



LYNAS
SMITH



1907_GATE STREET

Project No. 1907
Project Name GATE STREET
Document No. 1907-LS-PL-001
Document Name Condition 3: Details and Material
Revision N. P1
Revision Date 22.05.2019

10 Gate Street, Holborn, WC2A 3HP, London

Applicant: Hillolim London Ltd
Proposal: 4 residential units and a Commercial area at Ground Floor level
Application Number Reference: 2017/4062/P



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1.0 Introduction

The intent of this document is to discharge Planning Condition No.03 - Materials and Details, associated to the Planning Application No. 2017/4062/P consented on 19 July 2018.

Condition 3:

“ Before the relevant part of the work is begun, detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority:

a) Plan, elevation and section drawings, including jambs, head and cill, of all new window and door openings.

b) Samples and manufacturer's details of new facing materials including a sample panel of facing brickwork demonstrating the proposed colour, texture, face-bond and pointing.

c) Manufacturer's specification details of all facing materials (to be submitted to the Local Planning Authority) and samples of those materials (to be provided on site).

The relevant part of the works shall be carried out in accordance with the details thus approved and all approved samples shall be retained on site during the course of the works.”

Reason:

To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

General Note:

- The construction build-up of all the elements illustrated within this document is subject to further detailed design development and specialist input.



2.0 Proposed Elevations

Works to existing facade:

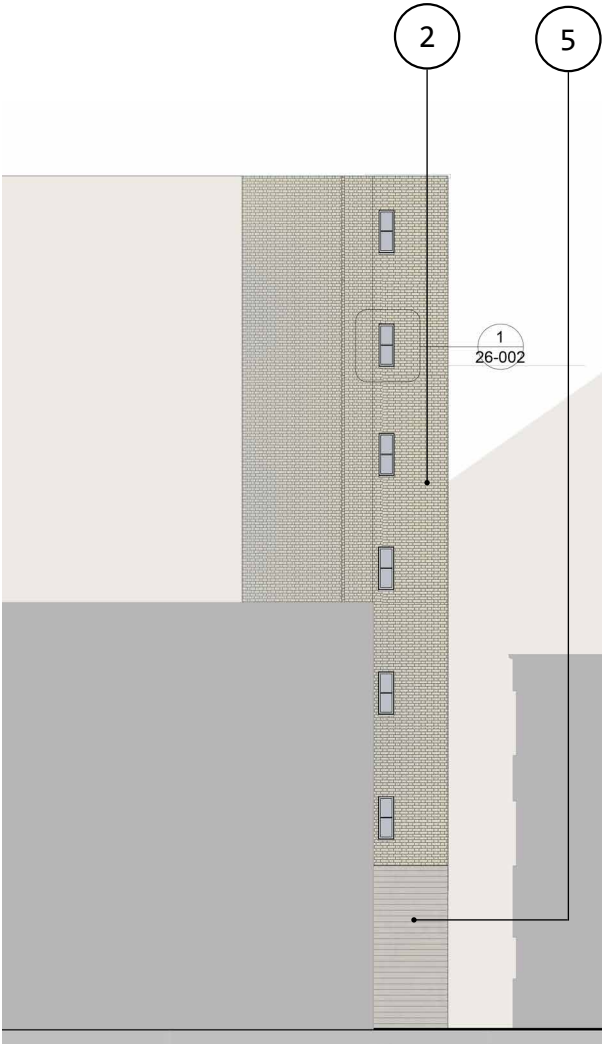
- New white painted timber frame sash windows throughout
- Cleaning and repairing existing brickwork
- Removing white cladding at Ground Floor, South Elevation



SOUTH Elevation



WEST Elevation



NORTH Elevation

3.0 Material Palette



1 Existing Brickwork

The existing Brickwork will be cleaned and repaired where necessary



2 New Brickwork

Brickwork extension to match existing building

Imperial Bricks, Weathered original Londond Stock



3 Decorative Metal Cladding

Perforated metal cladding as transition from old to new brickwork

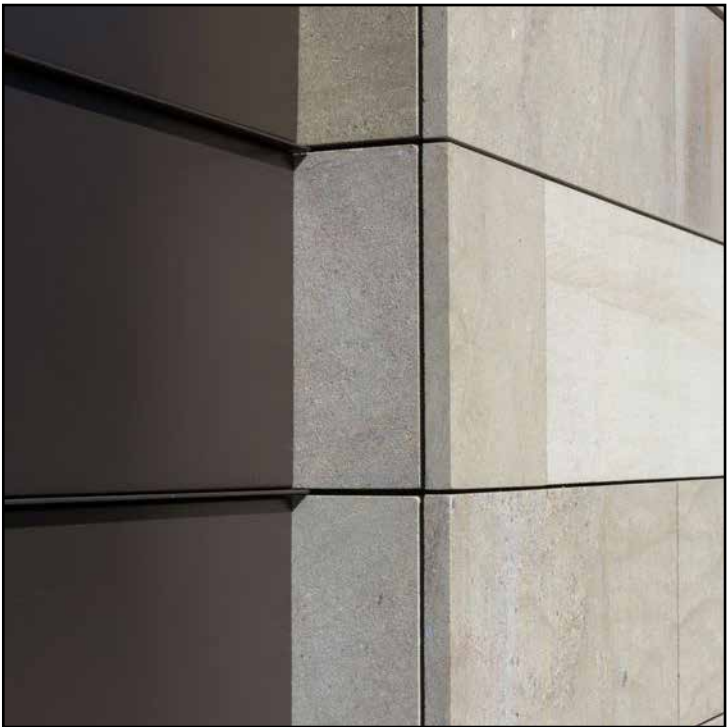
Mapel Sunscreening Ltd, Aluminium Cladding, Powder Coating



4 Zinc Roofing

The mansard roof extension is will be zinc clad to integrate in the surrounding

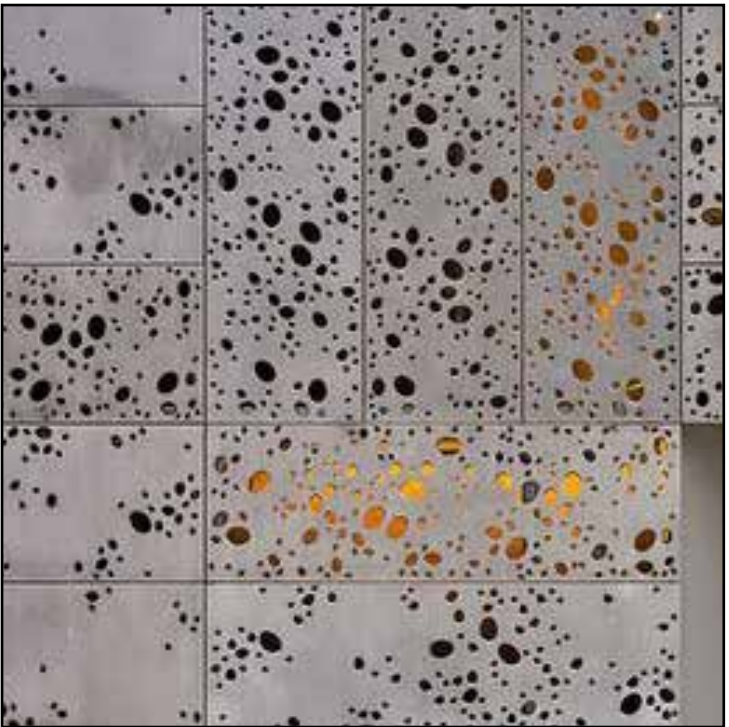
VM Zinc, Pigmento blue, Standing seam



5 Natural Stone Cladding

Natural Stone Cladding to emphasize the Residential Entrance at Ground Floor

Albion Stone, Jordans Whitebed



6 Decorative mesh metal door- Bin store

Perforated metal doors to the bin Store

Mapel Sunscreening Ltd, Aluminium Cladding, Powder Coating



3.1 Brick

The pointing and brick repairs will be carried out sensitively and in a way as to preserve the character of the area.

The new brickwork will match the existing in texture, colour and pointing.

Weathered Original London Stock is a high quality yellow handmade brick with an authentic and unique coal spotted face and a weathered finish.

Manufactured using traditional techniques, Weathered Original London Stock is ideal for matching period brickwork for extensions, heritage projects and conservation areas, and provides a popular choice for new builds.

Material Samples will be delivered to London Borough of Camden to the Case Officer.

Example for matching London Stock Brick in front of existing Brick Wall





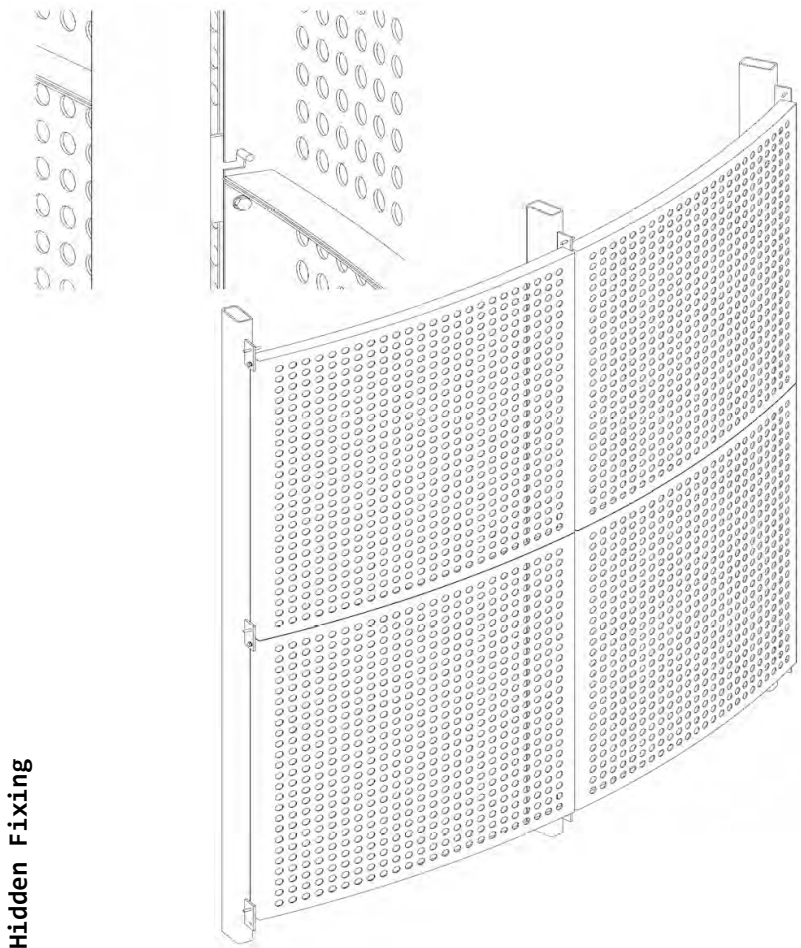
3.2 Metal Cladding

Decorative perforated metal cladding to create interest, making the new residential entrance and resolving the transition between old and new brickwork.

