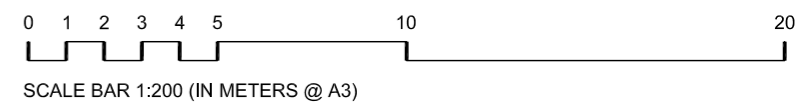


14 NETHERHALL GARDENS  
 CONSENTED ROOF LEVEL PLAN  
 EXTRAPOLATED FROM CONSENTED  
 DRAWINGS FROM PLANNING PORTAL,  
 DRAWING NO.: P\_RF\_G200\_001



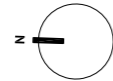

**general notes**

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FOR THE PURPOSE OF CONSTRUCTION DO NOT SCALE FROM THIS DRAWING OR THE COMPUTER DIGITAL DATA. ONLY FIGURED DIMENSIONS ARE TO BE USED.

IF IN DOUBT ASK.

**notes**

  **Root Protection Area (RPA) for trees with high higher retention priority**

- INFORMATION	08/07/19	MP/MR
- PLANNING SUBMITTAL	12/12/18	MP/MR
- INFORMATION	05/12/18	MP/MR

**project name**  
 10 NUTLEY TERRACE  
 LONDON NW3 5SB

**drawing title**  
 PROPOSED  
 SITE / ROOF  
 PLAN

**StudioMarkRuthven**  
 architecture

92 Prince of Wales Road, London, NW5 3NE  
 11 & 13 Patwell Street, Bruton, BA10 0EQ  
 T 020 7485 0050

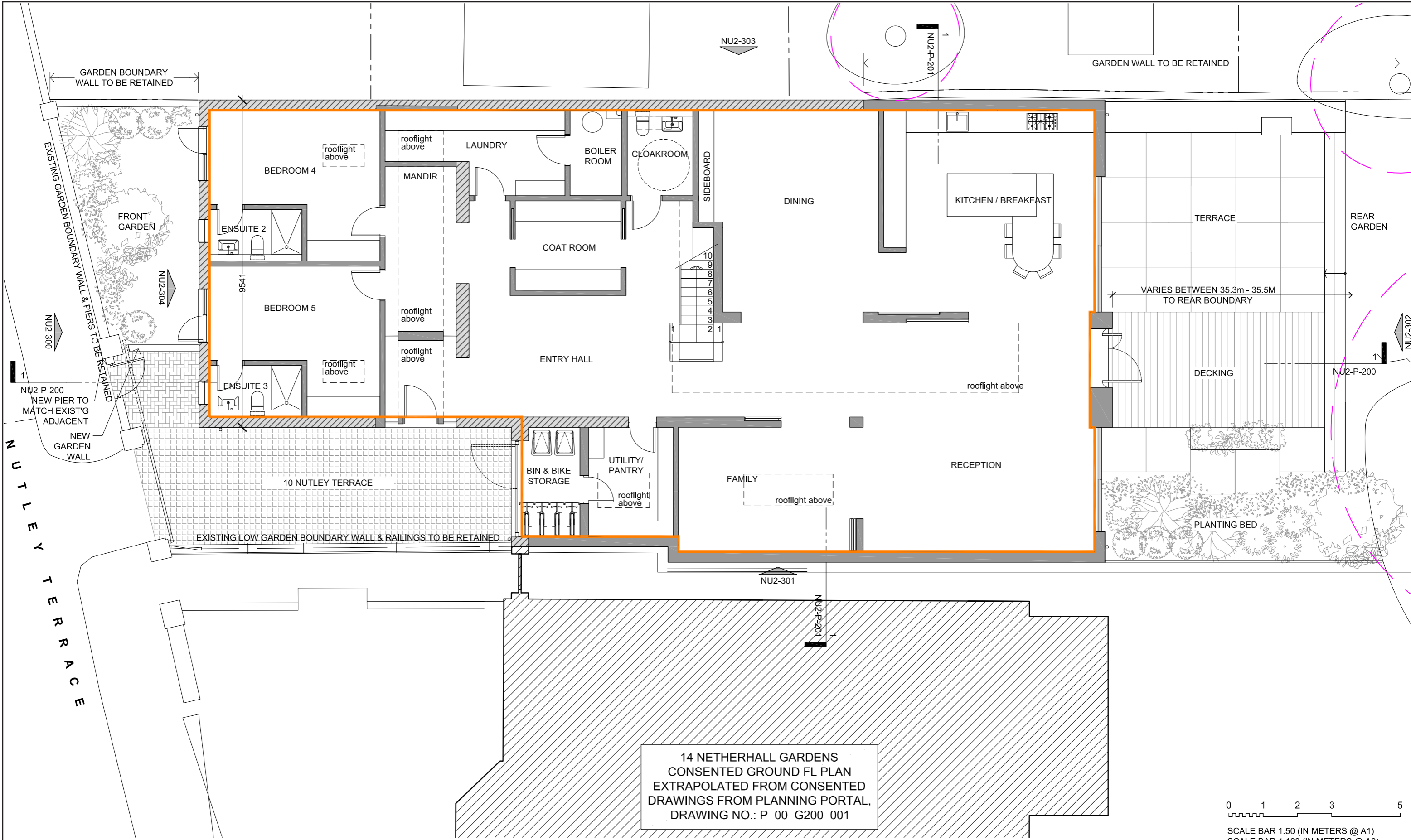
**purpose of issue**  
**INFORMATION**

**APPROVED APPLICATION REF: 2018/6261/P, DATED 9 APRIL 2019**

rev	notes	date	by	checked
* for construction do not scale from this drawing. * check all dimensions on site.				

scale	1:200 @ A3	date	10.10.18
drawn by	MP	checked	MR

project ref.	drawing no.	revision
NU2	NU2-P-002	-



14 NETHERHALL GARDENS  
 CONSENTED GROUND FL PLAN  
 EXTRAPOLATED FROM CONSENTED  
 DRAWINGS FROM PLANNING PORTAL,  
 DRAWING NO.: P\_00\_G200\_001

0 1 2 3 5  
 SCALE BAR 1:50 (IN METERS @ A1)  
 SCALE BAR 1:100 (IN METERS @ A3)

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IF IN DOUBT ASK.

**notes**

North arrow pointing up.

Root Protection Area (RPA) for trees with high higher retention priority

**GROSS INTERNAL AREA**

= 294.49 SQ. M.

