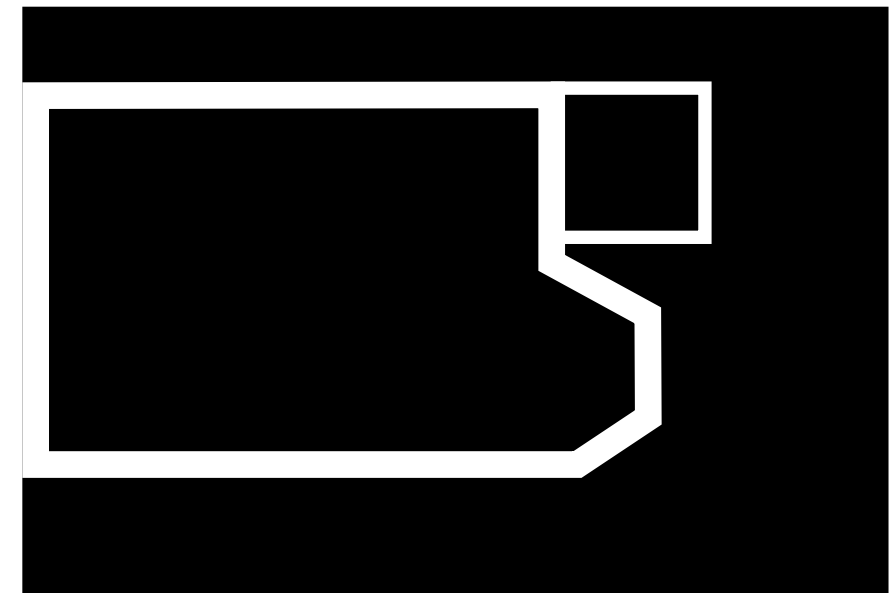


12 Elsworthy Road

Design and Access Statement

RIBA 
Chartered Practice

June 2019



barefoot architects

PROJECT ADDRESS:

12 Elsworthy Road
London
NW3 3DJ

CLIENT:

Jonathan Hilliard and Anna Littler

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Design and Access Statement

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Red line to page 4 corrected.

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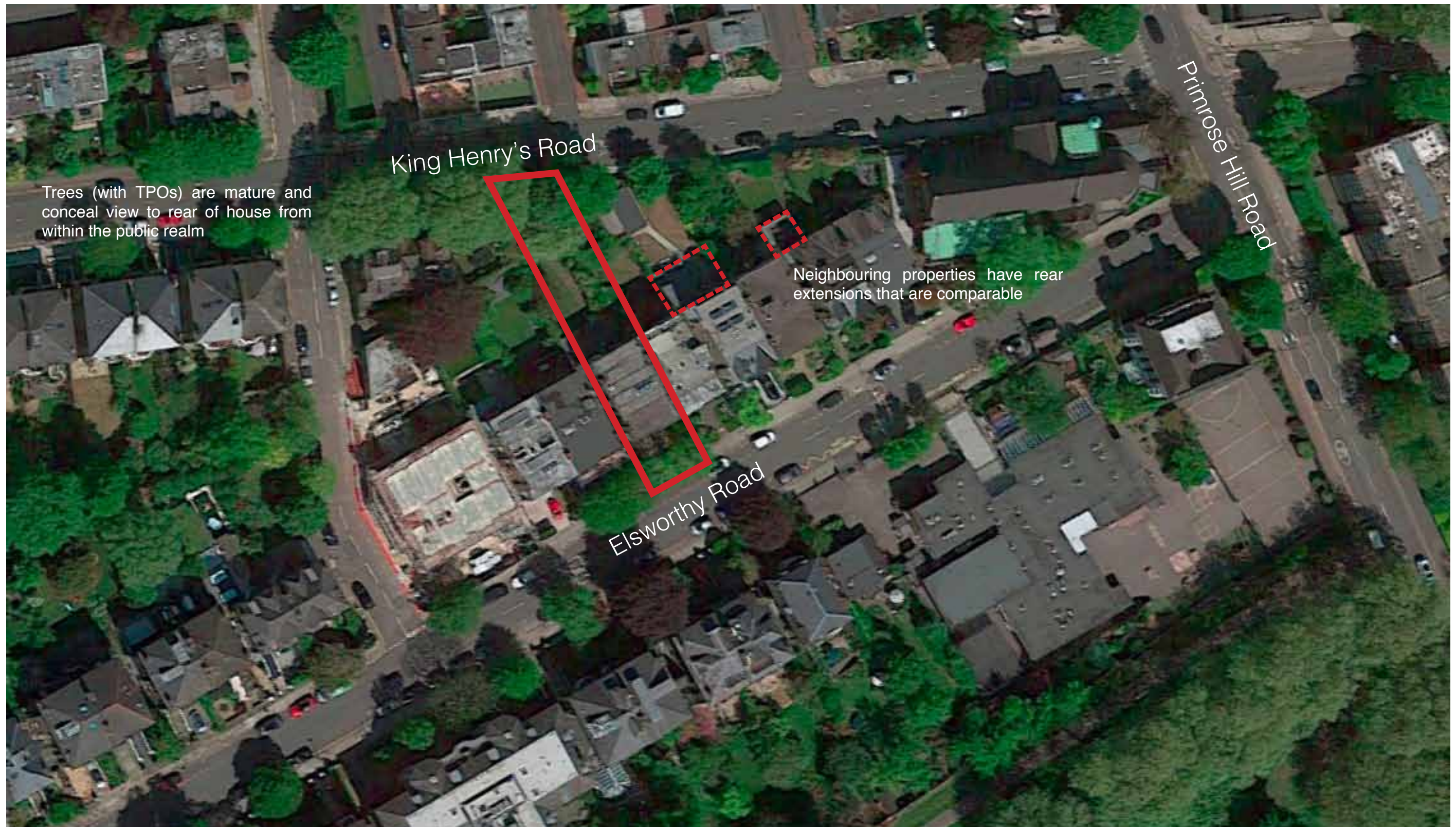
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1. Location Plan(s)



