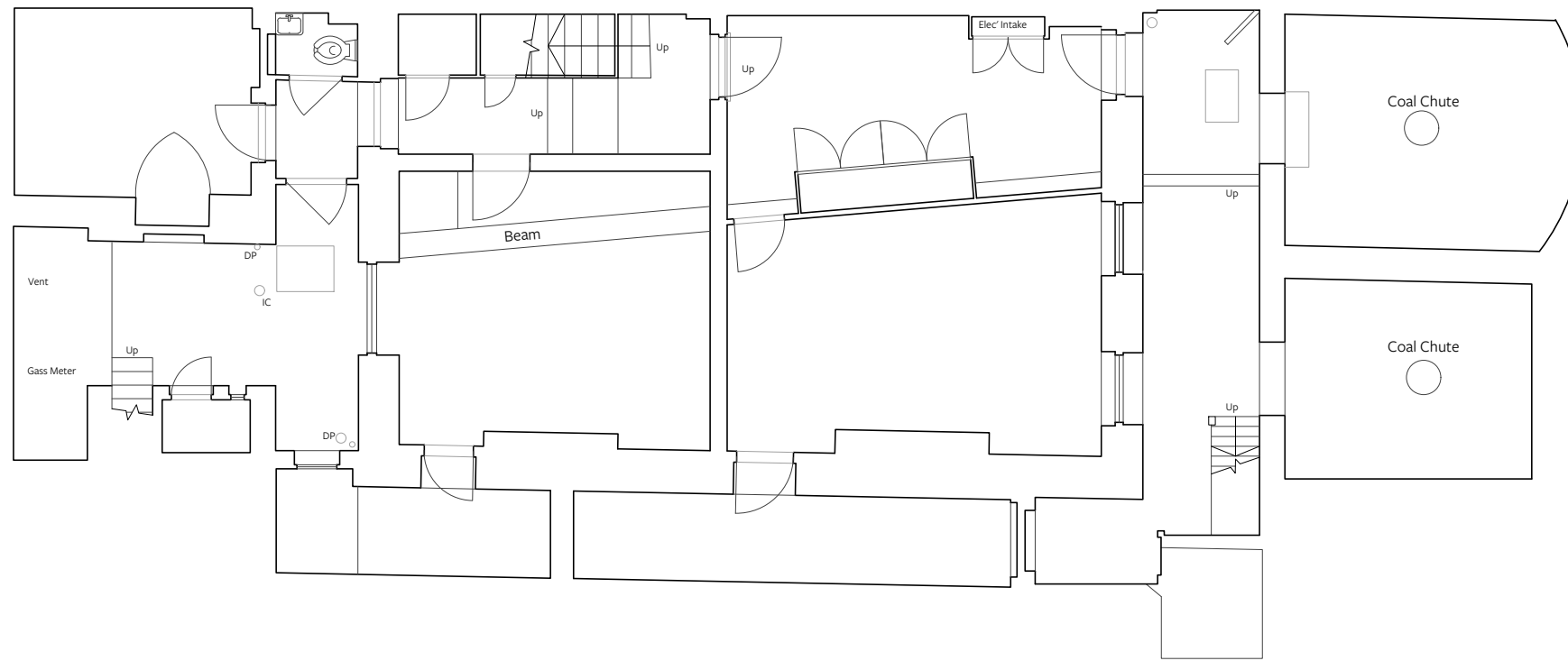


Image EDP 44: View of Chenies Mews to the west of the site looking north, the modern rear 'mews' property is to the right. A large-scale Edwardian block is to the left, whilst more modern University buildings lie beyond. This establishes the wider mixed character of the conservation area and demonstrates the capacity of its setting to accommodate buildings of differing scales, materials and character.

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Appendix EDP 1 Proposals

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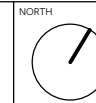
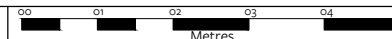
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Existing Basement Floor Plan

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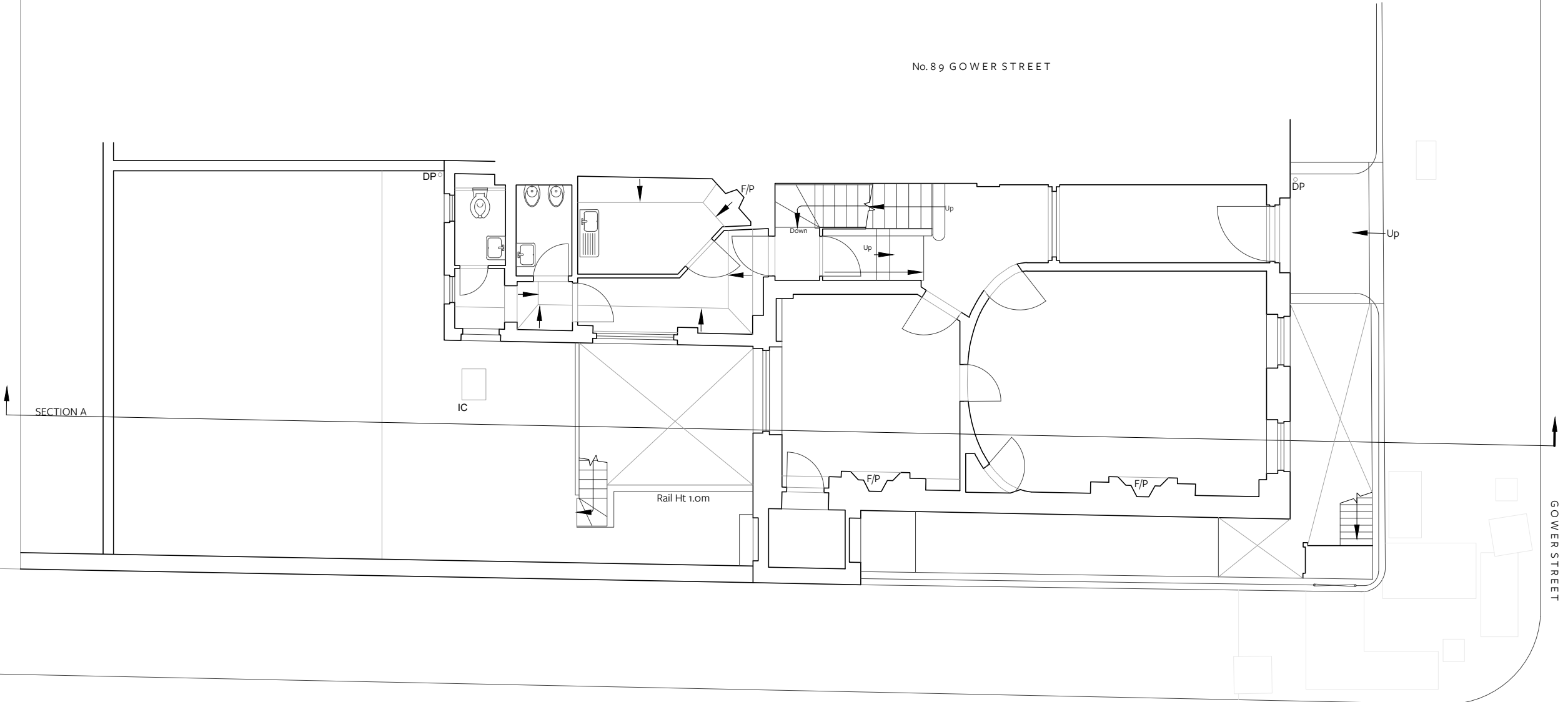
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PLANNING

68-72
CHENIES MEWS

No. 89 GOWER STREET



TORRINGTON PLACE

GOWER STREET



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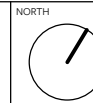
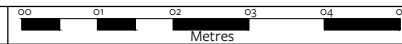
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Existing Ground Floor Plan

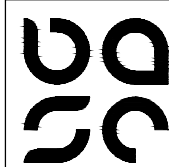
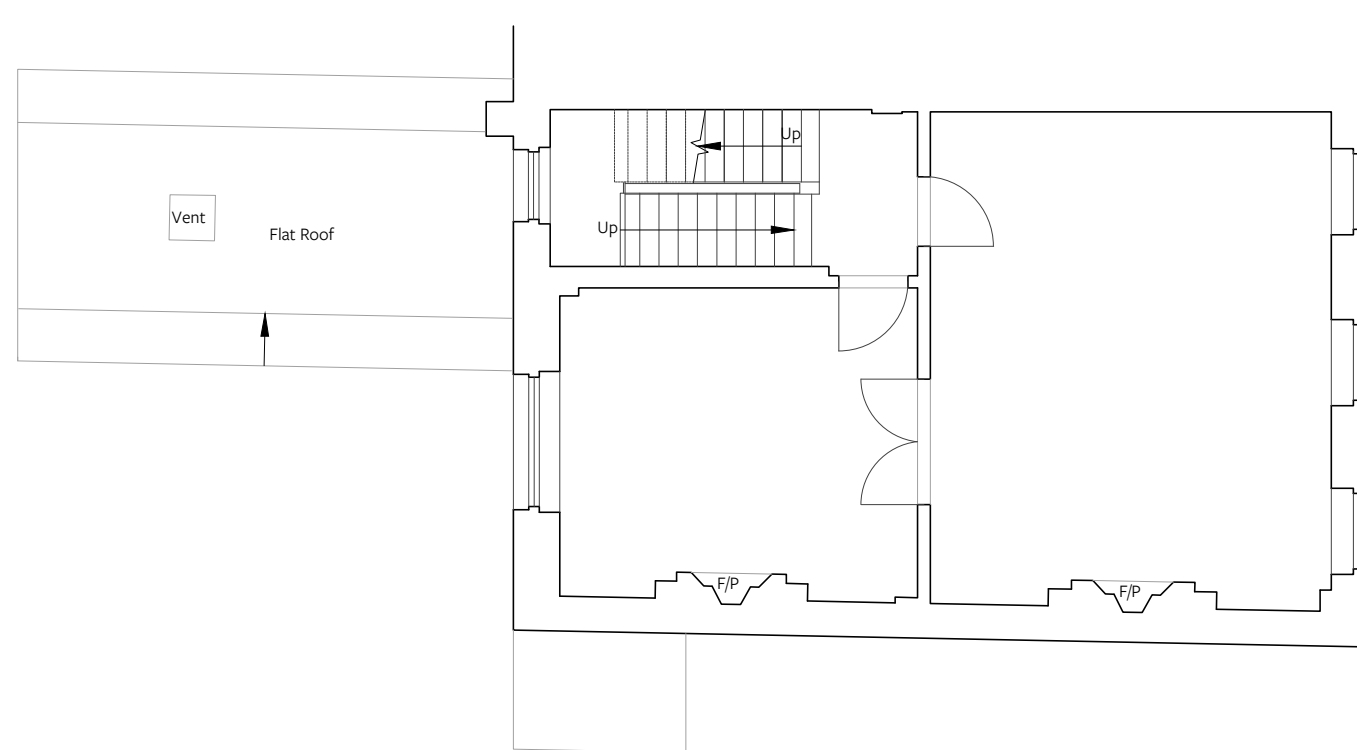
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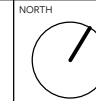
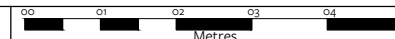
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Existing First Floor Plan