**LEGEND**

EXISTING TO BE RETAINED

PROPOSED

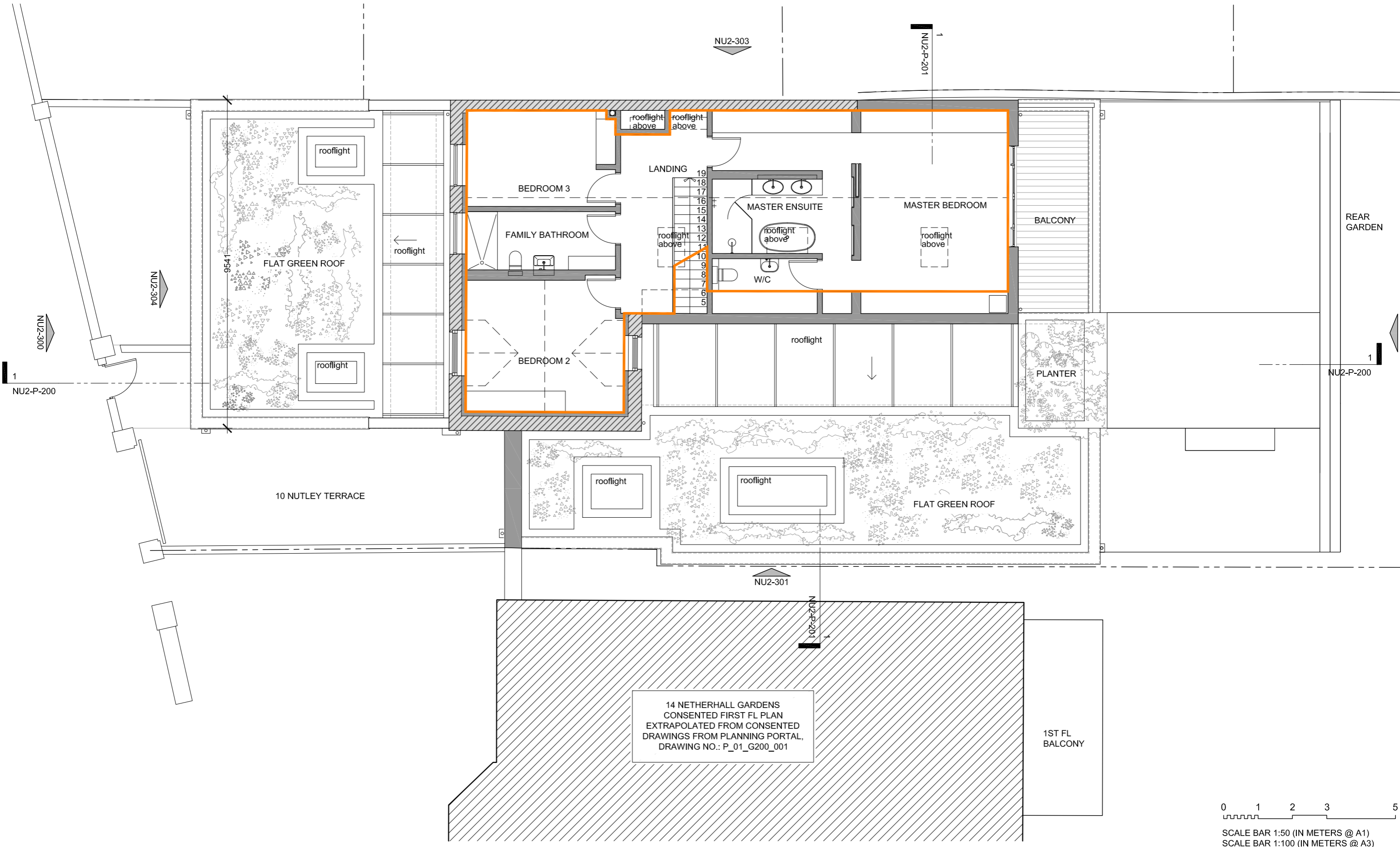
rev	notes	date	by	checked
-	INFORMATION	08/07/19	MP/MR	
-	PLANNING SUBMITTAL	12/12/18	MP/MR	
-	INFORMATION	05/12/18	MP/MR	

<b>project name</b>		<b>10 NUTLEY TERRACE LONDON NW3 5SB</b>		<b>StudioMarkRuthven architecture</b>	
<b>drawing title</b>		PROPOSED GROUND FLOOR PLAN		92 Prince of Wales Road, London, NW5 3NE 11 & 13 Patwell Street, Bruton, BA10 0EQ T 020 7485 0050	
<b>scale</b>		1:100 @ A3   1:50 @ A1		<b>project ref.</b> NU2	
<b>date</b>		10.10.18		<b>drawing no.</b> NU2-P-101	
<b>drawn by</b>		MP		<b>revision</b>	
<b>checked</b>		MR		-	

**purpose of issue** INFORMATION

**APPROVED APPLICATION REF: 2018/6261/P, DATED 9 APRIL 2019**

\* for construction do not scale from this drawing.  
 \* check all dimensions on site.



14 NETHERHALL GARDENS  
 CONSENTED FIRST FL PLAN  
 EXTRAPOLATED FROM CONSENTED  
 DRAWINGS FROM PLANNING PORTAL,  
 DRAWING NO.: P\_01\_G200\_001

1ST FL  
 BALCONY

0 1 2 3 4 5  
 SCALE BAR 1:50 (IN METERS @ A1)  
 SCALE BAR 1:100 (IN METERS @ A3)

**general notes**

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IF IN DOUBT ASK.