2. Introduction

Barefoot Architects have been appointed to consider the options for extending the property at 12 Elsworthy Road, Primrose Hill in London's NW3. This design and access statement has been prepared to assess the impact of the proposals to extend the existing property by replacing a former conservatory structure with a new family dining / garden room providing the family with better connection between their kitchen and dining areas, and to their garden.

The site is located to the Eastern side of Elsworthy Road near the junction with Primrose Hill Road. The dwelling is a large 3 Storey Townhouse with accommodation over 3 floors. It is built in a part 'Tudor' style using dark stock bricks and half timbered elevations with black timber structure in filled with white render. The property is part of a terrace of 10 houses all built in similar style. A full height rooftop extension has been previously undertaken, and this contains additional bedrooms and accommodation.

The remainder of the property consists of a lowered garden which is bounded by a brick wall extending around the eastern and western boundary. The previous lean-to conservatory was of no architectural merit and detracted from the property and is proposed to be replaced with something of higher architectural quality which enhances the appearance of the dwelling.

The following document considers the existing site, planning context, massing scale, accessibility and layout and how the material appearance responds to the site location.

3. Brief

New Dining Room Extension

- The house previously had a single storey conservatory building adjoining a recently refurbished kitchen.
- The project is to replace this building element with a permanent space to create an open plan dining area that connects well to the kitchen and garden.
- It is to be highly glazed to allow sufficient natural daylight into the current kitchen space, and should seek to mediate between the levels of the house and lower garden level below.
- The current raised timber decking will all be removed as part of the project and replaced with new decking and steps.



Isometric overview of existing

4. Planning Context

Planning Context Lichfields

Section 38(6) of the Planning and Compulsory Purchase Act 2004 states that:

“If regard is to be had to the development plan for the purpose of any determination to be made under the planning acts the determination must be made in accordance with the plan unless material considerations indicate otherwise.”

Section 72 of the Planning (Listed Building and Conservation Areas) Act 1990 states that the local planning authority has a duty to pay special attention to the “desirability of preserving or enhancing the character or appearance” of a Conservation Area.

The statutory development plan for the London Borough of Camden consists of the Camden Local Plan (2017) and the London Plan (2016). It also includes the Sites Allocations Plan (2013); Euston Area Plan (2015) and Fitzrovia Area Action Plan (2014) but these are not relevant to this application. The National Planning Policy Framework (2019) and Camden Planning Guidance documents CPG 1 Design (updated 2019) and CPG Amenity (2018) are material considerations. The Elsworthy Road Conservation Area Appraisal and Management Strategy (2009) is also a material consideration as the site is located within Elsworthy Road Conservation Area.