Screen facade comprising perforated aluminium panels, with a bespoke design.

Powder coated in RAL 9007.

Material Samples will be delivered to London Borough of Camden to the Case Officer.

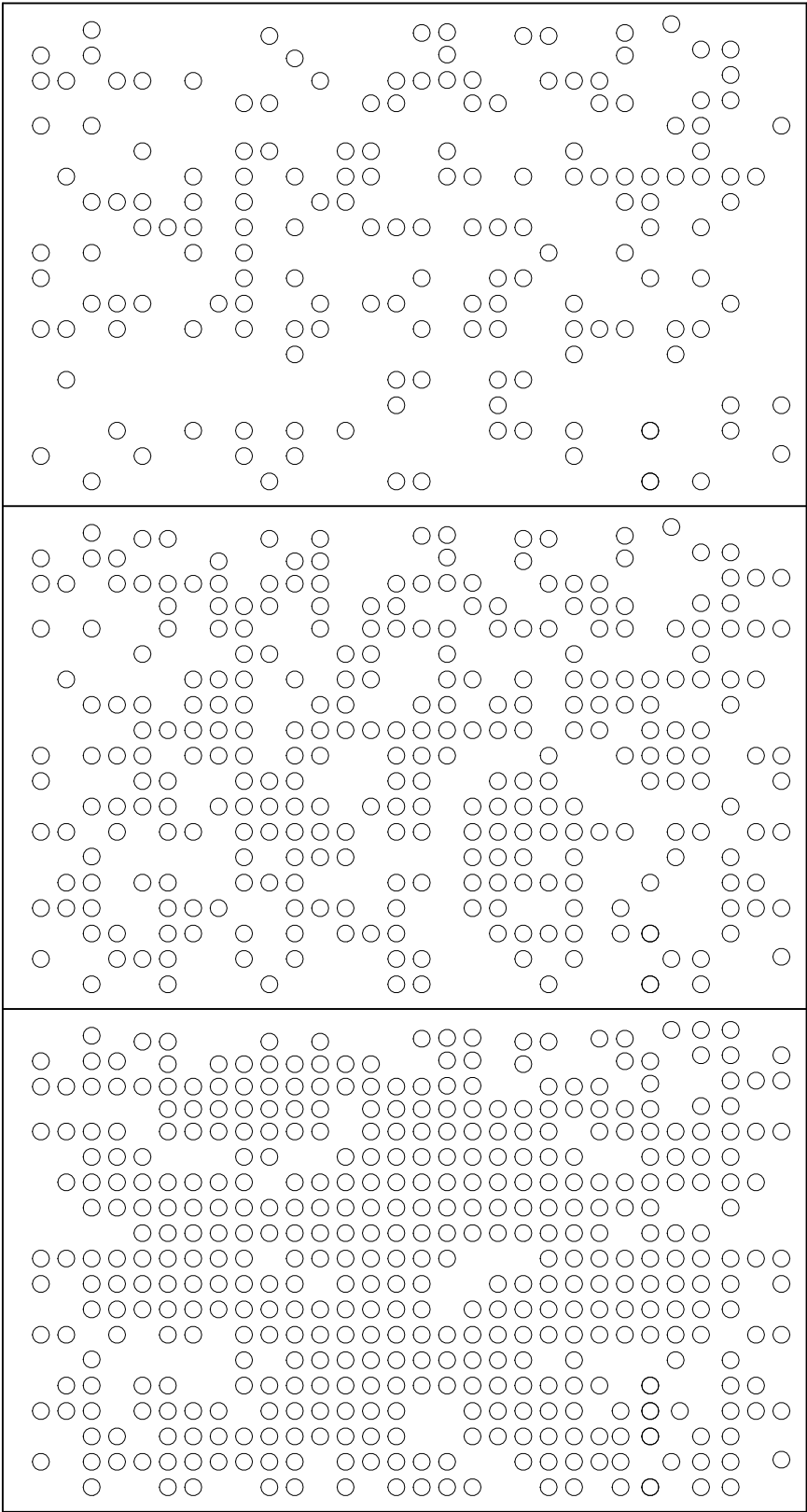


Hidden Fixing

RAL 9007



Proposed Perforation Pattern



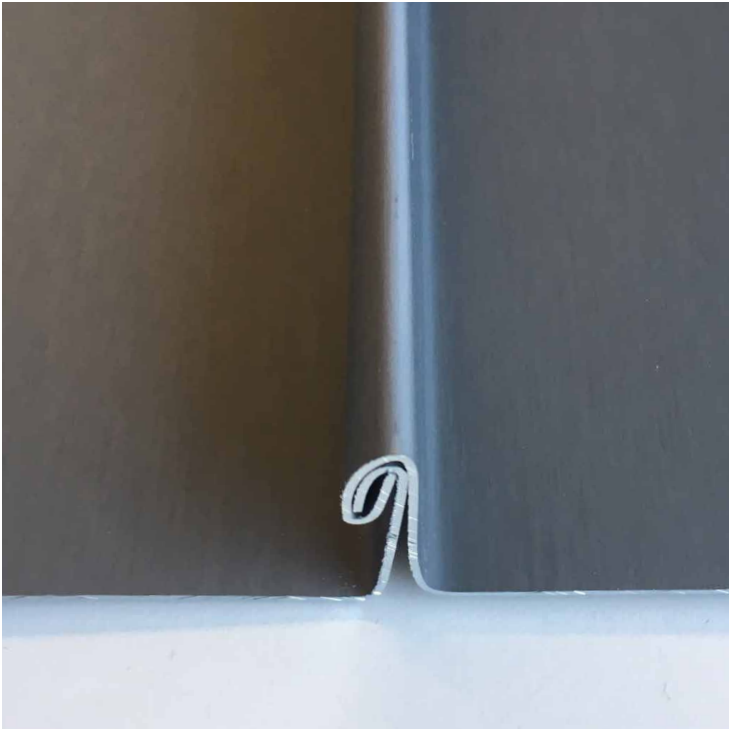


3.3 Zinc Roofing

The mansard roof extension will be clad in zinc in lead colour to ensure that the site sits comfortable within the surrounding townscape with numerous roof with the same configuration

The use of lead is restricted to listed buildings and repairs due to Health and Safety Regulations. It is on the list of deleterious materials within the building contract and architects appointment and warranty.

Material Samples will be delivered to London Borough of Camden to the Case Officer.



VM Zinc, Pigmento Blue, roofing Double Lock



3.4 Natural Stone Cladding

The Residential Entrance from Little Turnstile will be clad in Natural Portland Stone at Ground Floor. Jordans Whitbed has a Medium shell content. Inclusions being predominantly grey with some occasional white fragments.

Material Samples will be delivered to London Borough of Camden to the Case Officer.

Albion Stone, Jordans Whitebed



4.0 Details of Openings

Windows are to be replaced with new like for like, white painted hardwood timber sliding sash windows with matching beading and double glazed units. This is required to meet building regulations.

The traditional timber frame windows will be manufactured by a high quality company such as by such as Mumford & Wood or The Sash Window Company.

Existing Windows

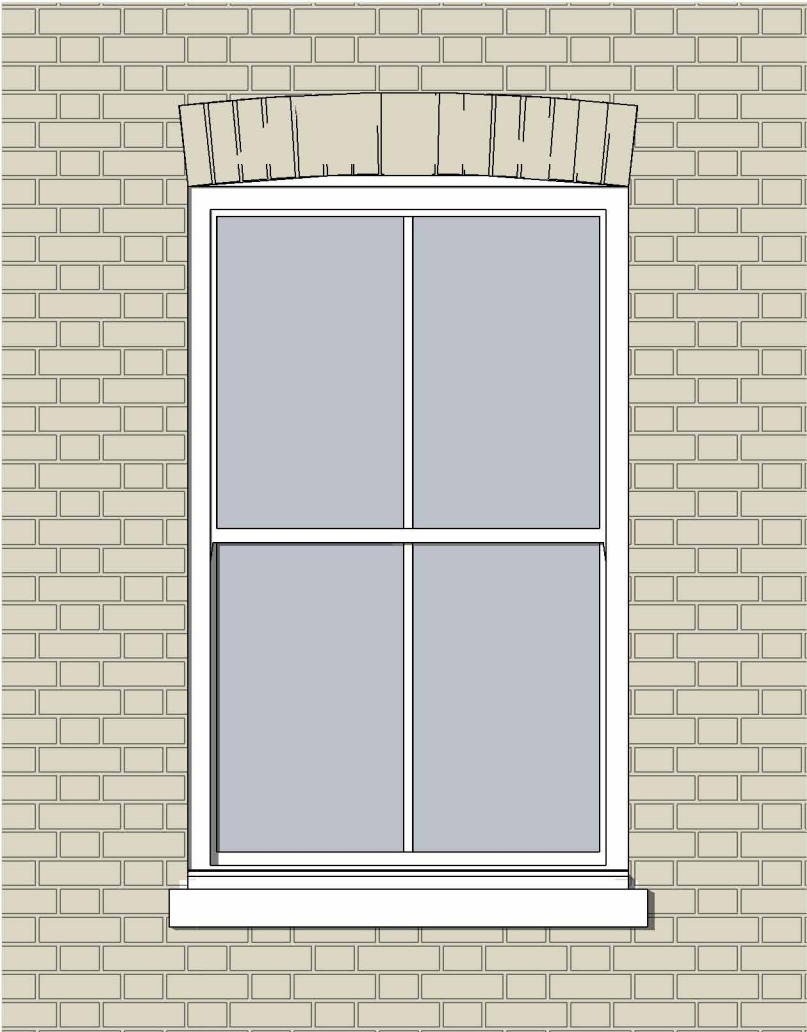
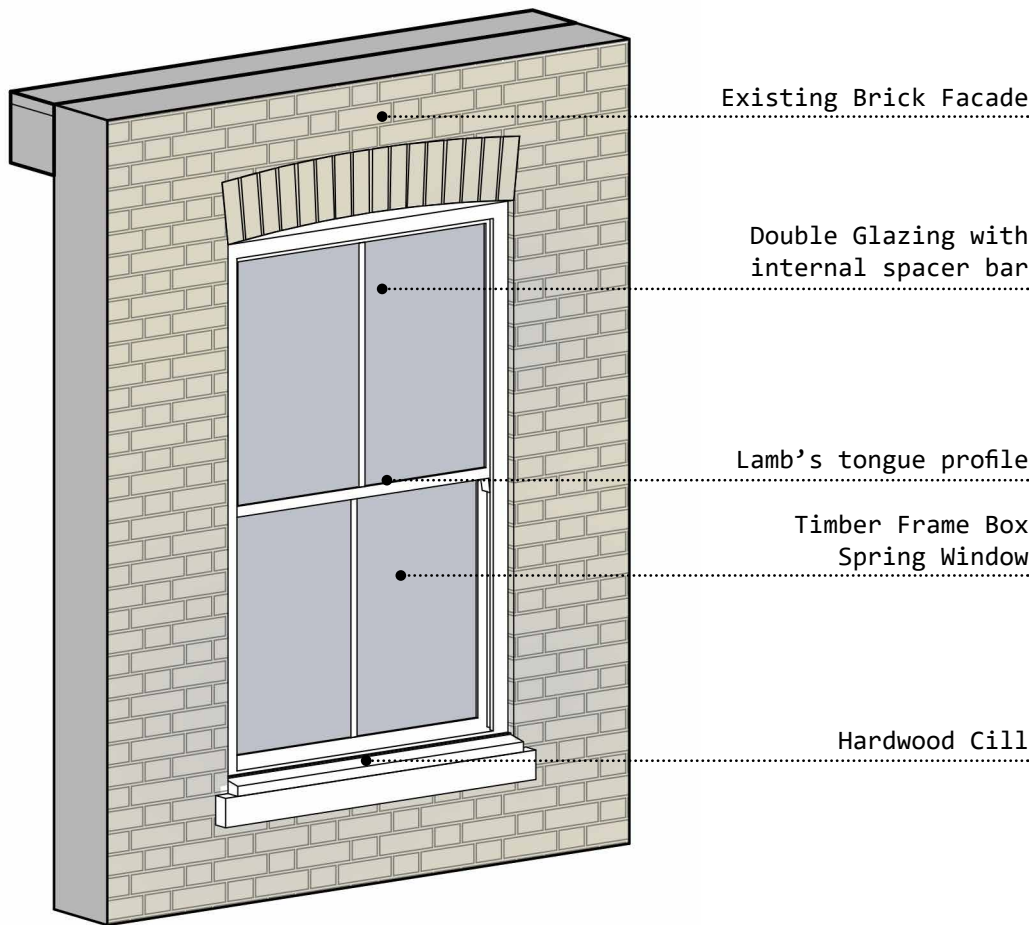