**purpose of issue**  
**INFORMATION**

**notes**

**GROSS INTERNAL AREA**  
 = 97.94 SQ. M.

**LEGEND**

EXISTING TO BE RETAINED

PROPOSED

**APPROVED APPLICATION REF: 2018/6261/P, DATED 9 APRIL 2019**

project name <b>10 NUTLEY TERRACE          LONDON NW3 5SB</b>		StudioMarkRuthven architecture	
drawing title <b>PROPOSED          FIRST FLOOR          PLAN</b>		92 Prince of Wales Road, London, NW5 3NE 11 & 13 Patwell Street, Bruton, BA10 0EQ T 020 7485 0050	
- INFORMATION 08/07/19 MP/MR - PLANNING SUBMITTAL 12/12/18 MP/MR - INFORMATION 05/12/18 MP/MR	date 10,10,18 checked MR	project ref. NU2	drawing no. NU2-P-102
rev/notes * for construction do not scale from this drawing. * check all dimensions on site.	scale 1:100 @ A3   1:50 @ A1	drawn by MP	revision -

EXISTING CLAY ROOF TILES & DECORATIVE RIDGE TILES TO BE CAREFULLY REMOVED & STORED. TO BE REINSTATED AFTER NEW INSULATED ROOF STRUCTURE IS CONSTRUCTED. NEW RECLAIMED ROOF & RIDGE TILES TO MATCH EXISTING WHERE REQUIRED.

NEW ROOFLIGHT ADJACENT TO EXISTING  
NEW ROOFLIGHT TO REPLACE EXISTING

10 NUTLEY TERRACE

NEW ROOFLIGHT

REINSTATED CHIMNEY TO EXISTING HEIGHT, DETAILING & MATERIALS OF EXISTING

14 NETHERHALL GARDENS  
CONSENTED SECOND FL PLAN  
EXTRAPOLATED FROM CONSENTED  
DRAWINGS FROM PLANNING PORTAL,  
DRAWING NO.: P\_02\_G200\_001

0 1 2 3 4 5  
SCALE BAR 1:50 (IN METERS @ A1)  
SCALE BAR 1:100 (IN METERS @ A3)

**general notes**

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IF IN DOUBT ASK.

**purpose of issue**  
**INFORMATION**

**notes**



**APPROVED APPLICATION REF: 2018/6261/P, DATED 9 APRIL 2019**

rev	notes	date	by	checked
-	INFORMATION	08/07/19	MP/MR	
-	PLANNING SUBMITTAL	12/12/18	MP/MR	
-	INFORMATION	05/12/18	MP/MR	

\* for construction do not scale from this drawing.  
\* check all dimensions on site.