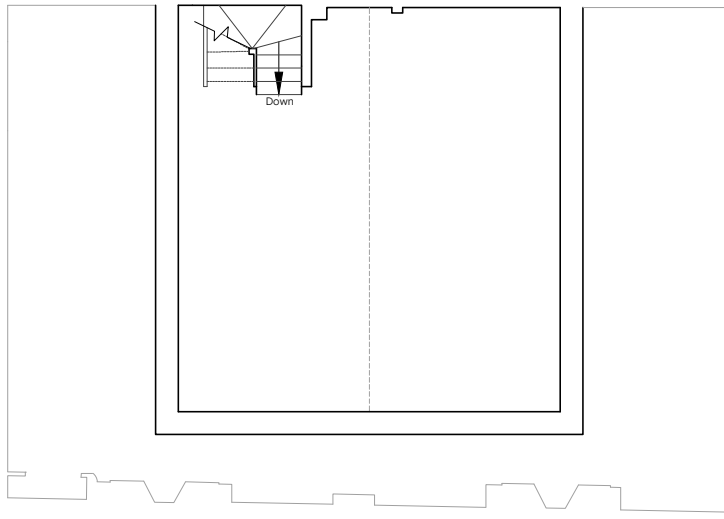
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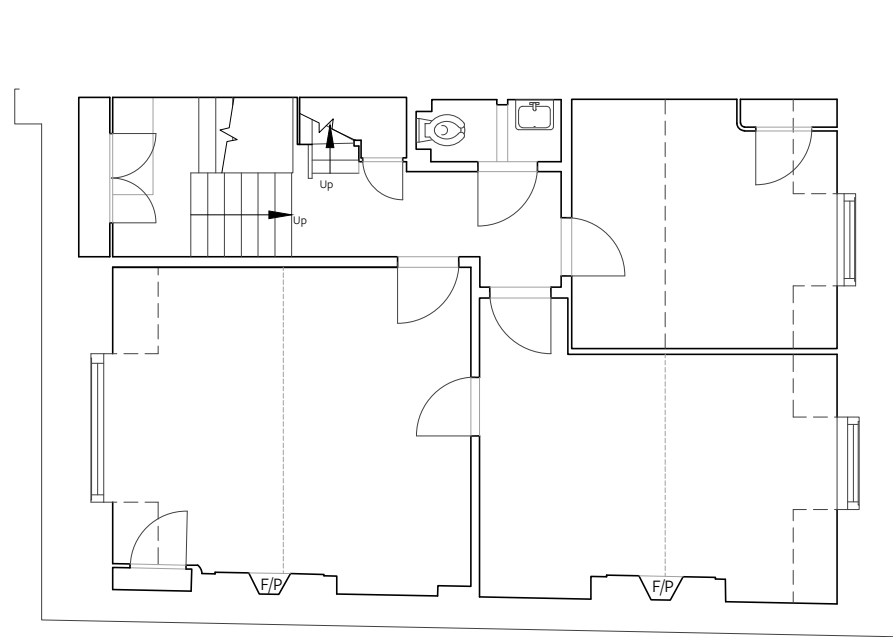
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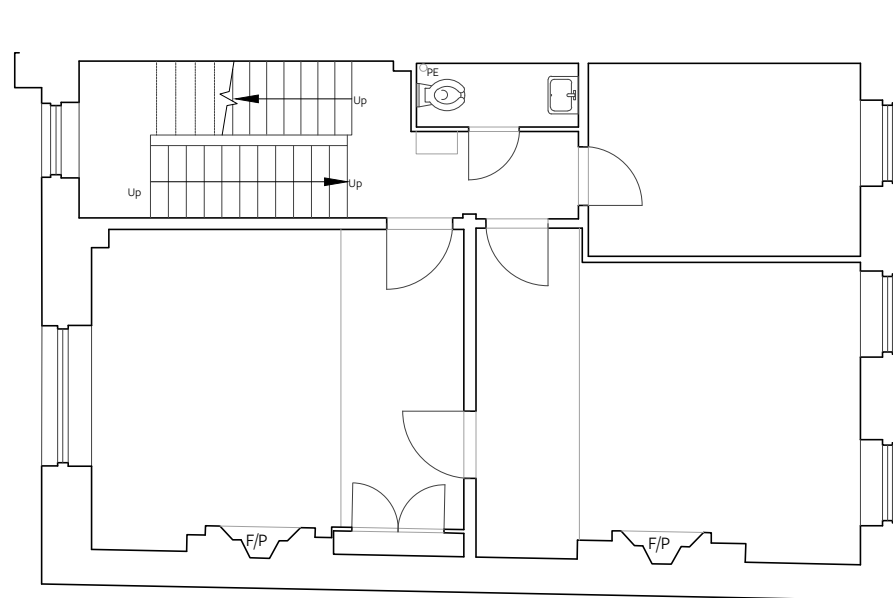


Loft Floor Plan. 1:100.



Second Floor Building Line

Third Floor Plan. 1:100.



Second Floor Plan. 1:100.



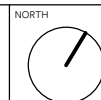
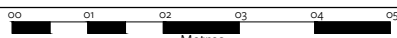
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Existing Upper Floor Plans

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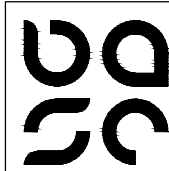
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Existing North East Elevation (Gower Street). 1:100.



Existing South West Elevation (Rear). 1:100.



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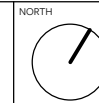
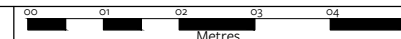
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Existing Elevations

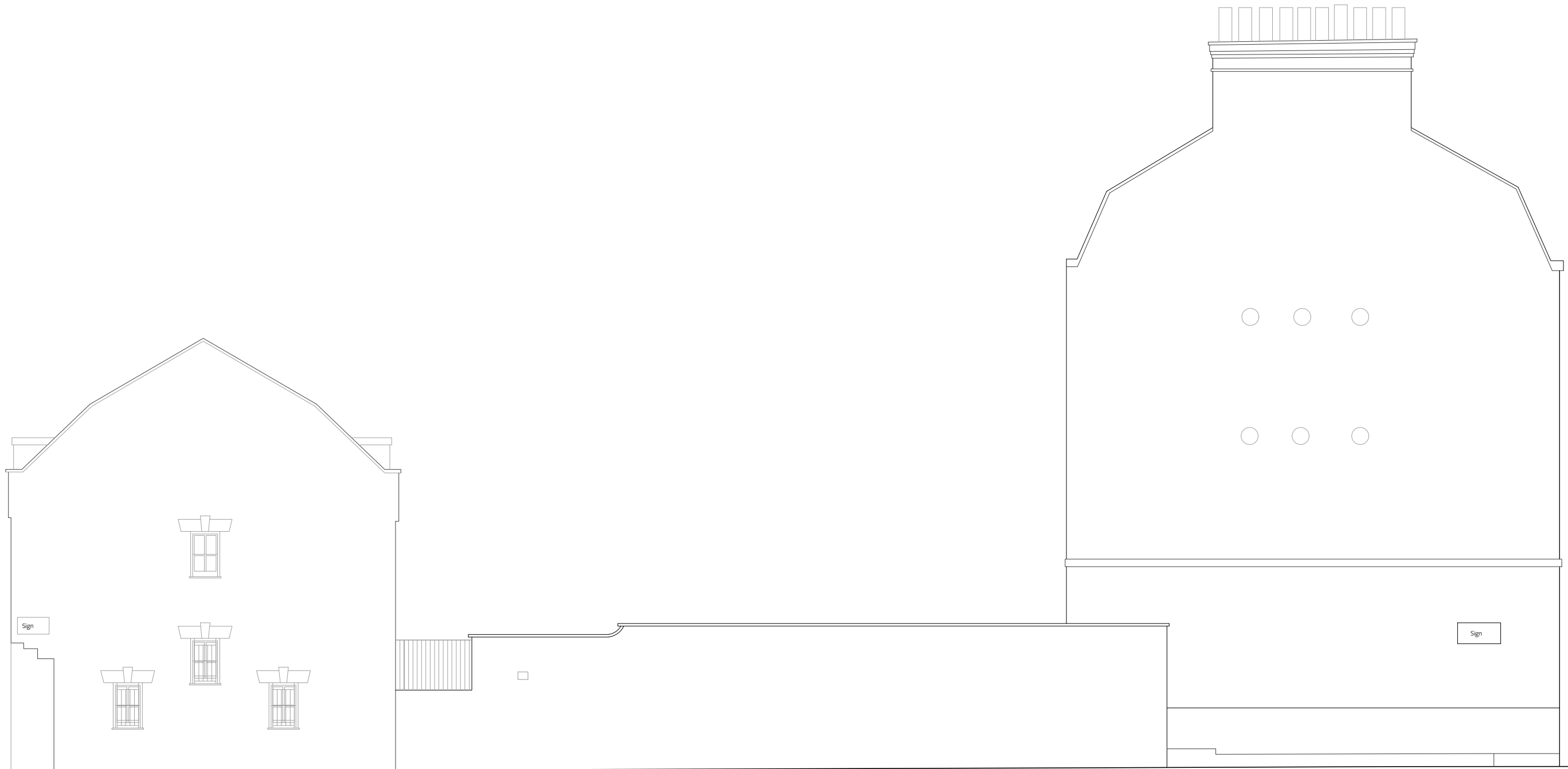
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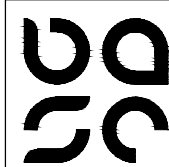
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Torrington Place



