

6 Strathray Gardens Cover Letter

This cover letter provides an overview of intention for planning application reference PP-07714809.

The purpose of this planning application is to obtain permission to convert two separate residential flats into one individual residential flat. Specifically, converting consecutive flats 'Flat 5' and 'Flat 6' in building 6 Strathray Gardens, London, NW3 4NY into one residential unit. Previously, it is understood that in the late 1990s, these properties were already one unit and we would like to combine them again. The result will be a long term family home for the current residence of Flat 6.

Figure 1 below shows a picture of 6 Strathray Gardens as it is situated on the street:



Figure 1: Building 6 Strathray Gardens

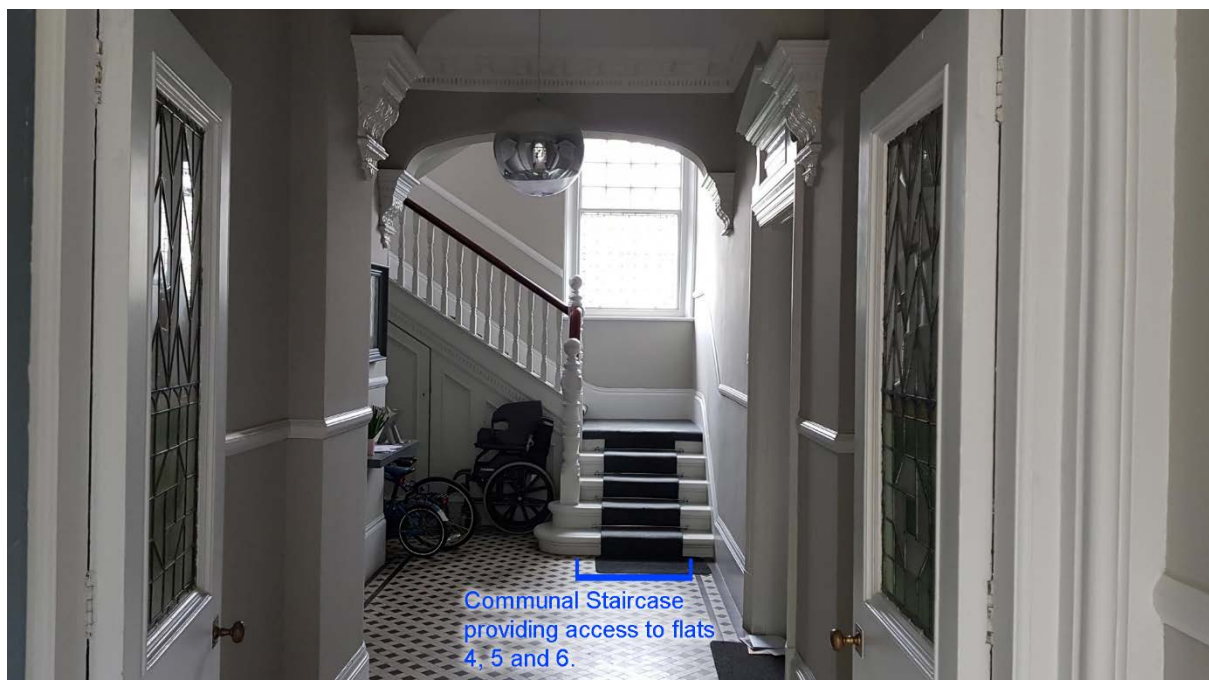


Figure 2: Communal Staircase

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As the figure highlights, Flat 6 occupies the top floor of the building, while flat 5 occupies the penultimate floor, directly beneath flat 6. There is one staircase that provides access to flats 4, 5 and 6. To access Flat 6, you must pass Flat 4 and Flat 5 on your way up. This is shown in Figure 2 above.

Once you pass flat 4, there is a half landing u-shaped staircase that leads to flats 5 and 6. This is presented in Figure 3 below:



Figure 3: Half landing staircase to flats 5 & 6

After successfully obtaining planning application, a new entrance will be created at the top of this half landing u-shaped staircase that currently leads to flats 5 & 6. The existing communal staircase will be re-used to provide access between the two levels of the proposed new property.