**project name**  
**10 NUTLEY TERRACE  
LONDON NW3 5SB**

**drawing title**  
**PROPOSED  
ROOF  
PLAN**

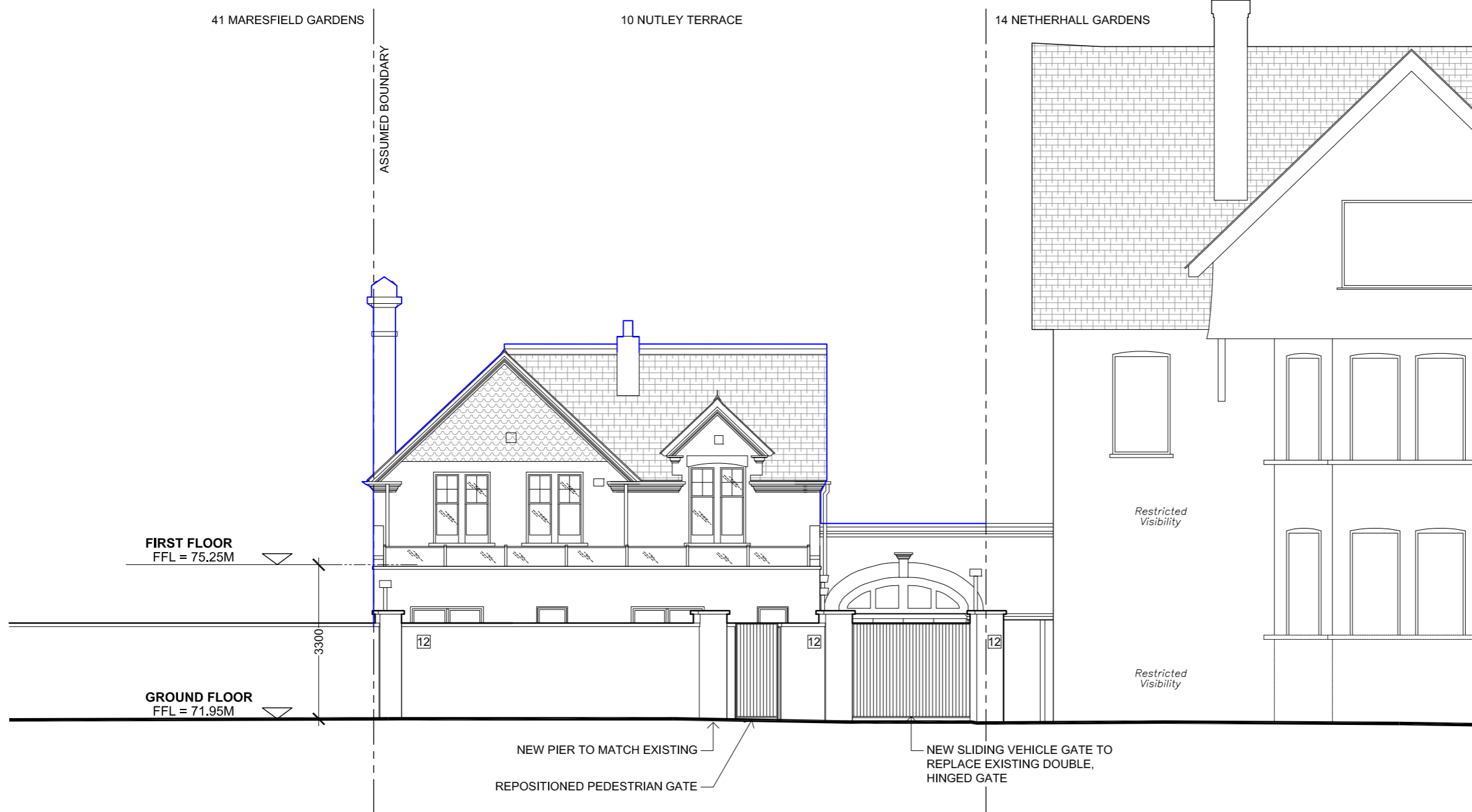
scale 1:100 @ A3 | 1:50 @ A1  
date 10.10.18  
drawn by MP  
checked MR

**StudioMarkRuthven  
architecture**

92 Prince of Wales Road, London, NW5 3NE  
11 & 13 Patwell Street, Bruton, BA10 0EQ  
T 020 7485 0050

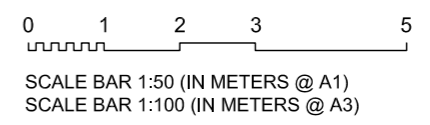
project ref. NU2  
drawing no. NU2-P-103  
revision -





- FINISHES LEGEND**
- 1 NEW BRICK MASONRY WALL
  - 2 NEW BRICK MASONRY WALL & DETAILING TO MATCH EXISTING
  - 3 EXISTING CLAY ROOF TILES & DECORATIVE RIDGE TILES TO BE CAREFULLY REMOVED & STORED. TO BE REINSTATED AFTER NEW INSULATED ROOF STRUCTURE IS CONSTRUCTED. NEW RECLAIMED ROOF & RIDGE TILES TO MATCH EXISTING WHERE REQUIRED OVER EXTENSION.
  - 4 TIMBER FENCING