Example of a replaced Timber frame Sash Window

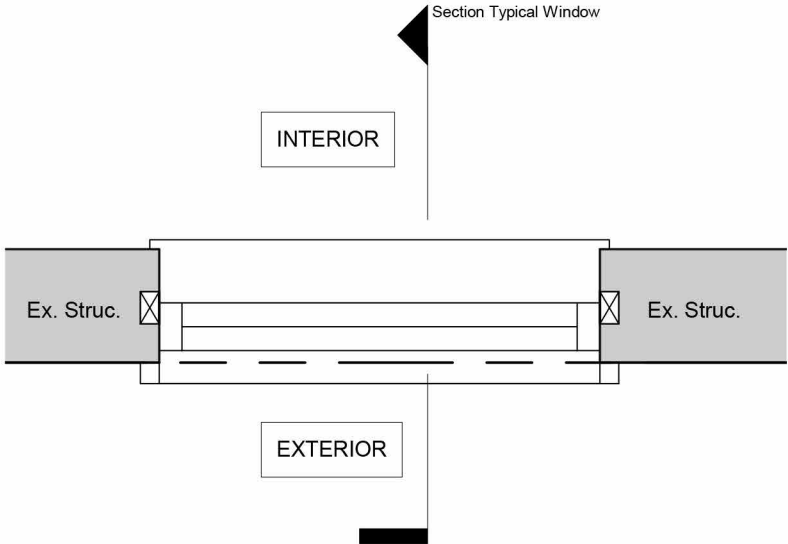


4.1 Typical Replacement Window

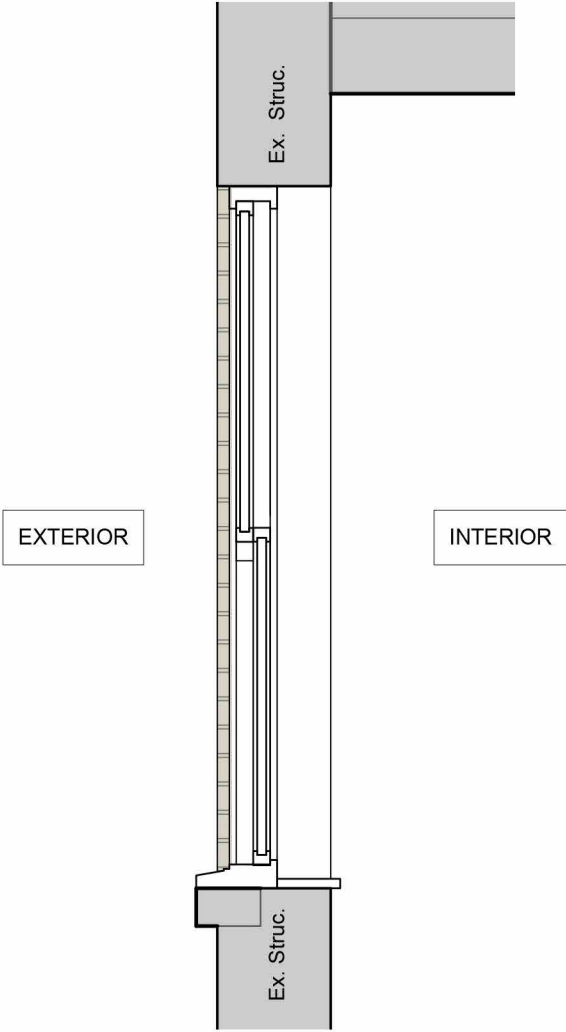
Like for like replacement of existing white painted timber frame sash windows



Elevation Typical Window
1 : 20



Plan Typical Window
1 : 20

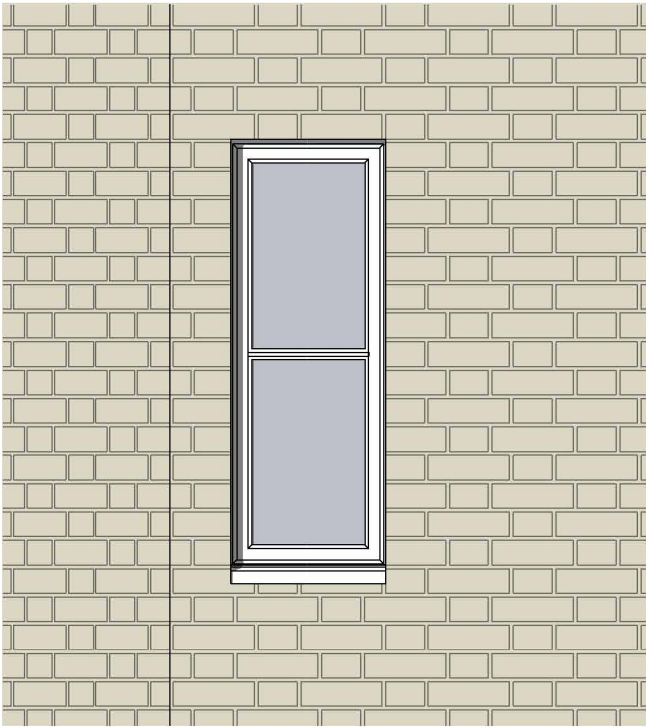
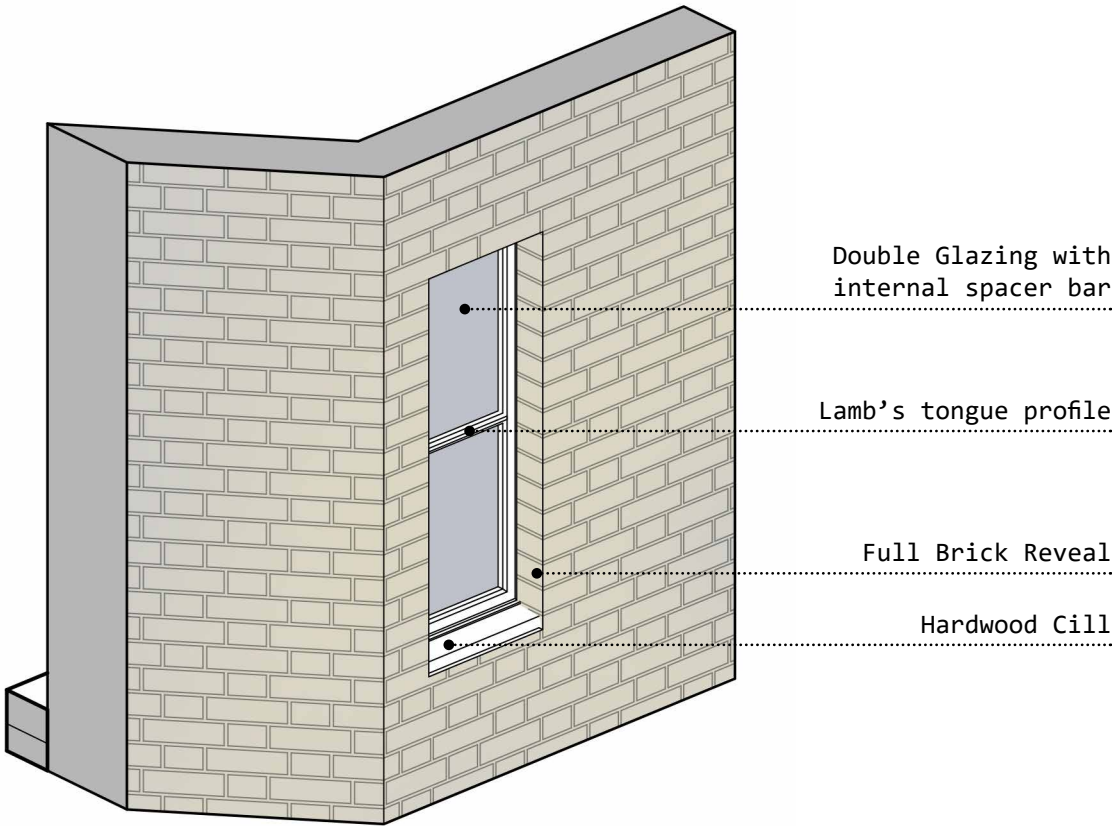