Figure 4: Flat 5 landing, leading to Flat 6

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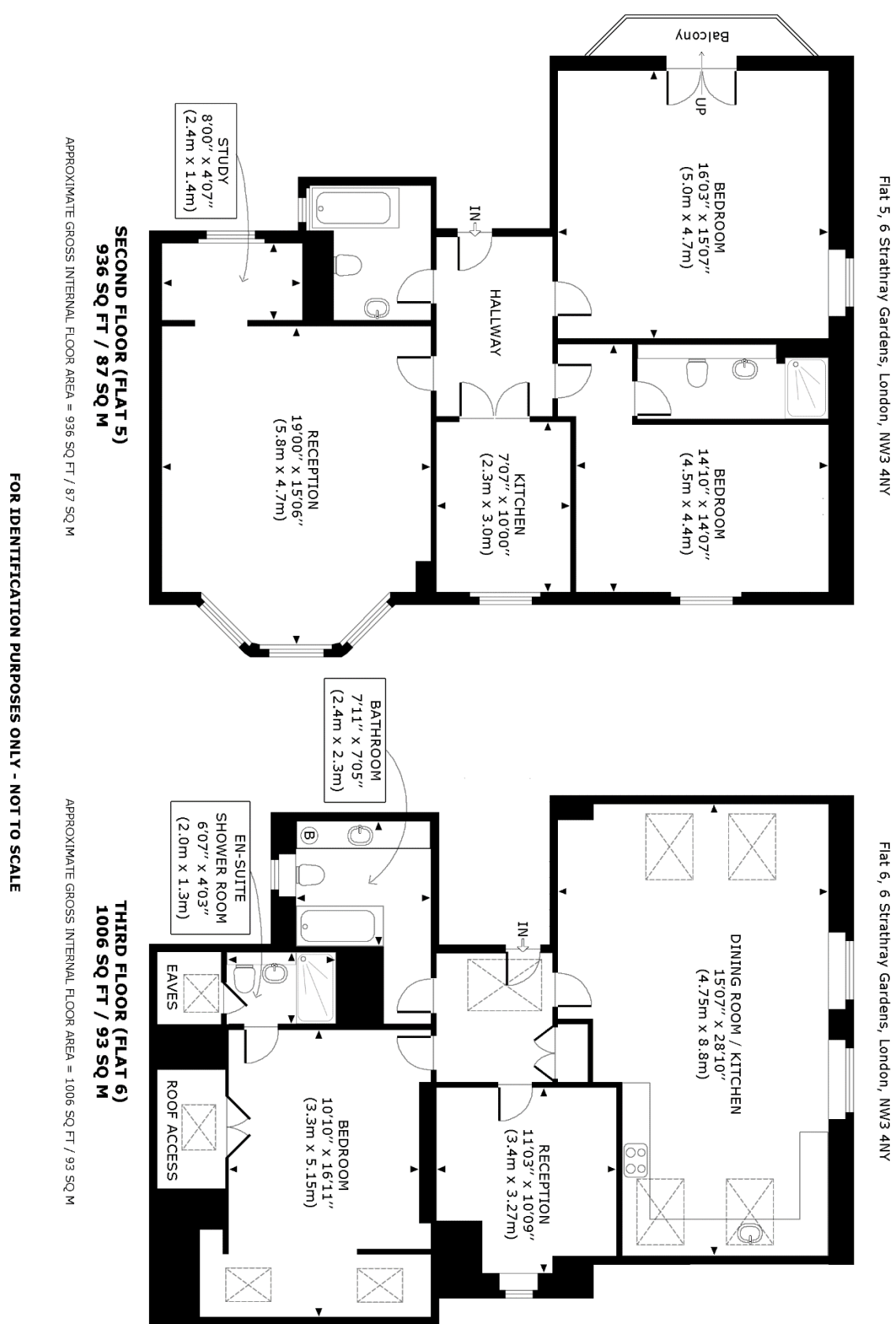