  - 5 PAINTED TIMBER ENTRANCE DOOR & GLAZED SIDE PANELS
  - 6 PAINTED, TIMBER FRAMED, DOUBLE GLAZED WINDOW / PART GLAZED DOOR
  - 7 POWDER COATED, METAL FRAMED, DOUBLE GLAZED SLIDING DOOR
  - 8 POWDER COATED, METAL FRAMED, DOUBLE GLAZED PIVOT DOOR
  - 9 CONSERVATION STYLE ROOFLIGHT
  - 10 FLAT ROOFLIGHT
  - 11 PATENT GLAZING TYPE ROOFLIGHT
  - 12 EXISTING GARDEN BOUNDARY WALL / PIER TO BE RETAINED
  - 13 NEW TIMBER FRAMED, DOUBLE GLAZED WINDOW TO MATCH EXISTING
  - 14 EXISTING PAINTED MASONRY WALL TO BE RETAINED
  - 15 EXISTING PAINTED DECORATIVE TERRACOTTA TILE CLADDING TO BE RETAINED
  - 16 NEW PAINTED MASONRY WALL & DETAILING TO MATCH EXISTING
  - 17 EXISTING CARRIAGE GATE TO BE CAREFULLY REMOVED, REFURBISHED REINSTATED
  - 18 PAINTED METAL RAILINGS
  - 19 DOUBLE GLAZED TIMBER FRAMED FRENCH DOOR SET
  - 20 NEW TIMBER FRAMED, DOUBLE GLAZED WINDOW TO MATCH ADJACENT