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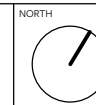
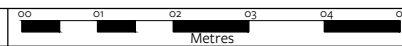
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Existing East Elevations

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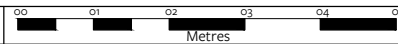
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NORTH



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Existing Section A

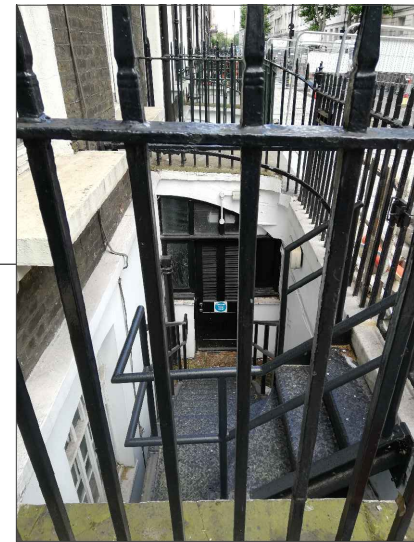
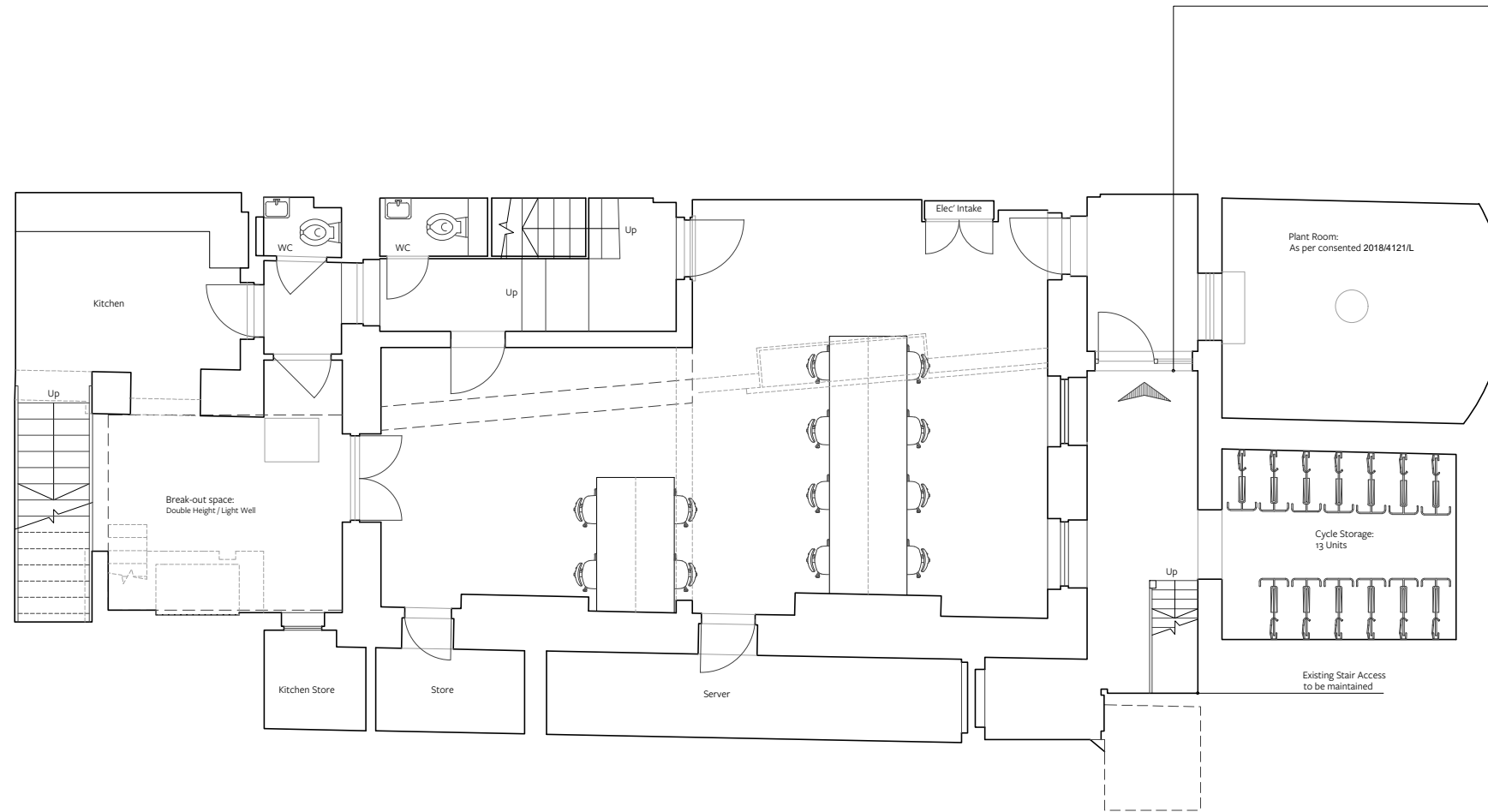
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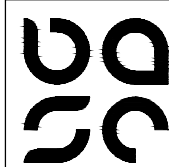
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Proposed Basement Entrance:
As per 89 Gower Street.



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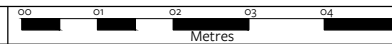
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Proposed Basement Floor Plan

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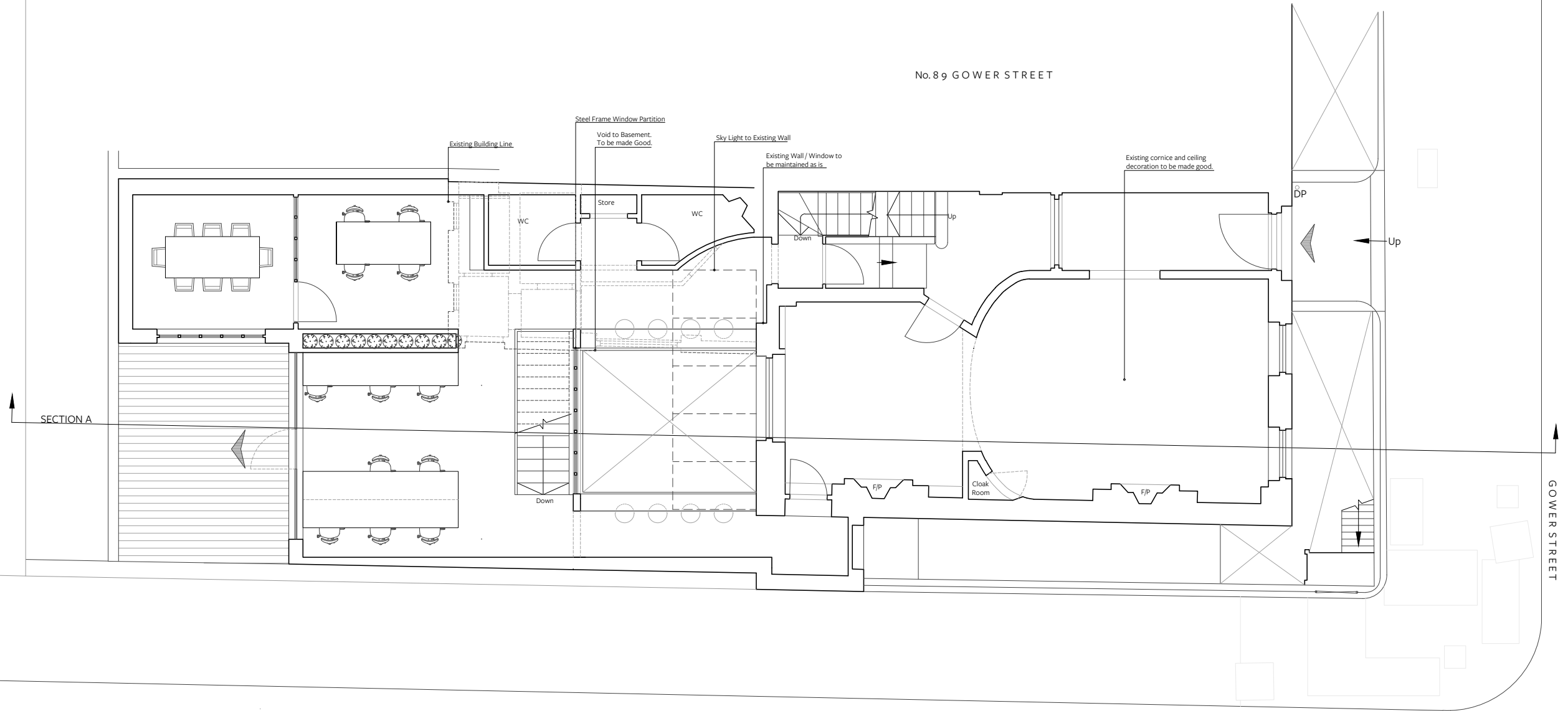
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68 - 72
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No. 89 GOWER STREET