Figure 5: Existing floor plans

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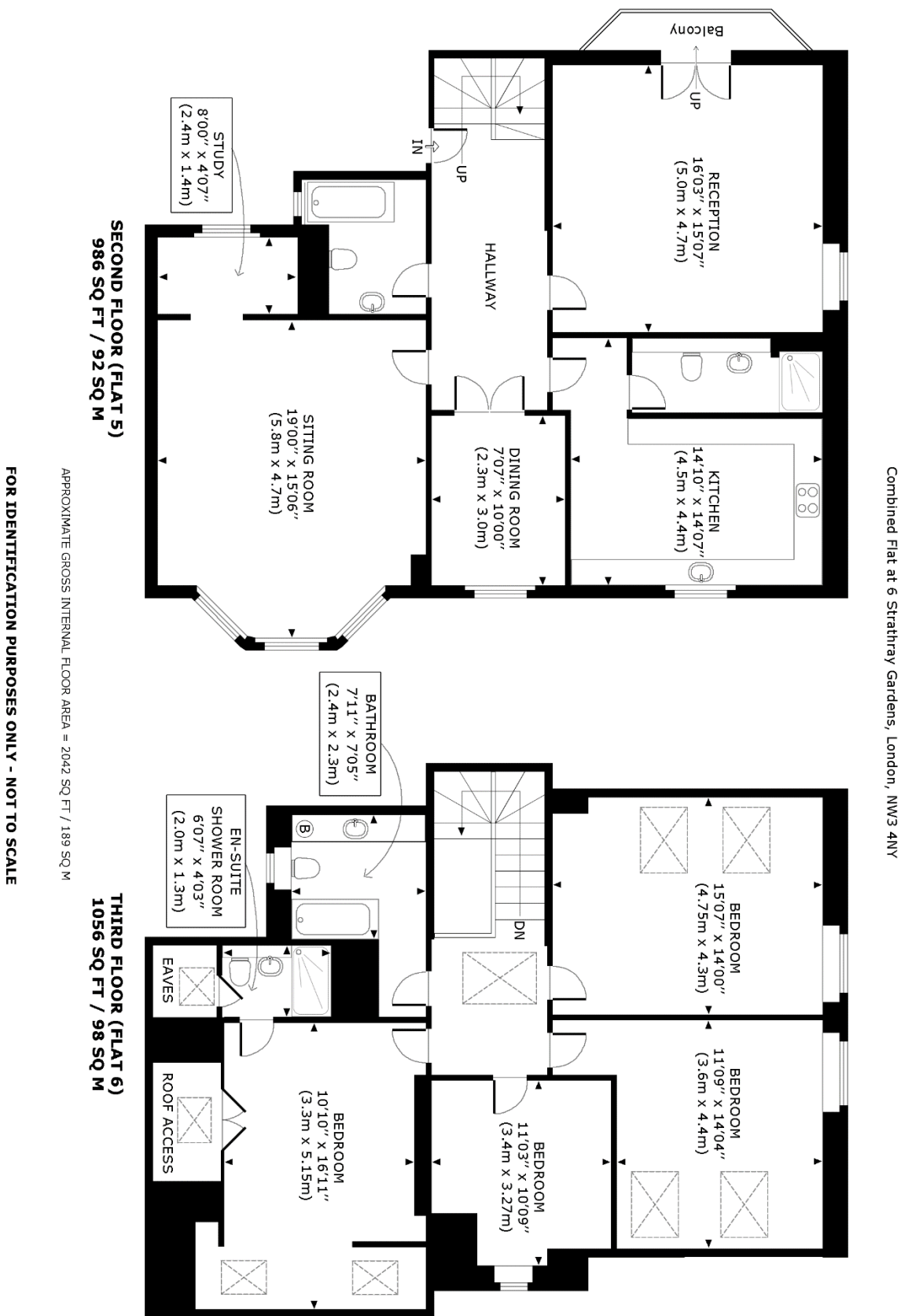


Figure 6: New floor plans

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The approach described herein will re-use the existing staircase that was previously believed to connect the two floors when they were part of one property in the late 1990. This staircase is currently a communal staircase providing access to Flat 5 and Flat 6 as detailed within this letter. The approach will avoid the need for major works and a new staircase. Included in this letter are the Existing and New floor plans, presented in Figure 5 and Figure 6, respectively. The main difference is the inclusion of the existing staircase within the new property bounds. This inclusion is approved in principle by the current freeholders (residence company). The final result is a four-bedroom family property, of approximately 2042 SQ FT.

If the planning application is approved, the owners of Flat 6 (the application) will acquire Flat 5 and convert the two title deeds into one. Although agreement in principle has already been obtained from suitable stakeholders (e.g. other freeholders via the resident's company), the planning application is an important next step.

Kind regards,

James Tromans

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