**APPROVED APPLICATION REF: 2018/6261/P, DATED 9 APRIL 2019**



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IF IN DOUBT ASK.

**purpose of issue**

**INFORMATION**

**notes**

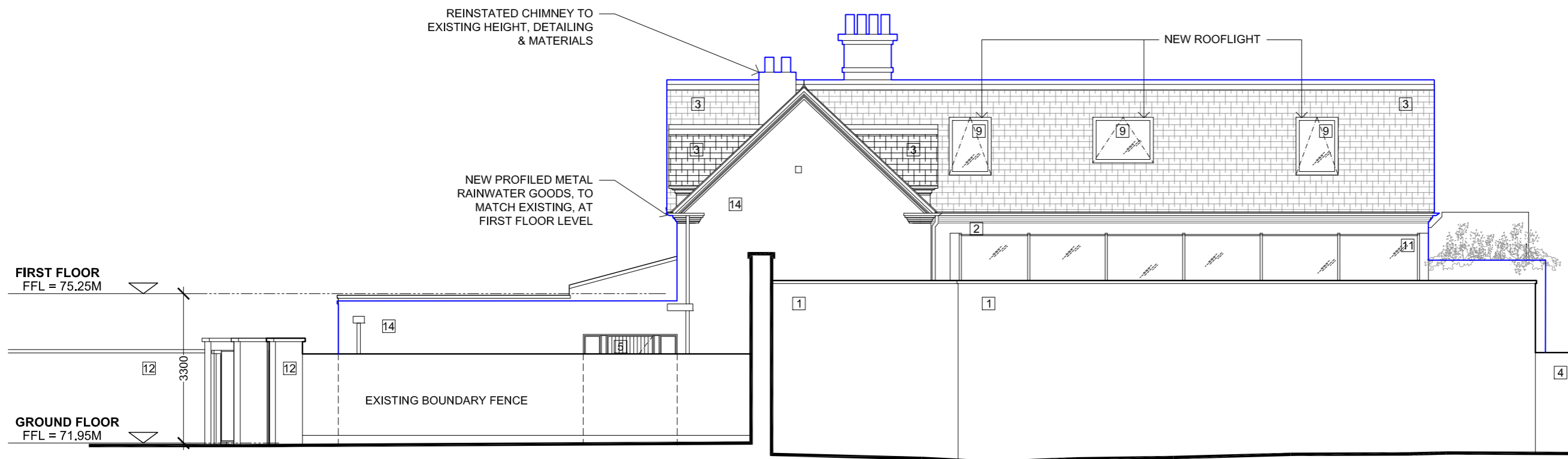
**LEGEND**

— BLUE LINE REPRESENTS OUTLINE OF CONSENTED APPLICATION REF: 2015/6528/P, DATED 5 MAY 2017

project name <b>10 NUTLEY TERRACE LONDON NW3 5SB</b>		StudioMarkRuthven architecture	
drawing title <b>PROPOSED STREET ELEVATION</b>		92 Prince of Wales Road, London, NW5 3NE 11 & 13 Patwell Street, Bruton, BA10 0EQ T 020 7485 0050	
- INFORMATION 08/07/19 MP/MR - PLANNING SUBMITTAL 12/12/18 MP/MR - INFORMATION 05/12/18 MP/MR	scale 1:100 @ A3   1:50 @ A1	date 10,10,18	project ref. drawing no.
rev notes date by checked	drawn by MP	checked MR	NU2 NU2-P-300 -
* for construction do not scale from this drawing. * check all dimensions on site.			