GOWER STREET

TORRINGTON PLACE



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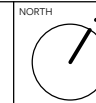
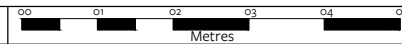
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SCALE: 1:100 @ A3



June 2019

Proposed Ground Floor Plan

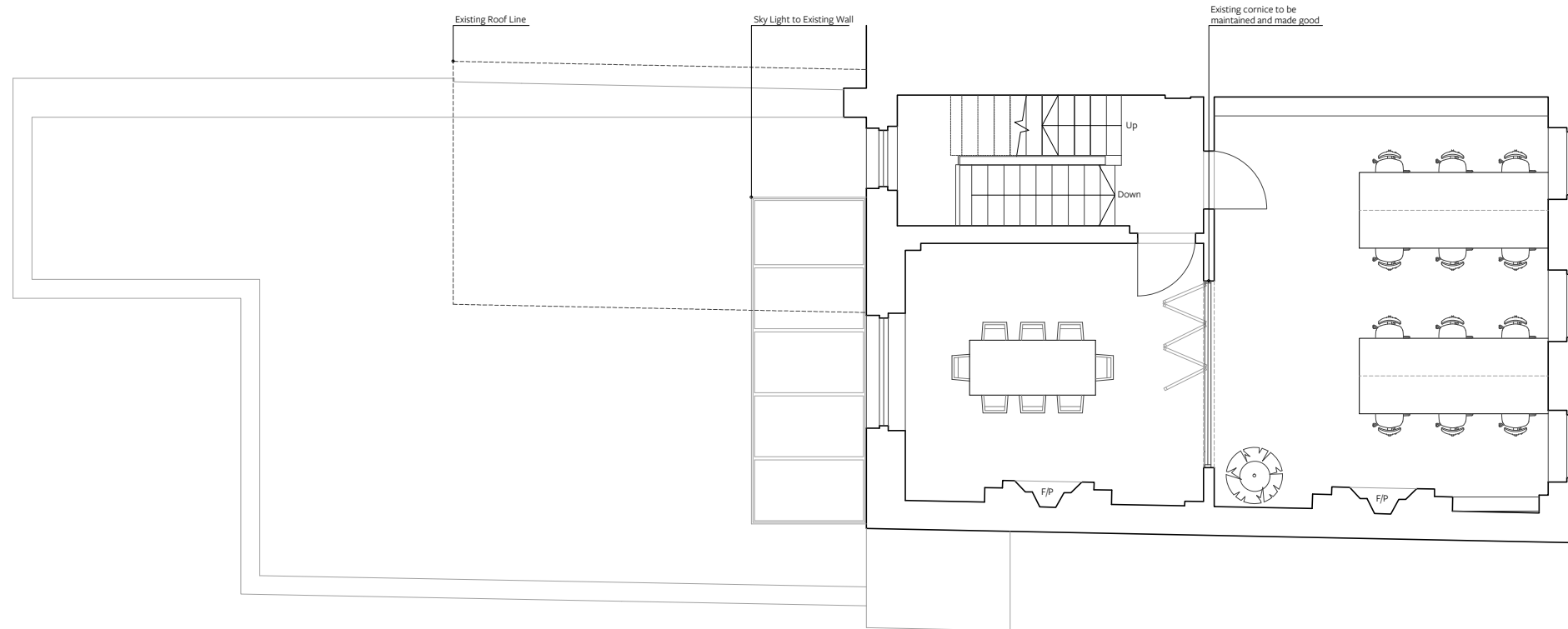
PROJECT:
87 Gower Street, WC1E 6AA

DRAWING NUMBER:

Project No: 0505	RIBA Stage: 2	Series: D	Extension: 0	Drawing No: 100	Revision: 00
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CLIENT:
SBR Properties

PLANNING



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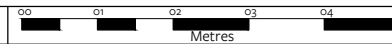
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NORTH



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Proposed First Floor Plan

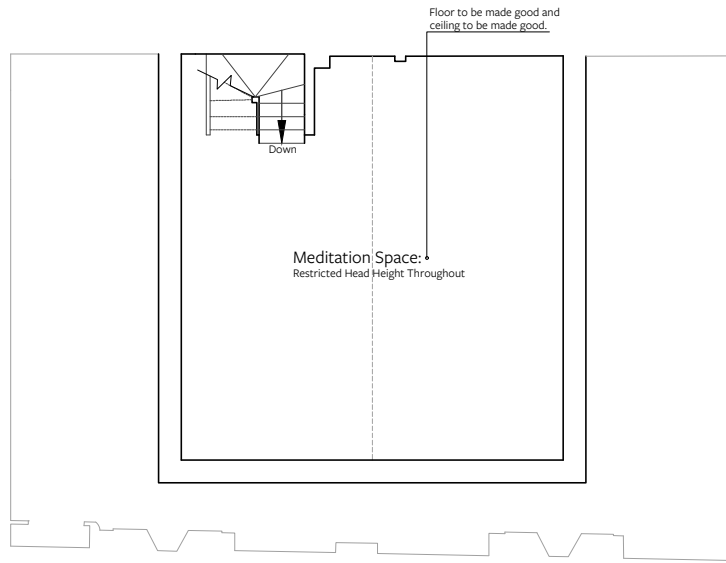
PROJECT:
87 Gower Street, WC1E 6AA

DRAWING NUMBER:

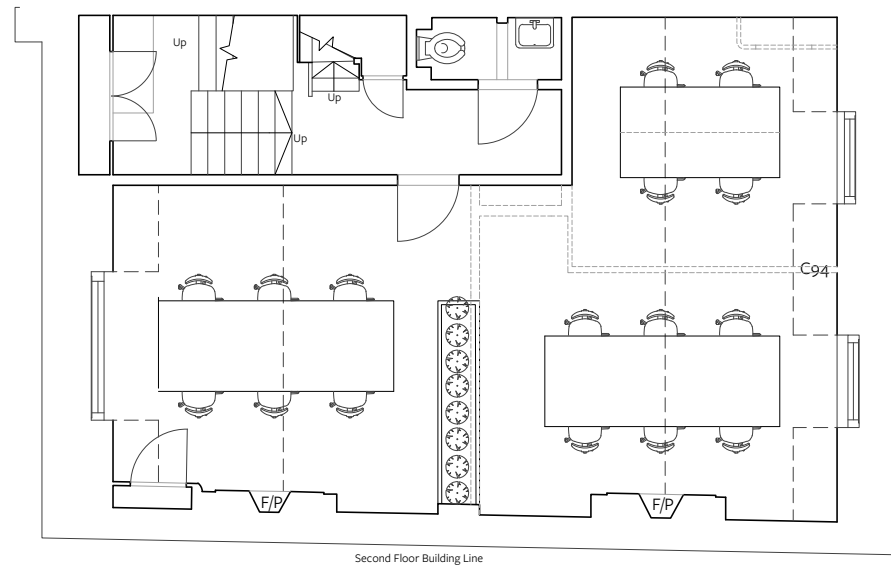
Project No: 0505	RIBA Stage: 2	Series: D	Extension: 0	Drawing No: 101	Revision: 00
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CLIENT:
SBR Properties

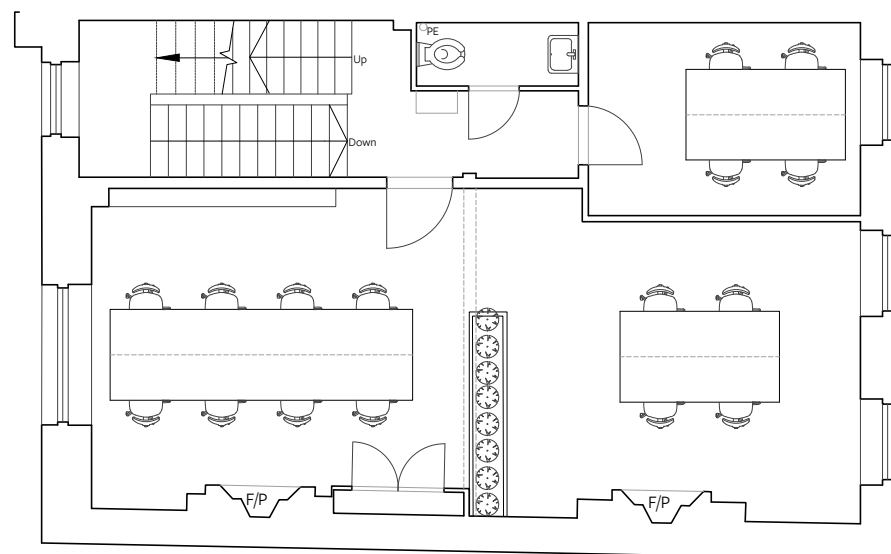
PLANNING



Proposed Loft Floor Plan. 1:100.



Proposed Third Floor Plan. 1:100.



Proposed Second Floor Plan. 1:100.