Section Typical Window
1 : 20

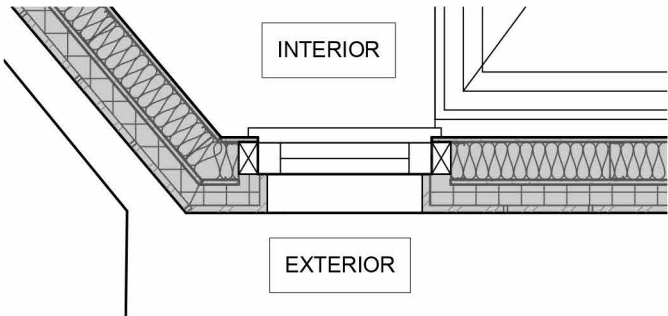


4.2 Staircase Window

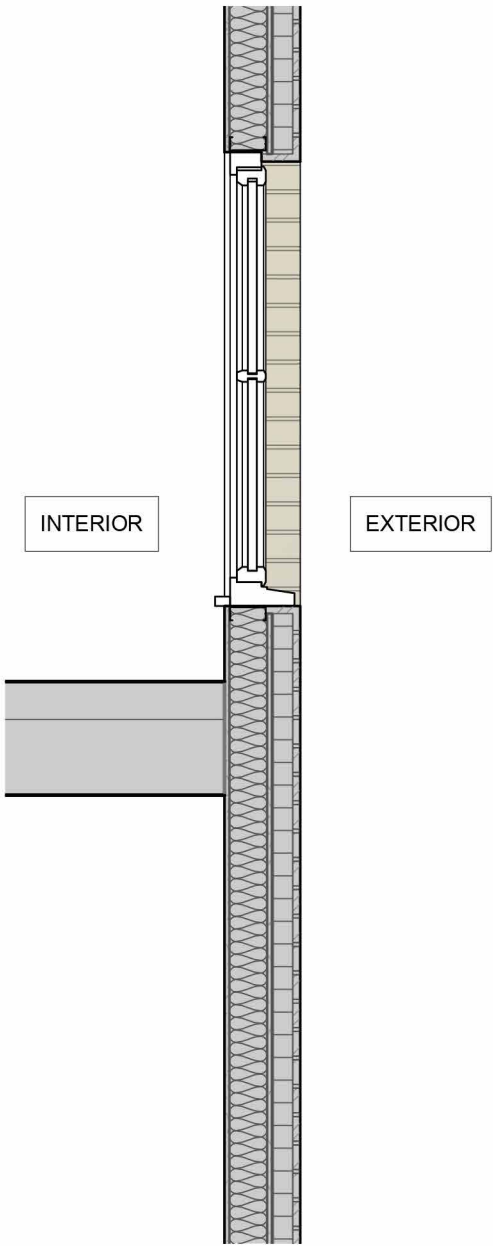
Th new windows in the brick extension will match the replacement windows in style and working.



Elevation Staircase Window
1 : 20



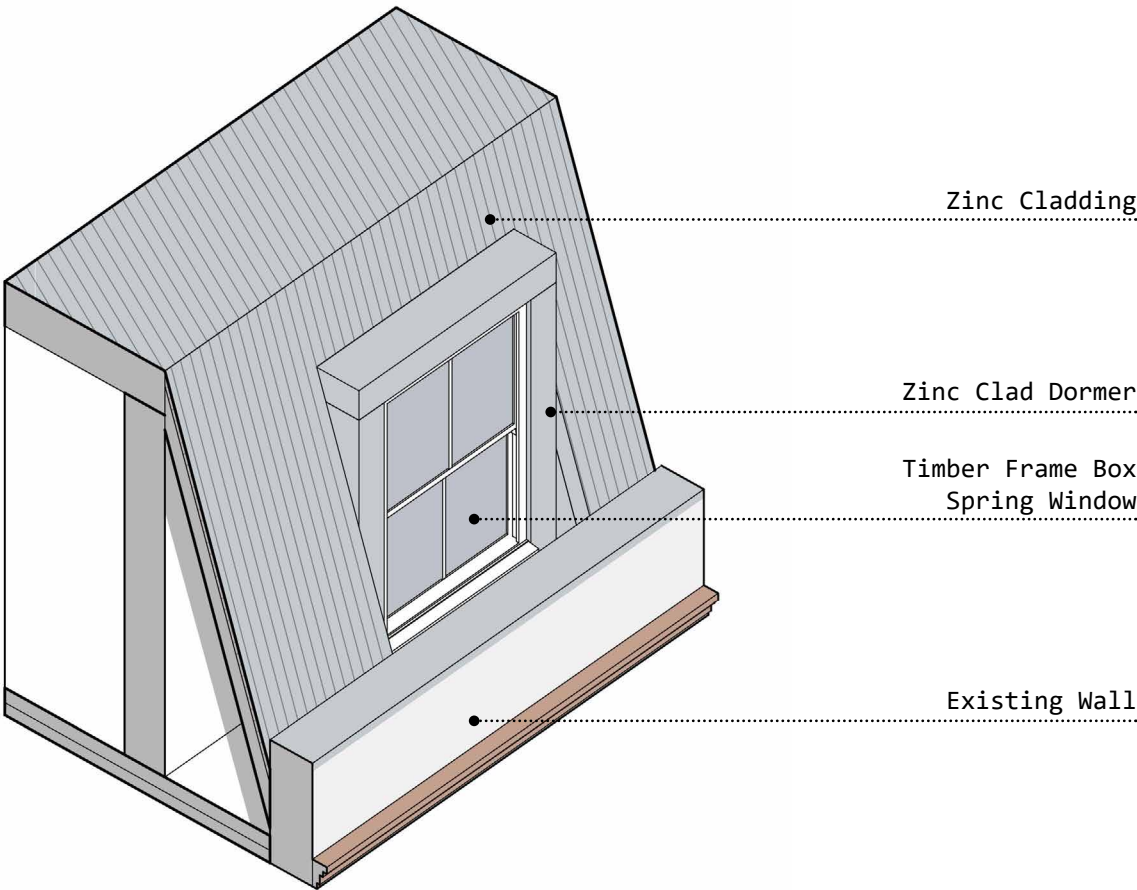
Plan Staircase Window
1 : 20



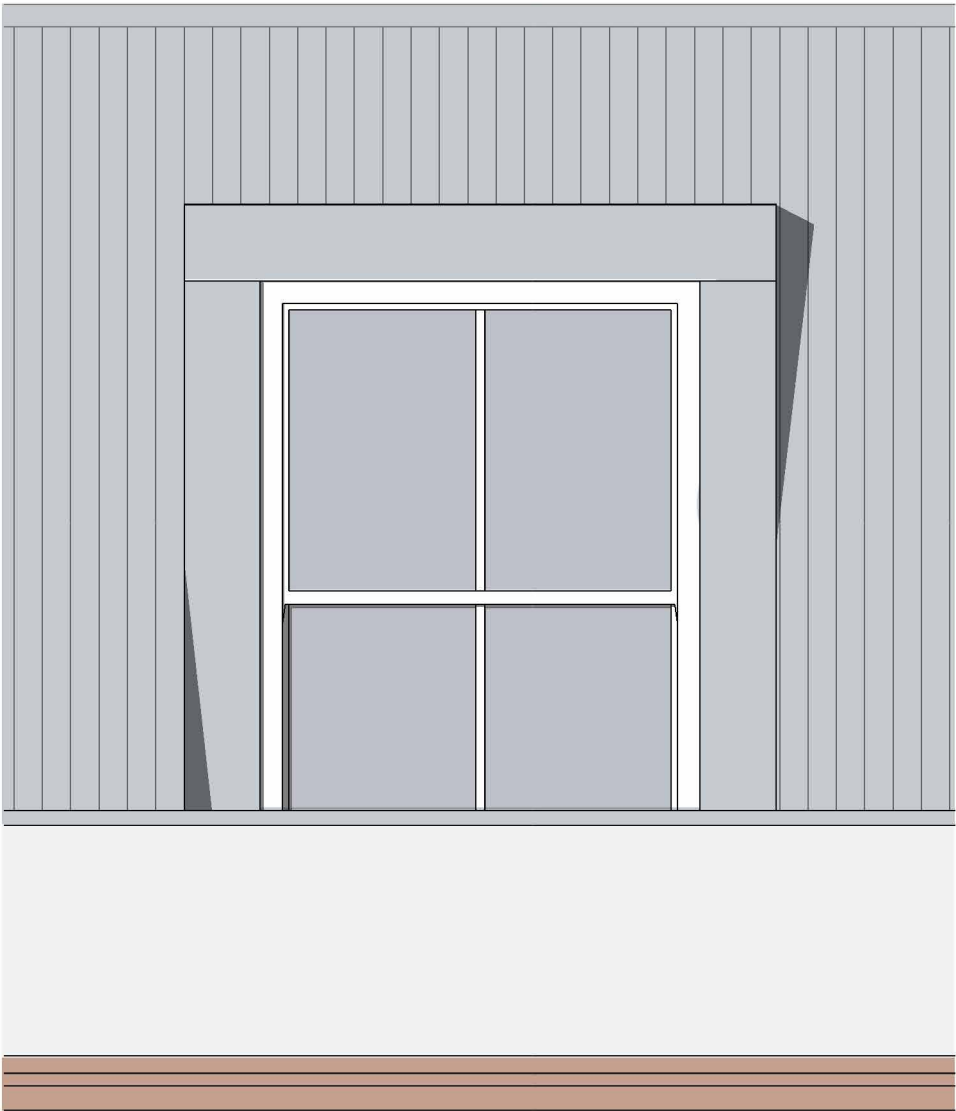
Section Staircase Window
1 : 20

4.3 Dormer Window

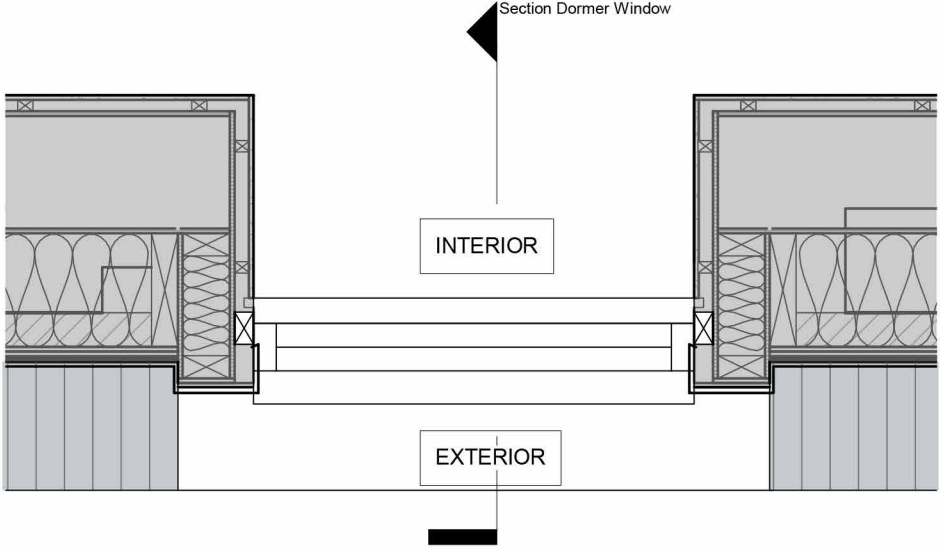
The new windows in the mansard extension will match the replacement windows in style and working.