**FINISHES LEGEND**

- 1 NEW BRICK MASONRY WALL
- 2 NEW BRICK MASONRY WALL & DETAILING TO MATCH EXISTING
- 3 EXISTING CLAY ROOF TILES & DECORATIVE RIDGE TILES TO BE CAREFULLY REMOVED & STORED. TO BE REINSTATED AFTER NEW INSULATED ROOF STRUCTURE IS CONSTRUCTED. NEW RECLAIMED ROOF & RIDGE TILES TO MATCH EXISTING WHERE REQUIRED OVER EXTENSION.
- 4 TIMBER FENCING
- 5 PAINTED TIMBER ENTRANCE DOOR & GLAZED SIDE PANELS
- 6 PAINTED, TIMBER FRAMED, DOUBLE GLAZED WINDOW / PART GLAZED DOOR
- 7 POWDER COATED, METAL FRAMED, DOUBLE GLAZED SLIDING DOOR
- 8 POWDER COATED, METAL FRAMED, DOUBLE GLAZED PIVOT DOOR
- 9 CONSERVATION STYLE ROOFLIGHT
- 10 FLAT ROOFLIGHT
- 11 PATENT GLAZING TYPE ROOFLIGHT
- 12 EXISTING GARDEN BOUNDARY WALL / PIER TO BE RETAINED
- 13 NEW TIMBER FRAMED, DOUBLE GLAZED WINDOW TO MATCH EXISTING
- 14 EXISTING PAINTED MASONRY WALL TO BE RETAINED
- 15 EXISTING PAINTED DECORATIVE TERRACOTTA TILE CLADDING TO BE RETAINED
- 16 NEW PAINTED MASONRY WALL & DETAILING TO MATCH EXISTING
- 17 EXISTING CARRIAGE GATE TO BE CAREFULLY REMOVED, REFURBISHED REINSTATED
- 18 PAINTED METAL RAILINGS
- 19 DOUBLE GLAZED TIMBER FRAMED FRENCH DOOR SET
- 20 NEW TIMBER FRAMED, DOUBLE GLAZED WINDOW TO MATCH ADJACENT