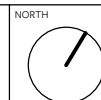
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REV: COMMENT: DATE: 00 01 02 03 04 05
Metres



June 2019

Proposed Upper Floor Plans

DRAWING NUMBER:

Project No:	RIBA Stage:	Series:	Extension:	Drawing No:	Revision:
0505	2	D	0	102	00

CLIENT: SBR Properties

PROJECT:
87 Gower Street, WC1E 6AA

PLANNING



Proposed North East Elevation (Gower Street). 1:100.



Proposed South West Elevation (Rear). 1:100.



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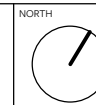
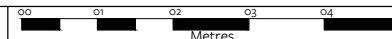
Notes: This drawing is the copyright of hebaseem limited. Figured dimensions to be taken in preference to those scaled. All dimensions to be checked on site and taken in preference to those shown. The drawings are indicative only and subject to change following a detailed survey. Not to be reproduced, retained or disclosed to any unauthorised person either wholly or in part without written permission. The scheme is subject to change following input from relevant consultants during the design process.

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Proposed Elevations

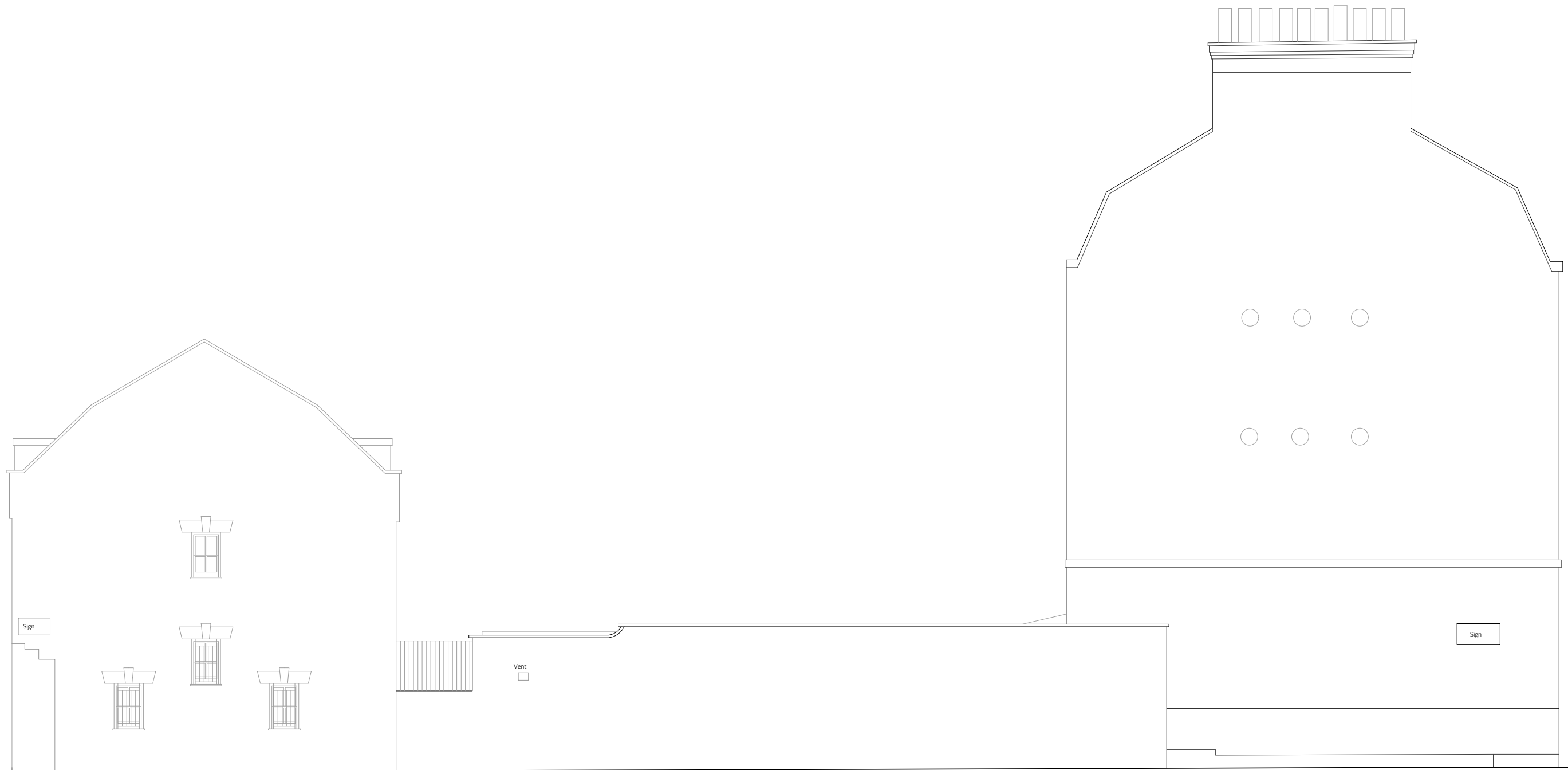
PROJECT:
87 Gower Street, WC1E 6AA

DRAWING NUMBER:

Project No: 0505	RIBA Stage: 2	Series: D	Extension: 0	Drawing No: 200	Revision: 00
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CLIENT: SBR Properties

PLANNING



Torrington Place



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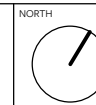
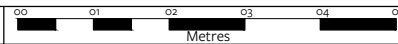
Notes: This drawing is the copyright of hebaseem limited. Figured dimensions to be taken in preference to those scaled. All dimensions to be checked on site and taken in preference to those shown. The drawings are indicative only and subject to change following a detailed survey. Not to be reproduced, retained or disclosed to any unauthorised person either wholly or in part without written permission. The scheme is subject to change following input from relevant consultants during the design process.

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Proposed East Elevation

PROJECT:
87 Gower Street, WC1E 6AA

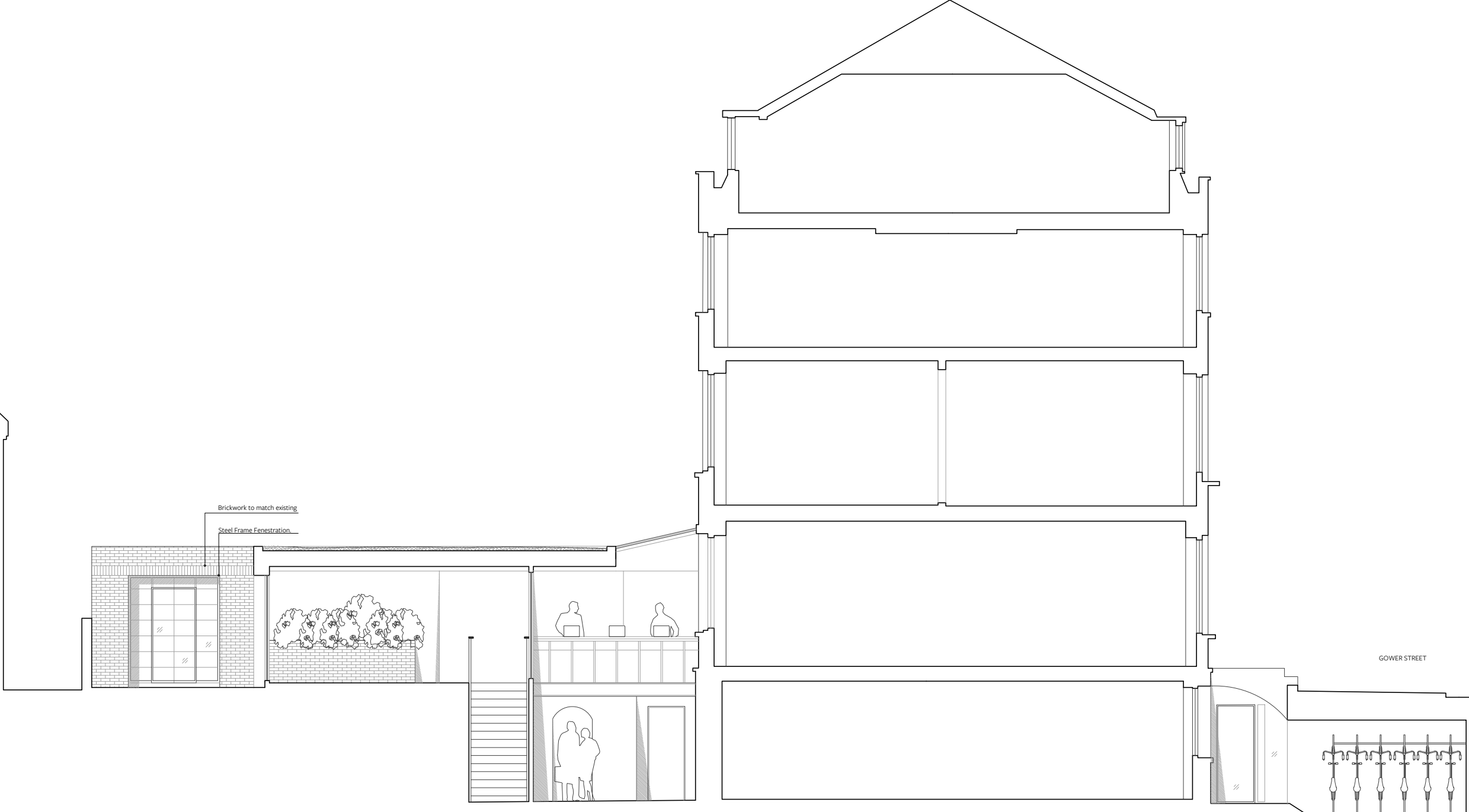
DRAWING NUMBER:

Project No:	RIBA Stage:	Series:	Extension:	Drawing No:	Revision:
0505	2	D	0	201	00