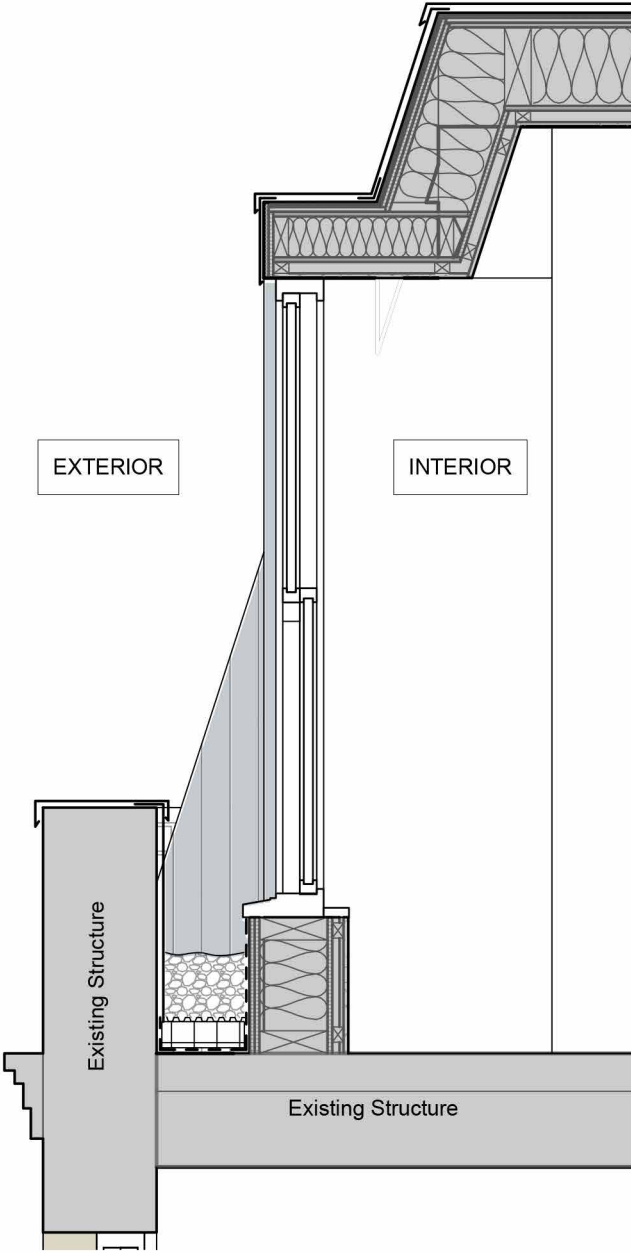
Axo_Dormer Window



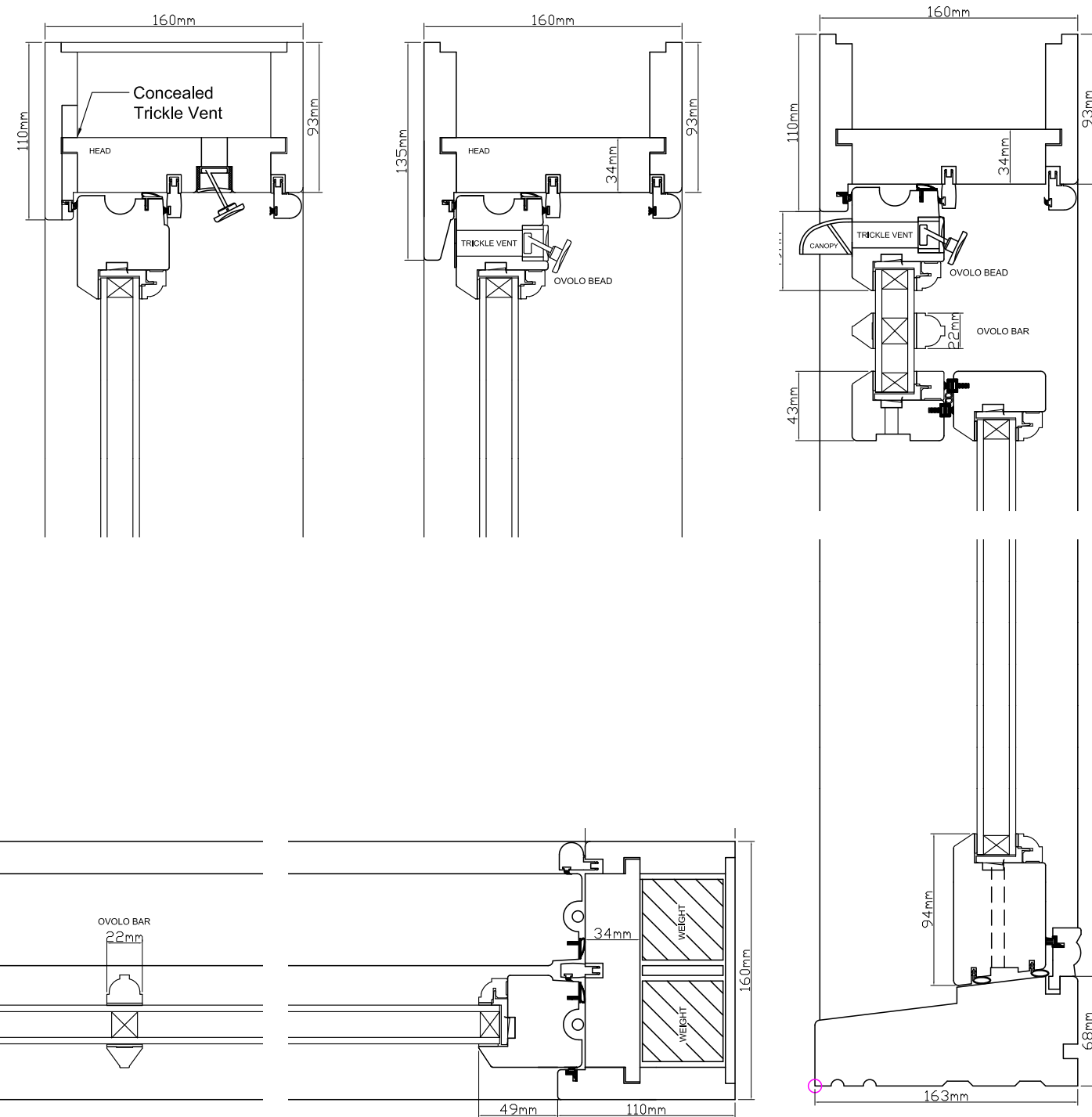
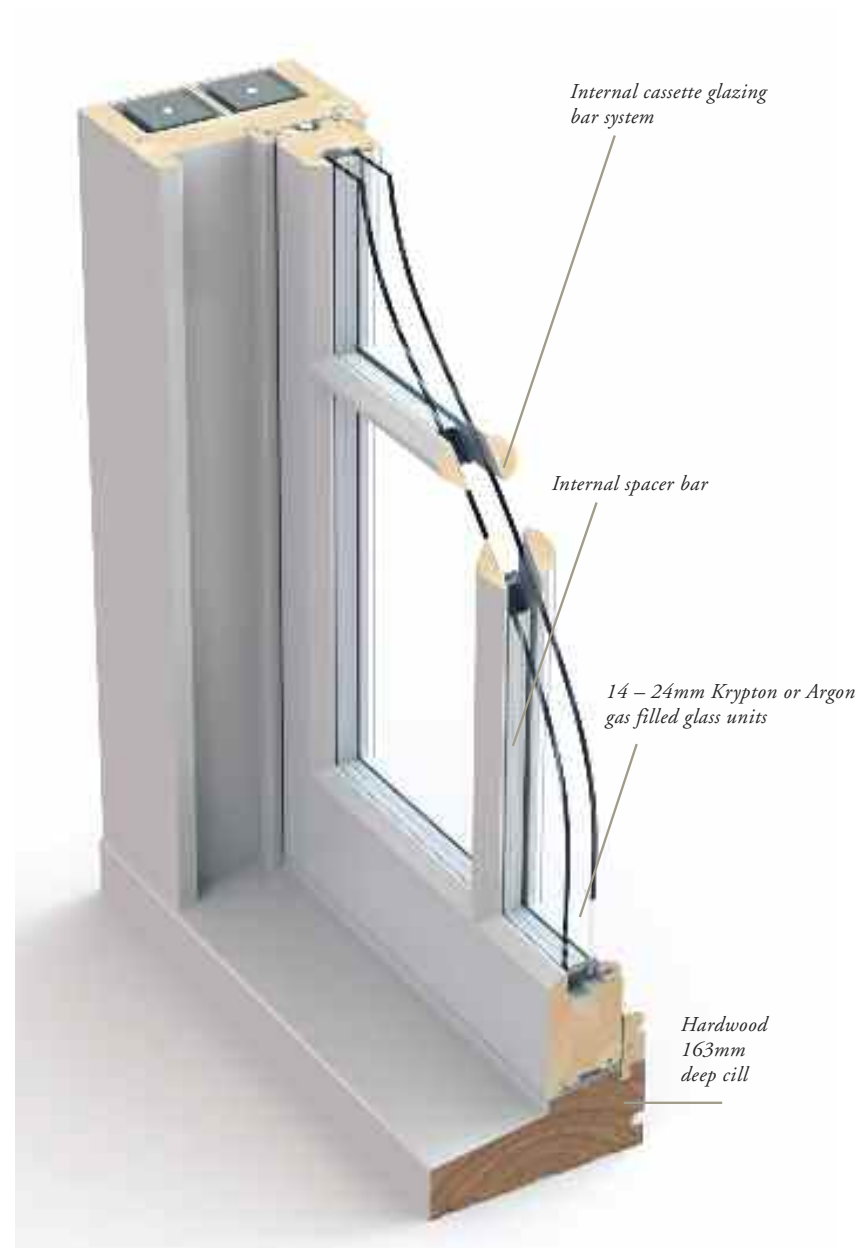
Elevation Dormer Window
1 : 20