The key policies relevant to design matters are:

- Local Plan Policy A1: Managing the Impact of Development
- Local Plan Policy D1: Design
- Local Plan Policy D2: Heritage

A full planning assessment is set out in the covering letter, prepared by Lichfields.

5. Photographic Survey



Black & White. Half timbered facade. Level change



Position of former conservatory to be replaced



Bay window feature is important.



Neighbouring extensions to either side

5.1 Concept Design Development

The proposed works intend to build upon the area previously occupied by a conservatory to create a new single storey extension that is more in keeping to the materials of the existing building.

The proposal seeks to make use of the change of level to the garden and to provide an interesting transition between kitchen and dining room, and enhance the connection to the garden area. The aim is to create a comfortable internal environment that will compliment the appearance of the property. Additional natural light to the house will be provided by a large rooflight, whilst a level timber deck will provide external amenity space.

Prior to developing designs for the project, the applicant has consulted their neighbour at ground floor flat at 14 Elsworthy Road whose property adjoins the site.

The proposal will be of a consistent height to the feature bay window. We are also proposing to use contemporary window frames that harmonise with the existing sash windows. We are proposing a design that maximises new build thermal efficiencies through the use of triple glazed windows and rooflights.

The geometric characteristic of the house is referenced in the proposal, using a dark painted timber clad box to match the existing elevation features such as the black angular half timbered mock Tudor cladding which is a prominent feature of the terrace.



A Timber volume with large, equally sized door, picture window and rooflight.

6. Amount, Scale, Layout and Accessibility

Amount & Scale

The new extension represents an increase in footprint area but only extends as far as the existing raised deck platform. When viewed in the context of the rear elevation of the terrace, the extension has a minimum impact. This is because the proposal is for a low profile, architecturally sensitive extension that uses natural timber products.

Access

The proposed access is determined to be more friendly for people with mobility issues. Although the change in level between the dining room and the existing house is being retained, we are proposing a level external deck which will allow more universal access. No change to parking provision is proposed.

Layout

The proposed dwelling is arranged around a large dining room extension which provides natural daylight and amenity space to the rear of the dwelling. The timber decking is accessible by a sliding glass door, with new timber fencing to provide privacy from the neighbours. The garden provides additional amenity area for residents to enjoy the outdoors in the summer.

Sustainability

The technical design of the extension is proposed to use a 'fabric first approach', this method involves maximising the performance of the materials of the building fabric itself, before considering the use of mechanical or electrical building service systems. This approach helps to improve energy efficiency and reduce carbon emissions.



7. Appearance and Materials

The proposal is to use high quality materials which respond carefully to the site location. Vertical black stained timber cladding and natural decking are robust yet sensitive materials that relate to the scale of the materials found in the existing dwelling while providing a counterpoint to the greenery of the front garden. Sleek aluminium framed windows and black polyester powder coated coping and rainwater pipes are robust and durable and echo the existing materials and colours on site.

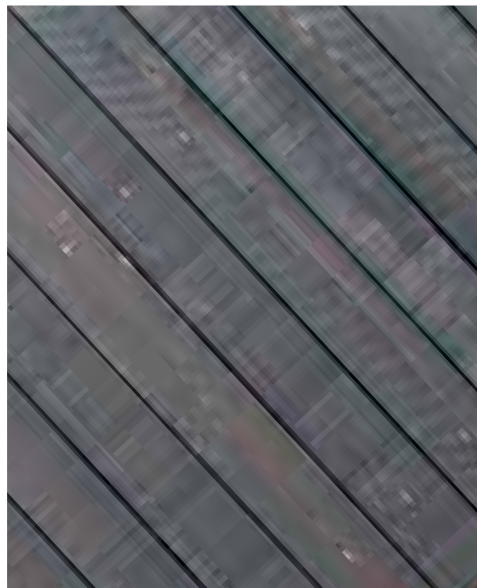
From the rear elevation, the proposed dwelling will be complimentary to the existing properties; it will present itself as a sleek black timber clad box on a brick plinth. The line of the roof is proposed to be subservient to the roof level of the bay window and a geometrically considered elevation further enforces its connection to the existing. A wild flower green roof will help embed the extension into the natural setting.



Dark stock brick to match existing



Hardwood Timber decking



Factory finished black larch timber cladding (diagonally)



S-Pod green roof system



Frameless glass to glass jointed Oriel window



Proposed rear perspective of 12 Elsworthy

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