CLIENT: SBR Properties

PLANNING

68 TO 72 CHENIES MEWS



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Proposed Section A

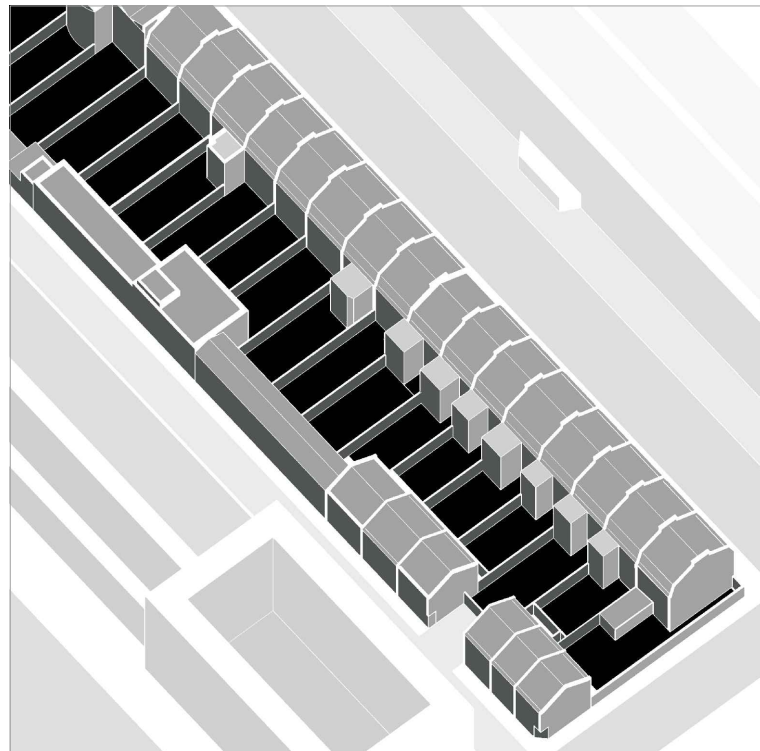
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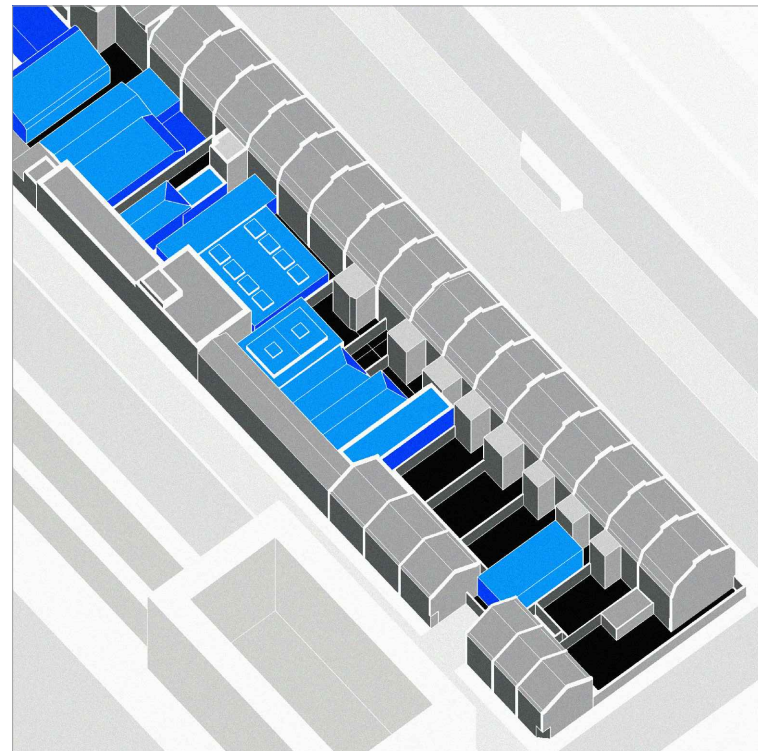
PROJECT:
87 Gower Street, WC1E 6AA

CLIENT:
SBR Properties

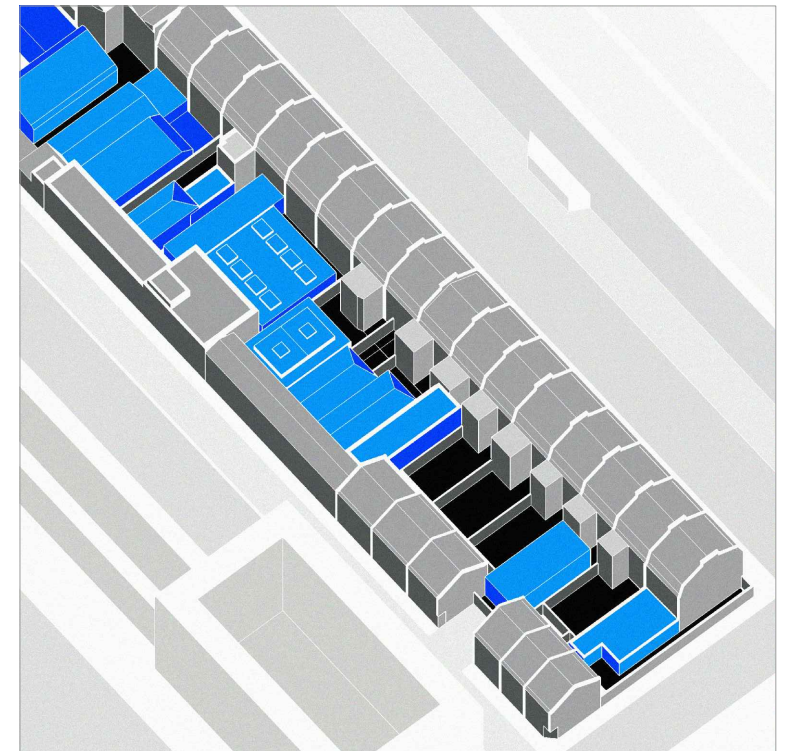
PLANNING



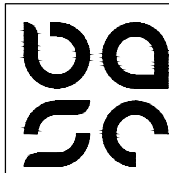
i. 19th Century Intended Massing



ii. Existing Massing



iii. Proposed Massing



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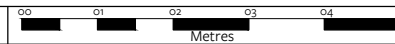
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NORTH



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Massing Diagrams

DRAWING NUMBER:

Project No: 0505

RIBA Stage: 2

Series: D

Extension: 0

Drawing No: 500

Revision: 00

CLIENT: SBR Properties

PROJECT:
87 Gower Street, WC1E 6AA

PLANNING

Appendix EDP 2 Listed Building Citation

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NUMBERS 87 TO 97 AND ATTACHED RAILINGS

Overview

Heritage Category:

Listed Building

Grade:

II

List Entry Number:

1113047

Date first listed:

28-Mar-1969

Statutory Address:

NUMBERS 87 TO 97 AND ATTACHED RAILINGS, 87-97, GOWER STREET

Map

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The above map is for quick reference purposes only and may not be to scale. For a copy of the full scale map, please see the attached PDF - **1113047 .pdf**

http://mapservices.HistoricEngland.org.uk/printwebservicehle/StatutoryPrint.svc/375231/HLE_A4L_Grade|HLE_A3L_Grade.pdf

The PDF will be generated from our live systems and may take a few minutes to download depending on how busy our servers are. We apologise for this delay.

This copy shows the entry on 27-Jun-2019 at 09:50:03.

Location

Statutory Address:

NUMBERS 87 TO 97 AND ATTACHED RAILINGS, 87-97, GOWER STREET

The building or site itself may lie within the boundary of more than one authority.

County:

Greater London Authority

District:

Camden (London Borough)

National Grid Reference:

TQ 29620 82062

Details

CAMDEN

TQ2982SE GOWER STREET 798-1/94/608 (West side) 28/03/69 Nos.87-97 (Odd) and attached railings

GV II

Terrace of 6 houses. c1789. Darkened stock brick with slate mansard roofs and dormers. Nos 95 & 97 with rusticated stucco ground floors. 3 storeys, attics and basements; No.91, 4 storeys. 3 windows each. Round-arched doorways with pilaster-jambes and cornice-heads, fanlights (Nos 91 & 93 radial patterned) and panelled doors. Gauged brick flat arches to recessed sashes, No.91 with glazing bars. Ground floor and 1st floor of No.91 with bracketed sills. Plain stone 1st floor sill bands. No.87 with 1st floor cast-iron window guards. Parapets. INTERIORS: not inspected. SUBSIDIARY FEATURES: attached cast-iron railings with urn finials to areas. HISTORICAL NOTE: No.91 was the home of George Dance the Younger, architect (GLC plaque). (Survey of London: Vol. XXI, Tottenham Court Road and Neighbourhood: London: -1949: 78).

Listing NGR: TQ2962782047

Legacy

The contents of this record have been generated from a legacy data system.

Legacy System number:

477397

Legacy System:

LBS

Sources

Books and journals

'Survey of London' in Survey of London - Tottenham Court Road and Neighbourhood St Pancras Part 3: Volume 21, (1949), 78

Legal

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.