Plan Dormer Window
1 : 20



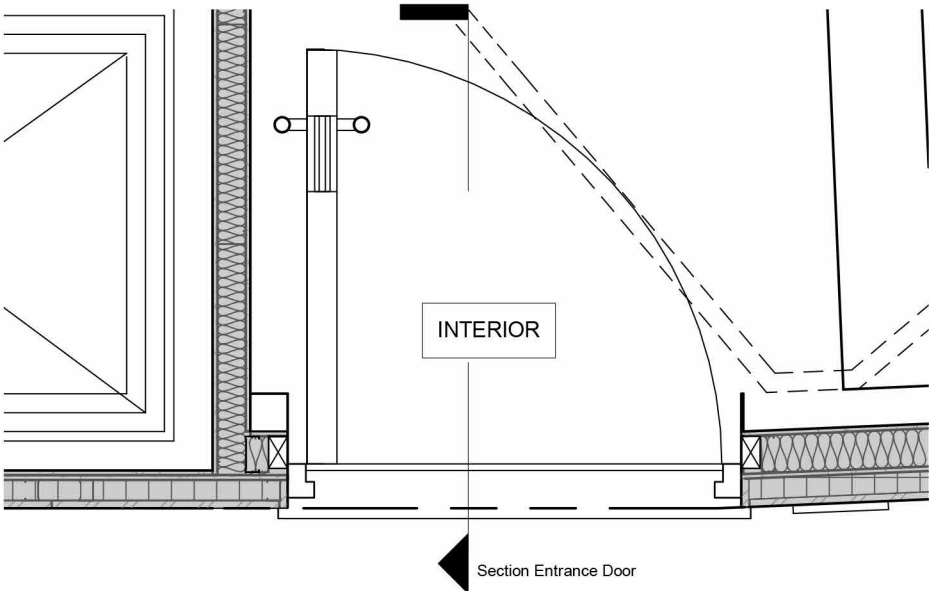
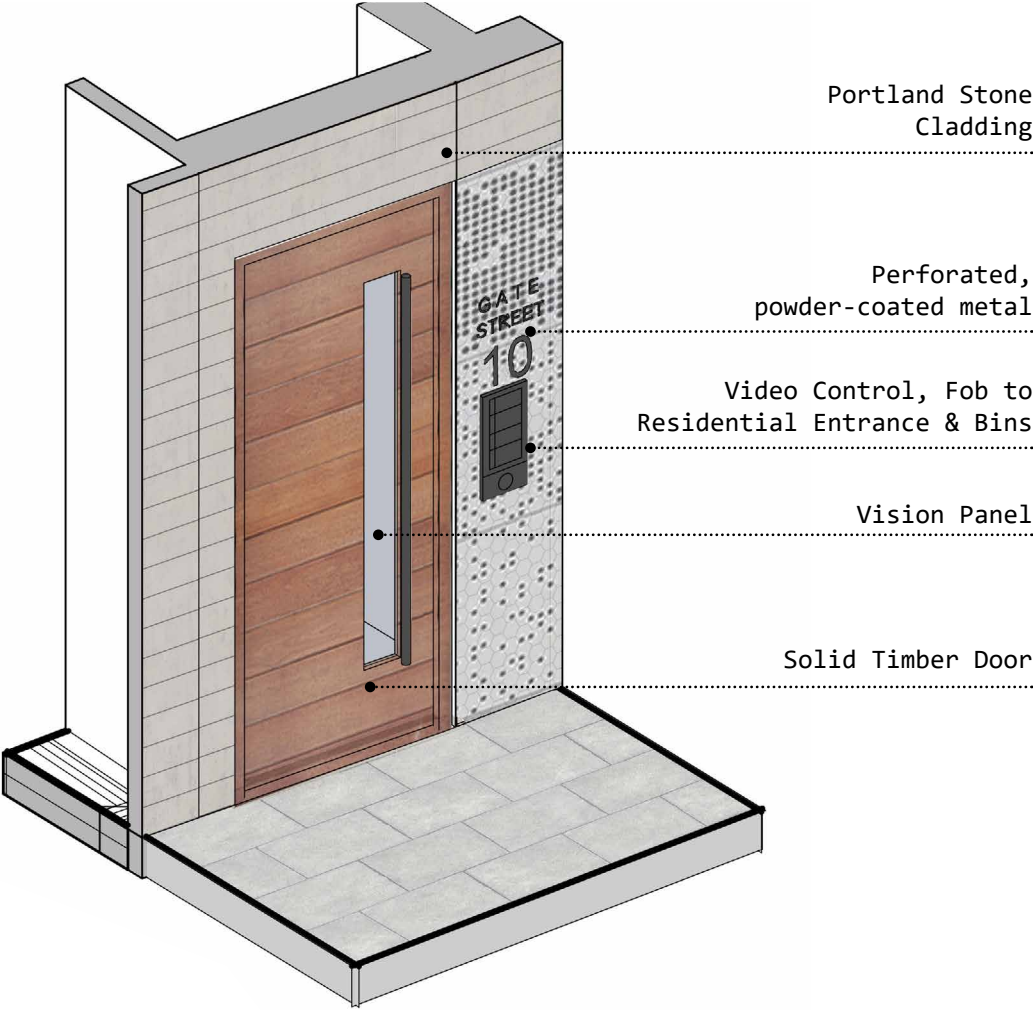
Section Dormer Window
1 : 20



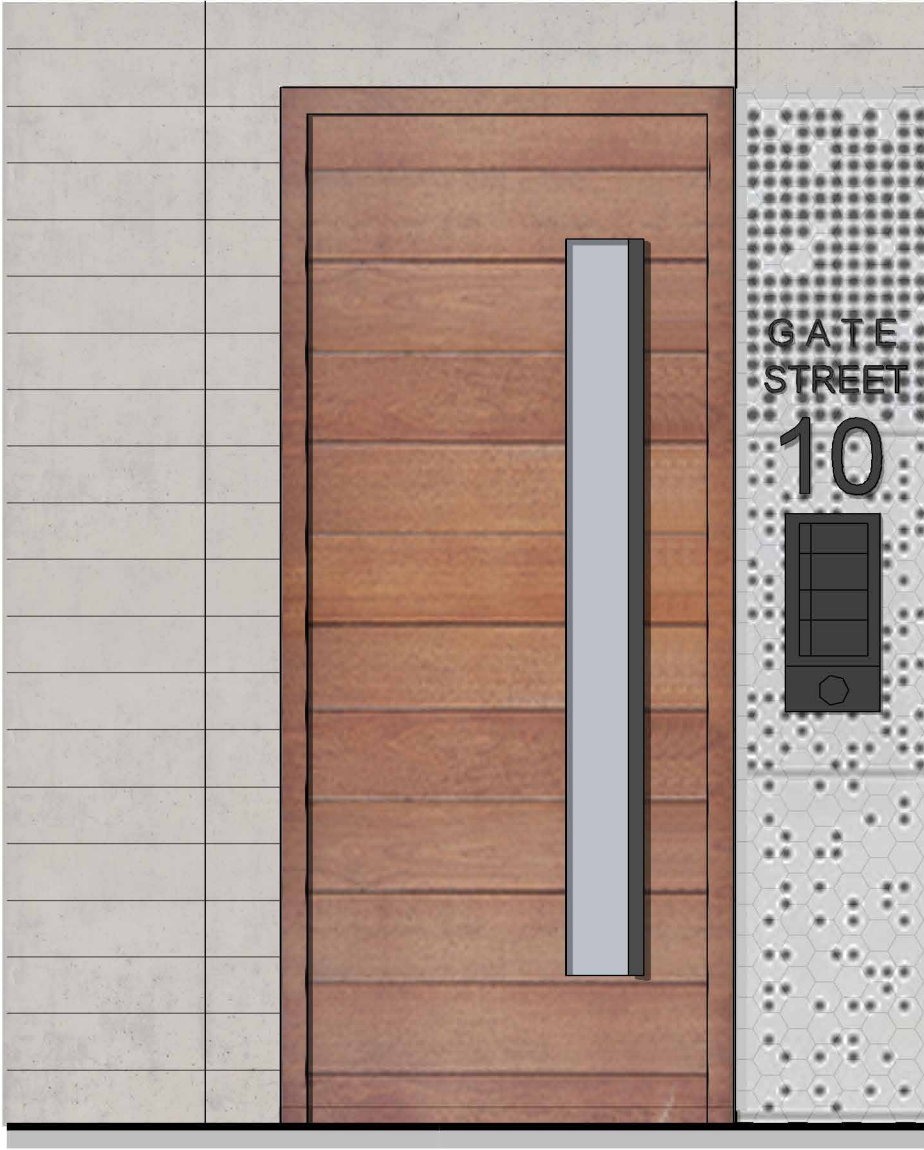
Window Details

4.4 Entrance Door

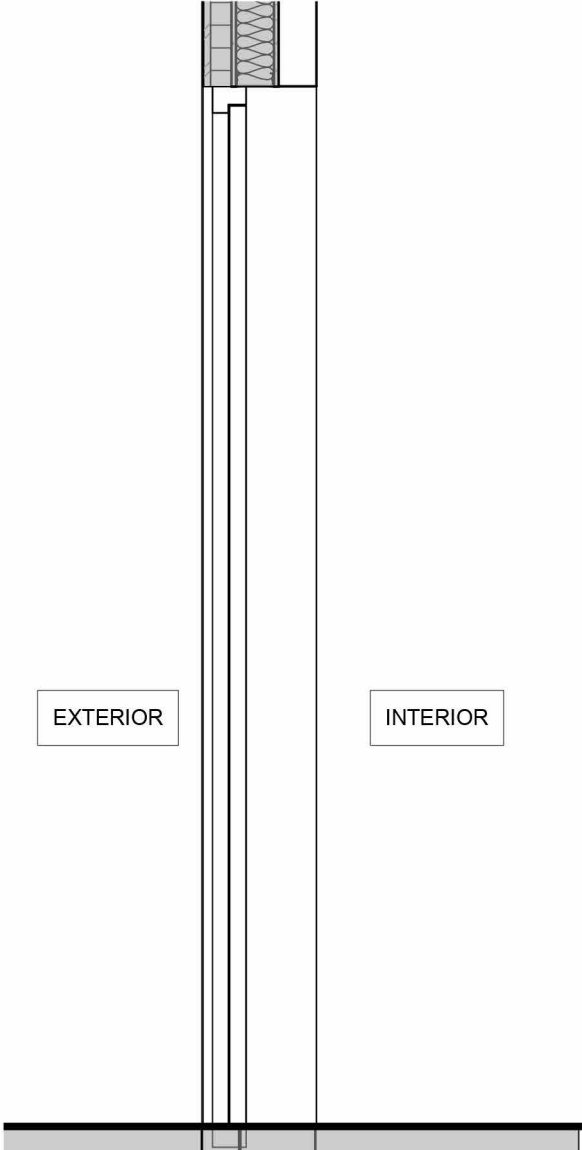
Solid Hardwood Timber Door



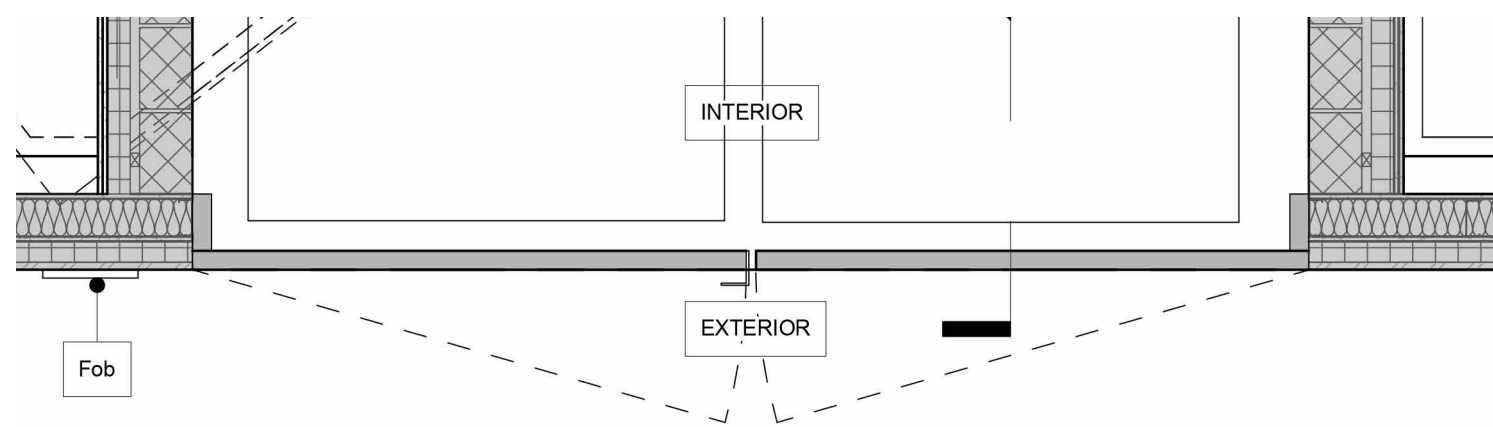
Plan - Entrance Door
1 : 20



Elevation Entrance Door
1 : 20



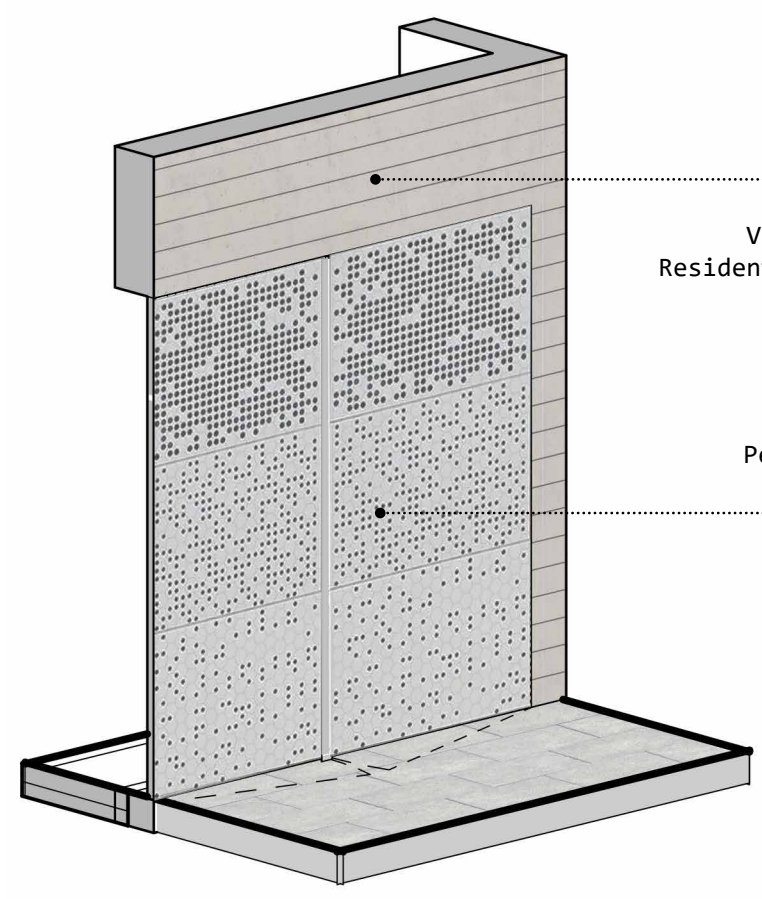
Section Entrance Door
1 : 20



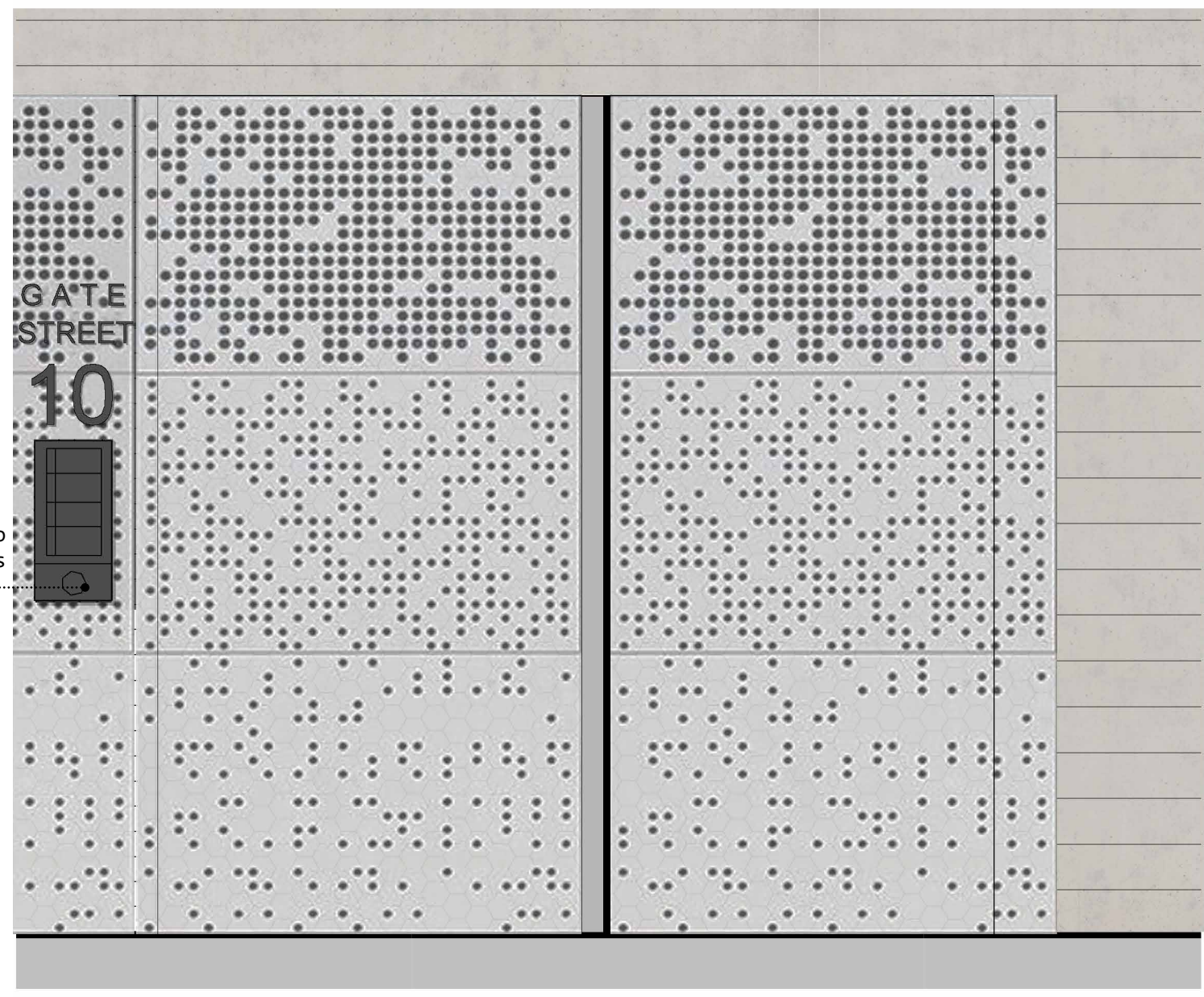
Plan - Bin Store Door
1 : 20

4.5 Bin Store Door

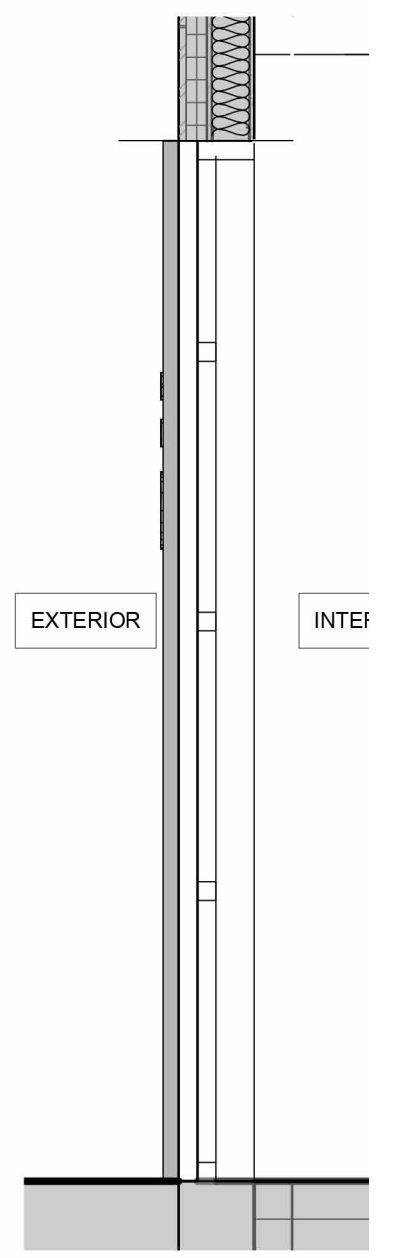
Perforated Metal Door to Bin store matches the metal facade and allows for ventilation.