End of official listing

2 contributions on NUMBERS 87 TO 97 AND ATTACHED RAILINGS



Charles Watson

12 November 2017 at 13:42



Charles Watson

12 November 2017 at 13:41

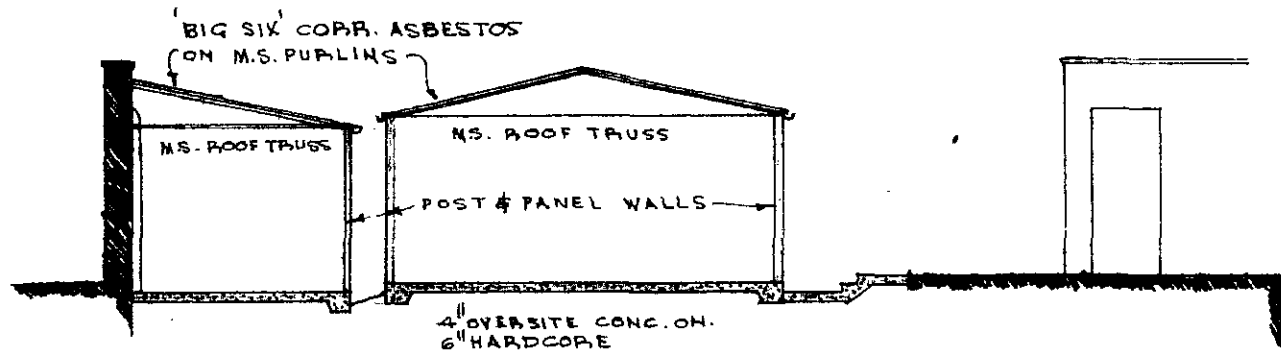


There aren't any more contributions

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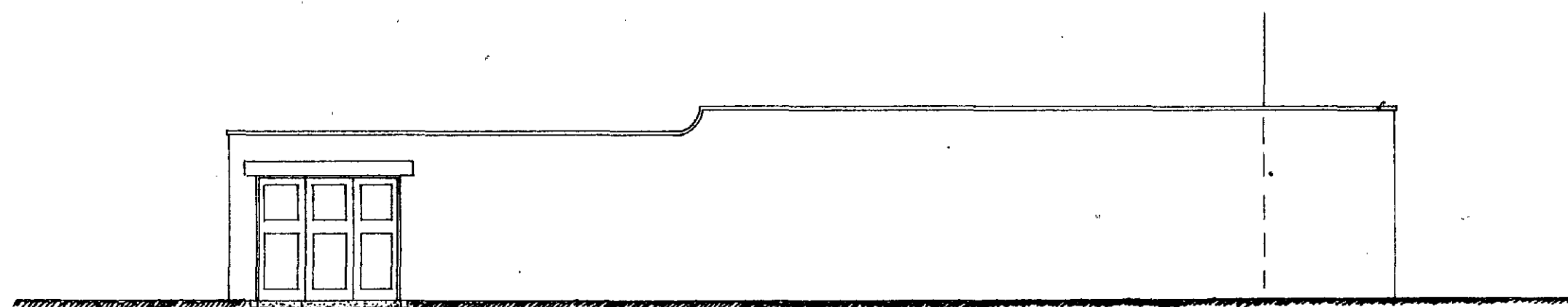
Appendix EDP 3 1959 Application Plan

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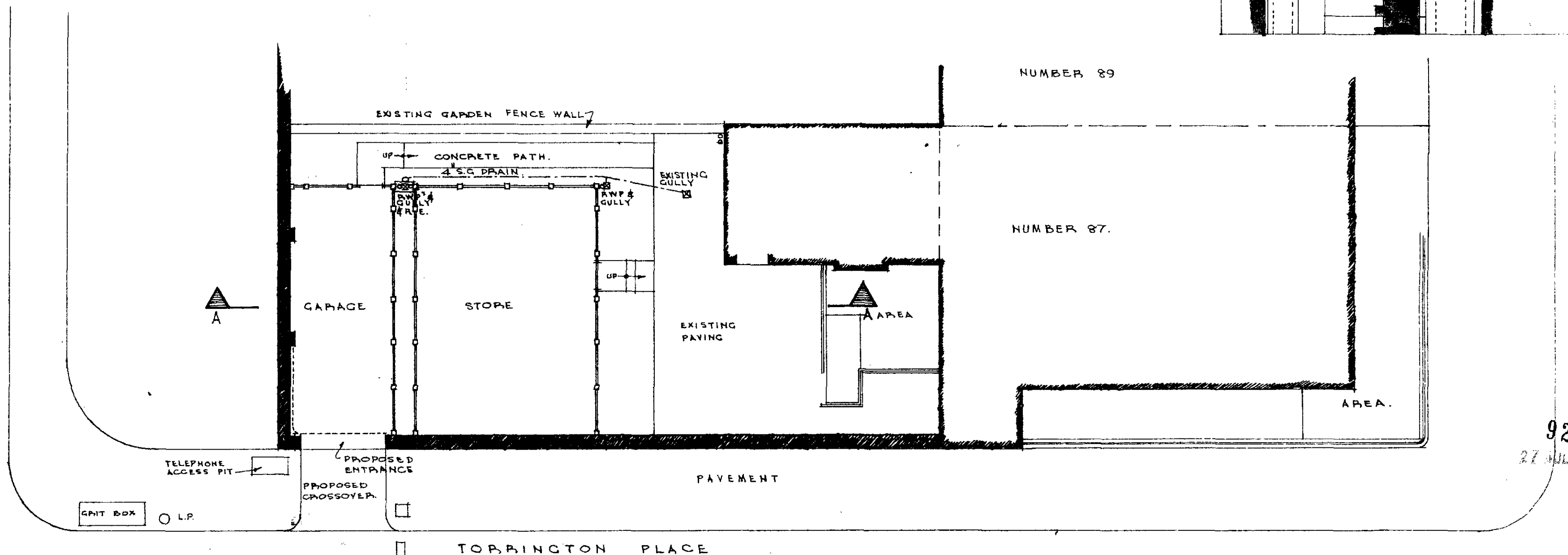
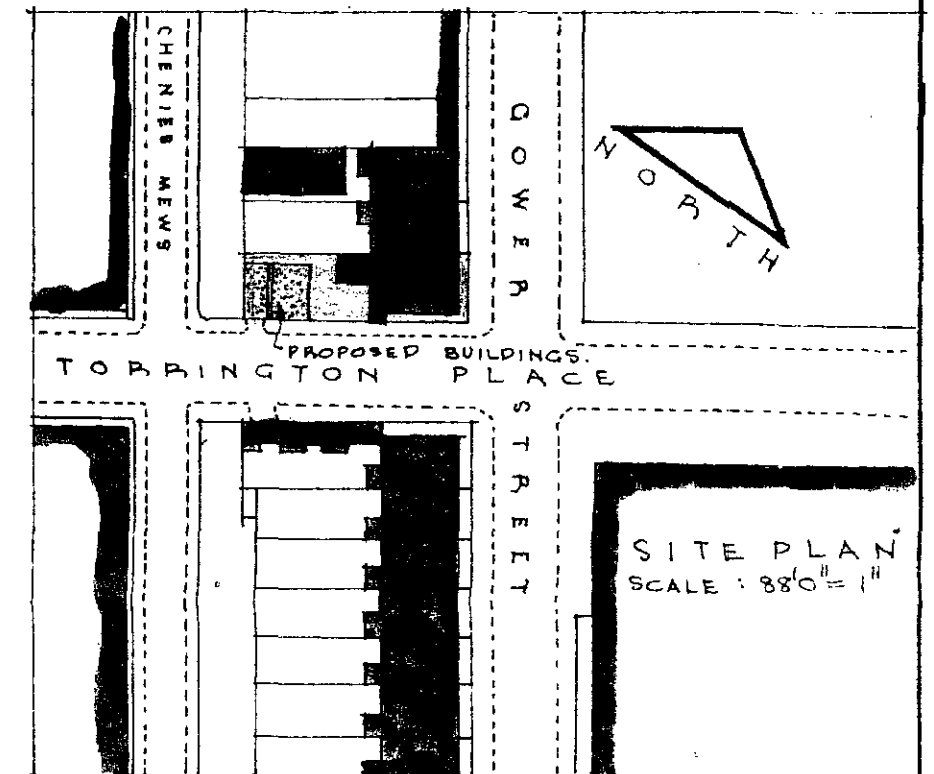


SECTION A-A

CONSTRUCTION:-
 PRECAST CONCRETE POSTS & PANELS TO WALLS
 M.S. ROOF TRUSSES AND PURLINS
 CORR. ASBESTOS 'BIG SIX' AS ROOF COVERING
 ASBESTOS RWP & GUTTERS.
 NOTE: WALLS, ROOF TRUSSES & PURLINS
 SUPPLIED & FIXED BY COOMBE
 CONSTRUCTION CO. TREGARON
 HOUSE, MALDEN ROAD,
 NEW MALDEN, SURREY



ELEVATION TO TORBRINGTON PLACE



PLAN

PROPOSED GARAGE AND STORE
 87, GOWER STREET, W.C.I.

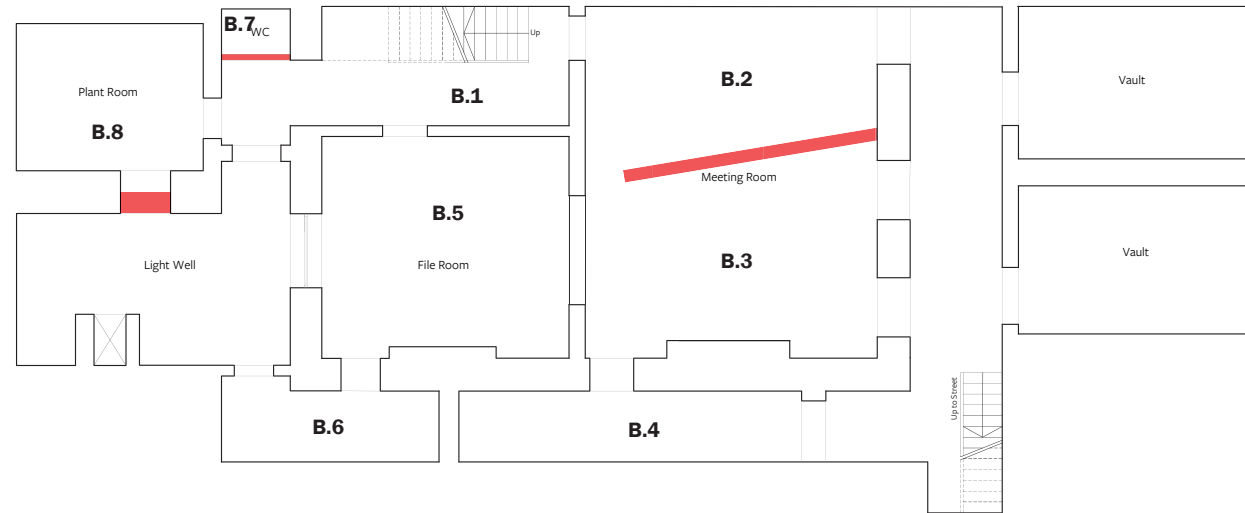
DRG. No.2.
 SCALE: 1/8" = 1'0"

MATTHEWS & SON,
 ARCHITECTS & SURVEYORS
 91, GOWER STREET, W.C.I.