- Portland Stone Cladding
- Video Control, Fob to Residential Entrance & Bins
- Perforated, powder-coated metal door



Elevation Bin Store Door
1 : 20

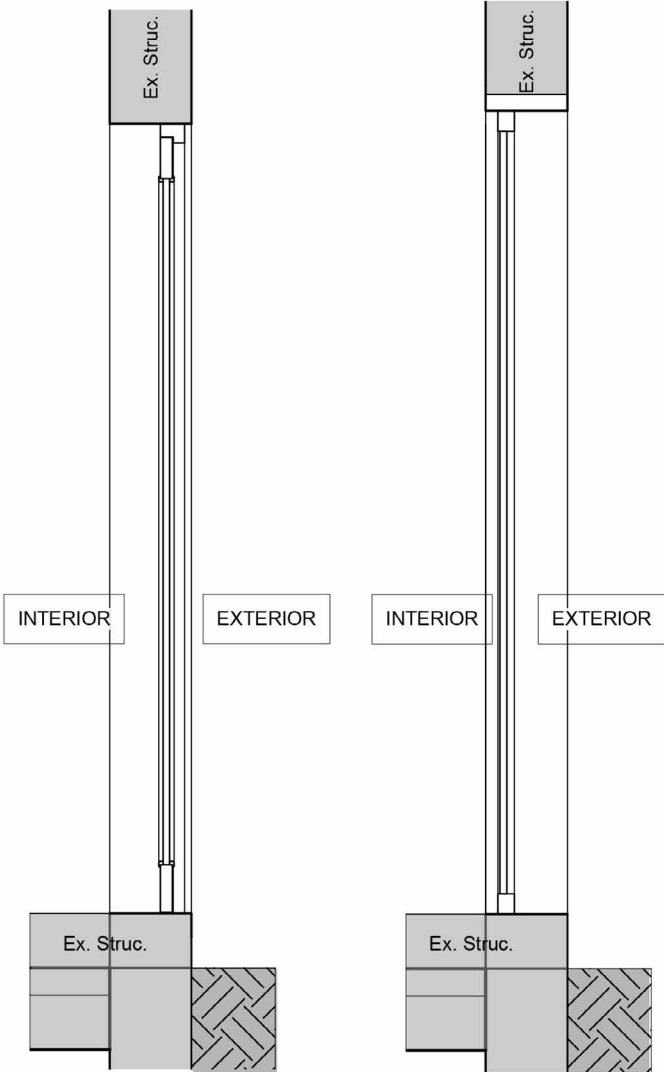


Section Bin Store D
1 : 20

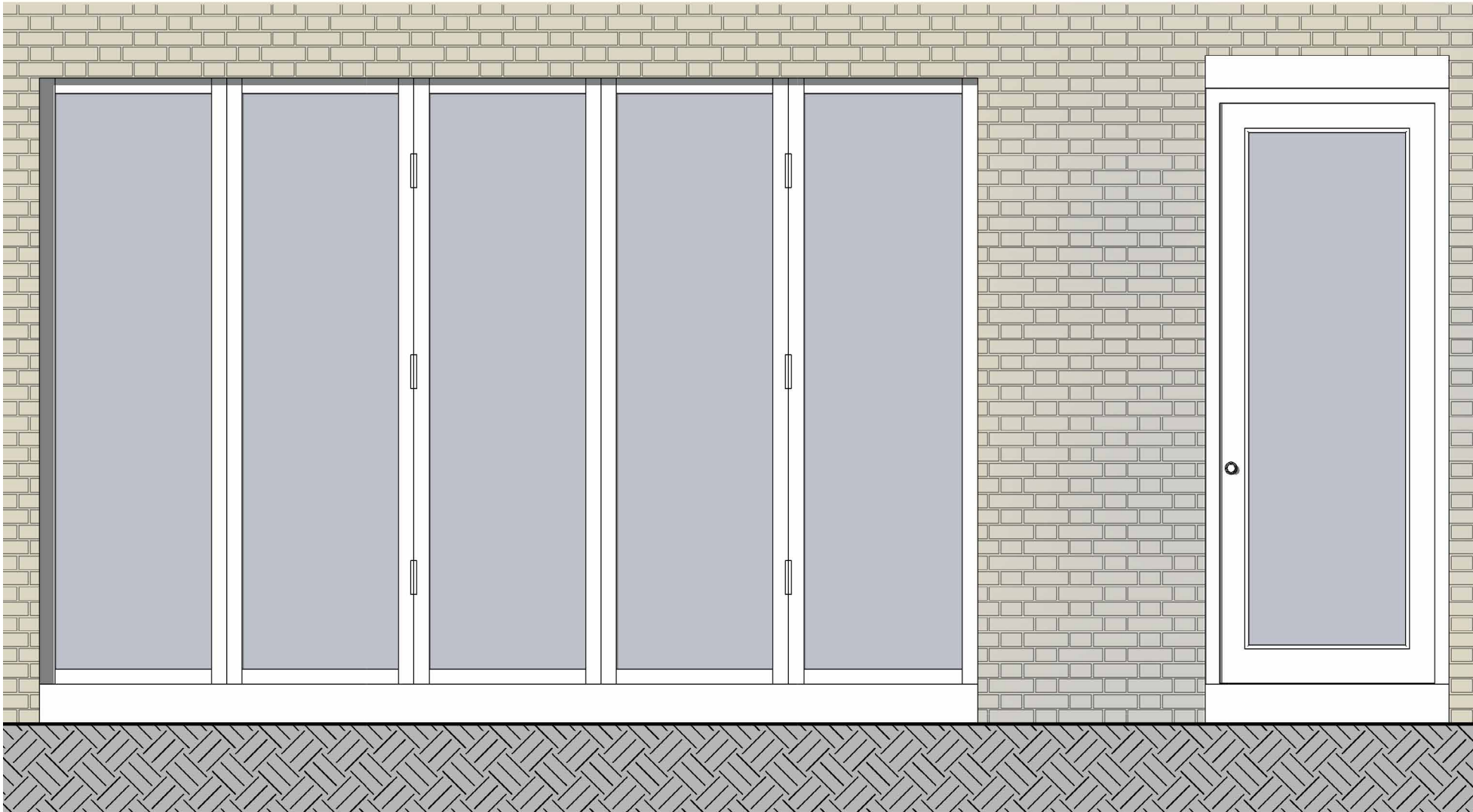


4.6 Shopfront

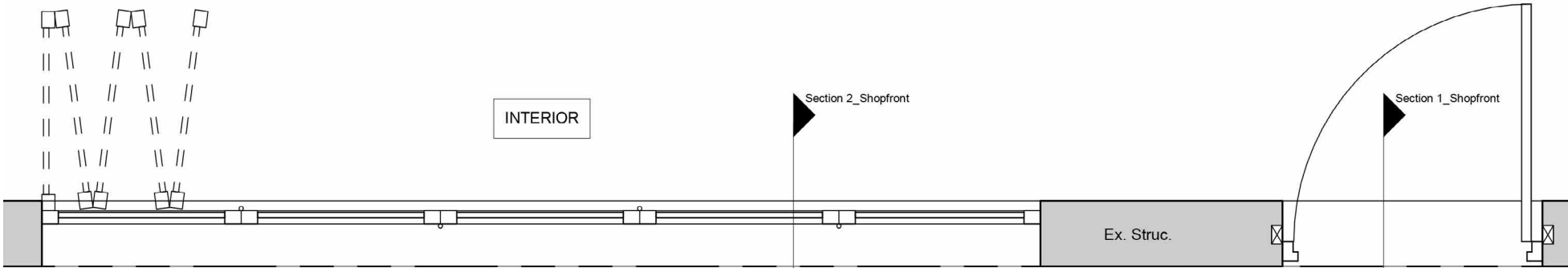
Existing Bifolding windows to be replaced with full height, white painted timber frame bifolding system.
Existing door to be replaced with white painted timber frame door with glass panel.



Section 1_Shopfront 1 : 25 Section 2_Shopfront 1 : 25



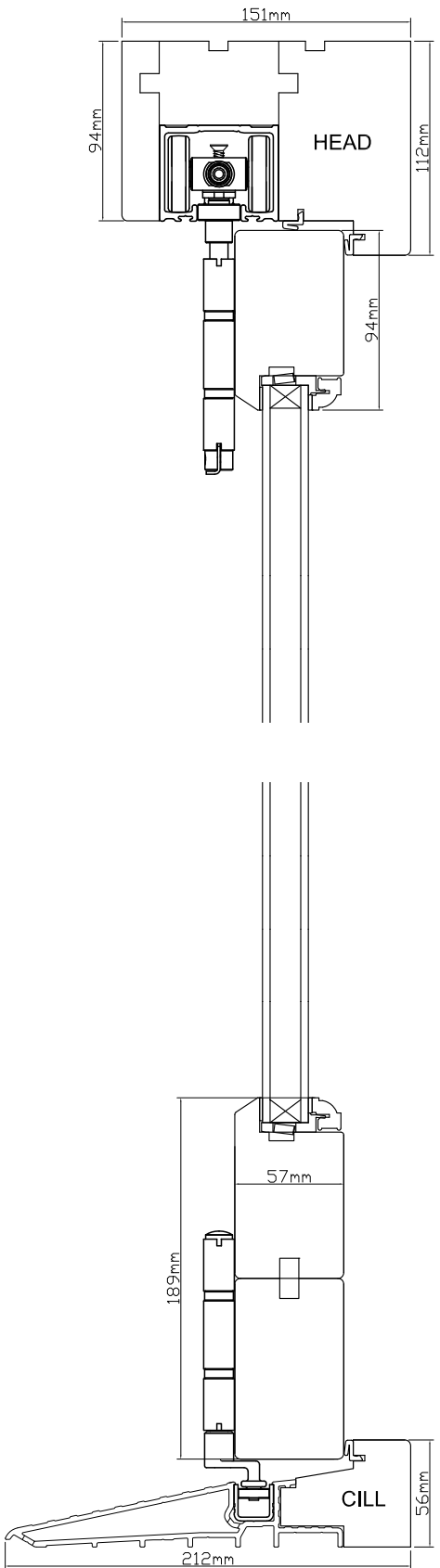
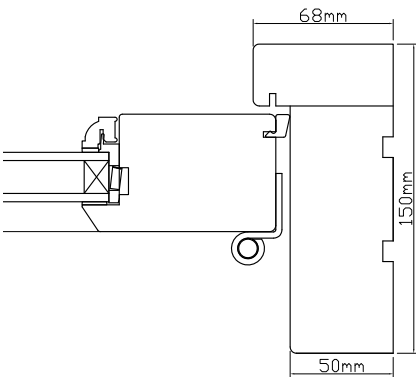
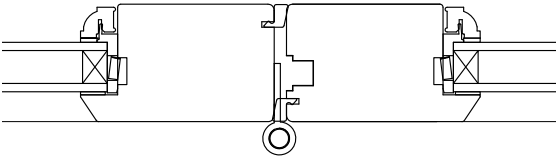
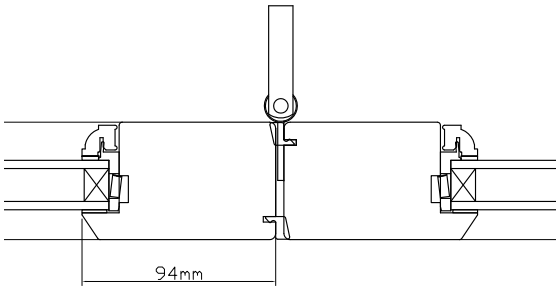
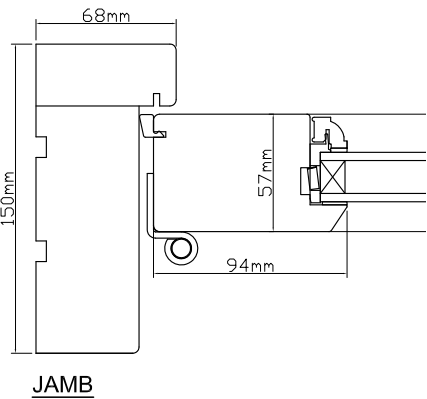
Elevation Shopfront 1 : 25



Plan Shopfront 1 : 25



4.6.1 Details
Bifolding Doorset



4.6.1 Details
Entrance Door