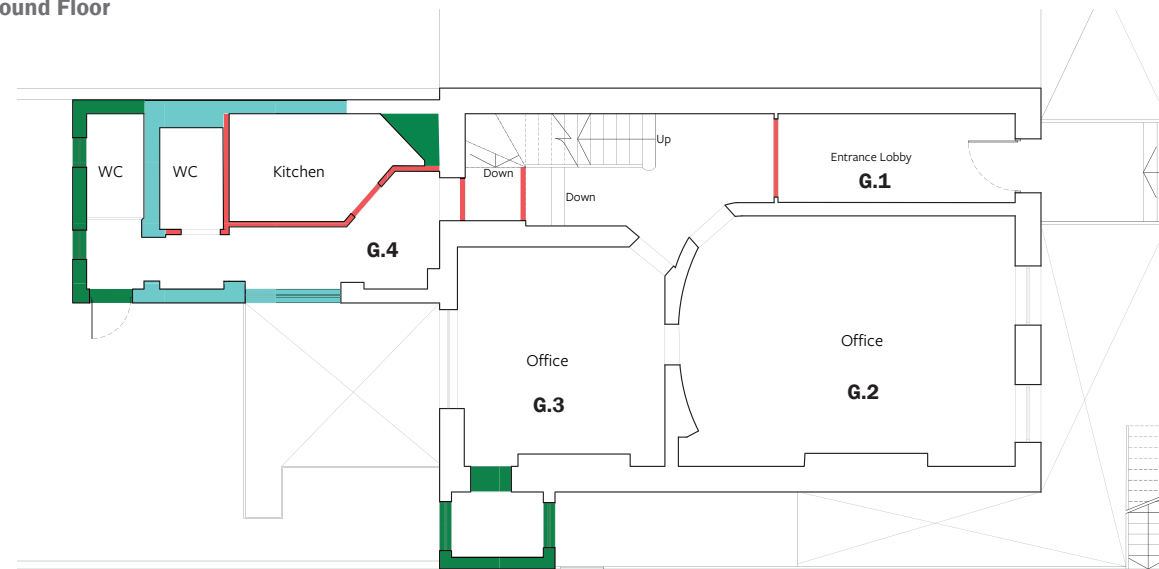
9226
 27 JUL 1959

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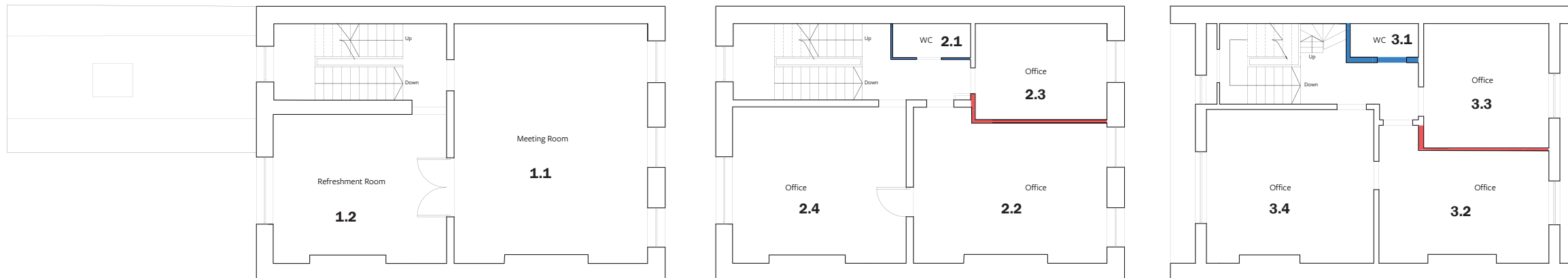
Basement Floor



Ground Floor



Upper Floors



- Late 18th Century
- Mid 19th Century
- Late 19th Century
- ? Early-mid 20th Century
- Late 20th Century

client
SBR Properties Ltd

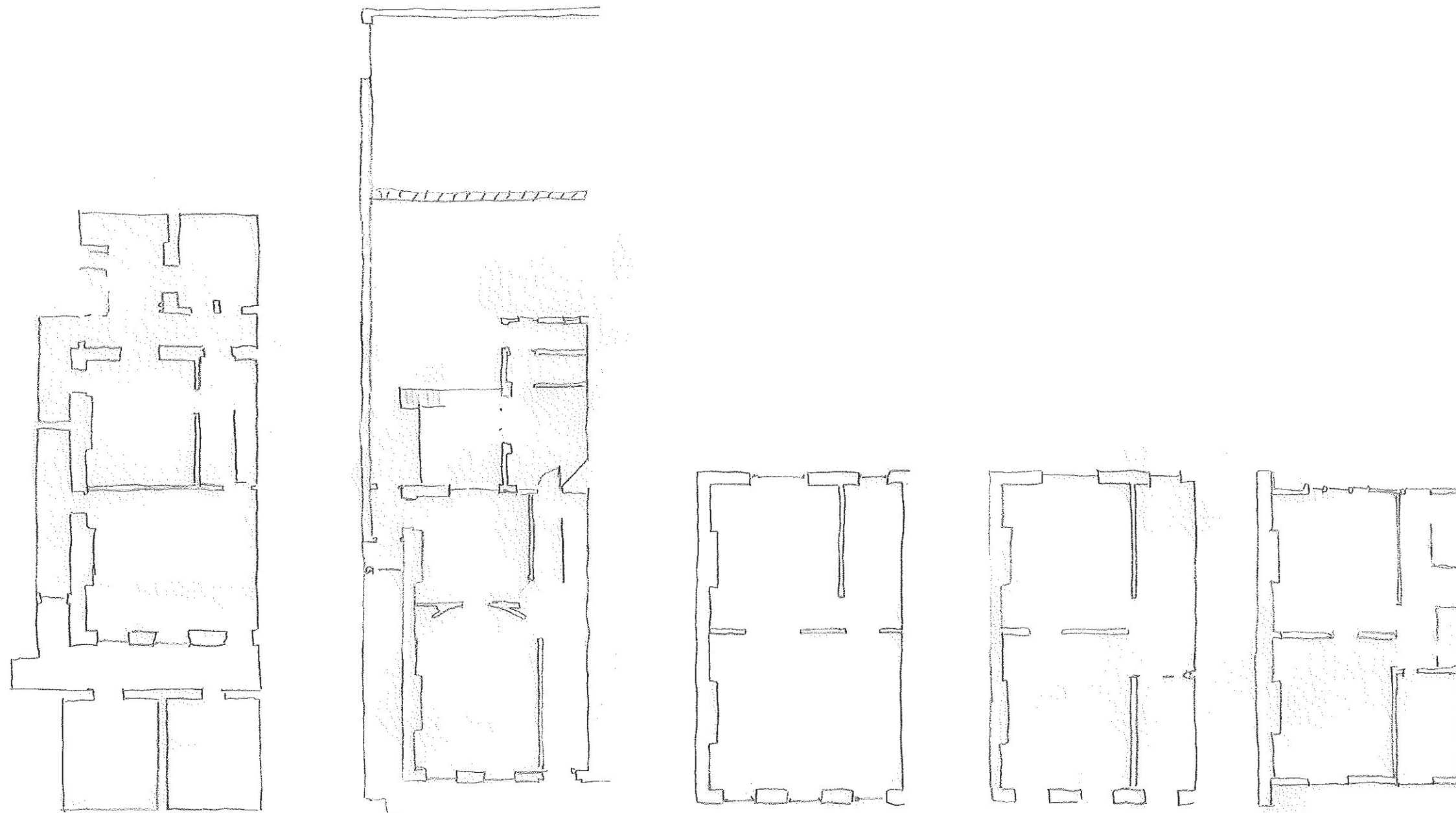
project title
87 Gower Street, London

drawing title
Plan EDP 1: Phase Plan of the Building

date	28 JUNE 2019	drawn by	GY
drawing number	edp5616_d001	checked	EO
scale	Refer to scale bar	QA	JTF



Registered office: 01285 740427 - www.edp-uk.co.uk - info@edp-uk.co.uk



Basement Floor

Ground Floor

First Floor

Second Floor

Third Floor

client
SBR Properties Ltd

project title
87 Gower Street, London

drawing title
Plan EDP 2: Tracing of 1982 Drainage Plan

date	28 JUNE 2019	drawn by	GY
drawing number	edp5616_d002	checked	EO
scale	Not to scale	QA	JTF



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02921 671900

CHELTENHAM
01242 903110

CIRENCESTER
01285 740427

SHREWSBURY
01939 211190

info@edp-uk.co.uk
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DESIGN
GROUP** REGISTERED
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