REINSTATED CHIMNEY TO EXISTING HEIGHT, DETAILING & MATERIALS

NEW ROOFLIGHT

NEW PROFILED METAL RAINWATER GOODS, TO MATCH EXISTING, AT FIRST FLOOR LEVEL

FIRST FLOOR  
FFL = 75.25M

GROUND FLOOR  
FFL = 71.95M

EXISTING BOUNDARY FENCE

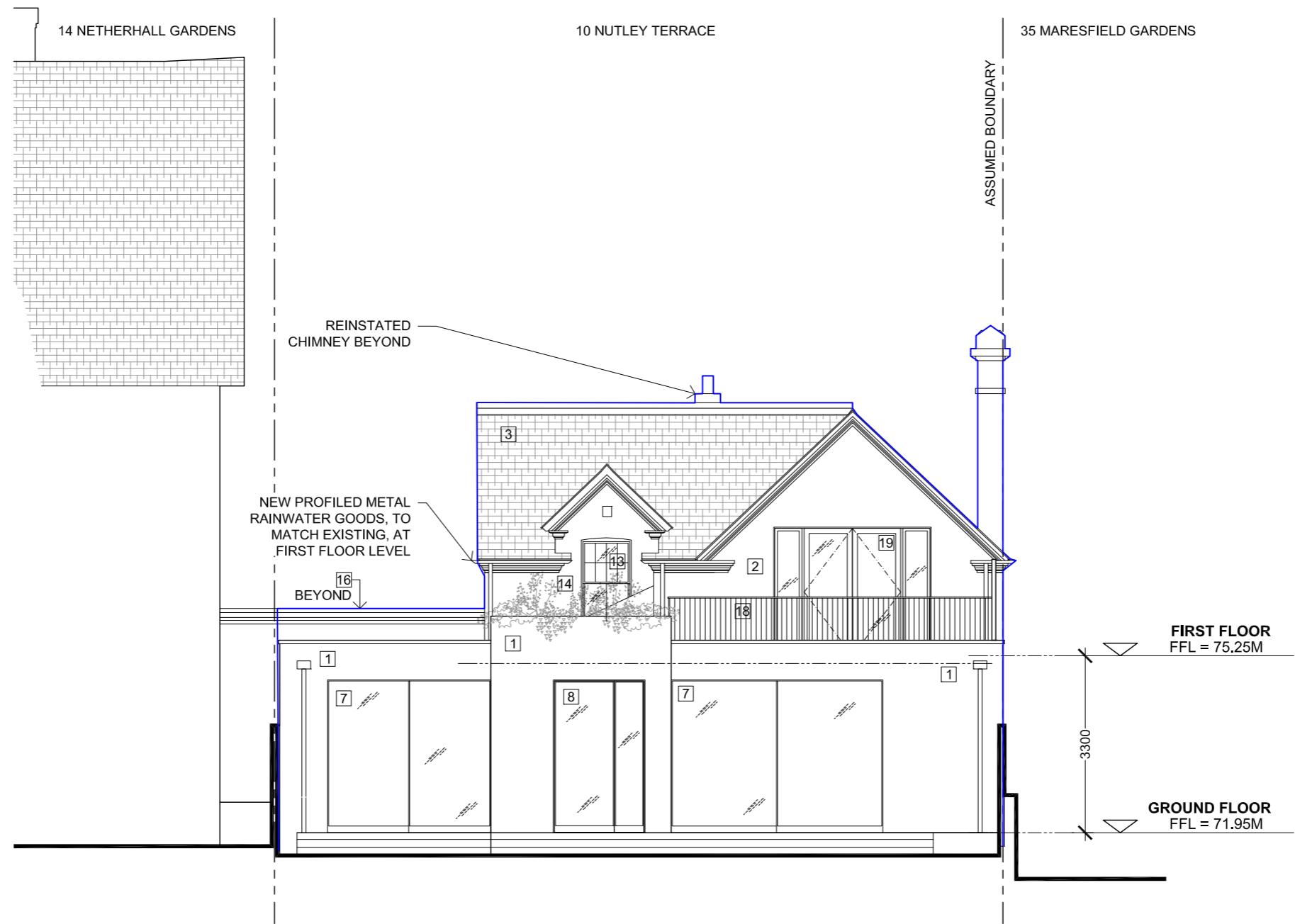
**APPROVED APPLICATION REF: 2018/6261/P, DATED 9 APRIL 2019**

0 1 2 3 5  
SCALE BAR 1:50 (IN METERS @ A1)  
SCALE BAR 1:100 (IN METERS @ A3)

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IF IN DOUBT ASK.
<b>purpose of issue</b>
<b>INFORMATION</b>

<b>notes</b>
<b>LEGEND</b>
— BLUE LINE REPRESENTS OUTLINE OF CONSENTED APPLICATION REF: 2015/6528/P, DATED 5 MAY 2017

project name		10 NUTLEY TERRACE LONDON NW3 5SB		StudioMarkRuthven architecture	
drawing title		PROPOSED SIDE / WEST ELEVATION		92 Prince of Wales Road, London, NW5 3NE 11 & 13 Patwell Street, Bruton, BA10 0EQ T 020 7485 0050	
rev	notes	date	by	checked	scale
-	INFORMATION	08/07/19	MP	MR	1:100 @ A3   1:50 @ A1
-	PLANNING SUBMITTAL	12/12/18	MP	MR	
-	INFORMATION	05/12/18	MP	MR	
* for construction do not scale from this drawing.		date		10,10,18	
* check all dimensions on site.		drawn by		checked	
		MP		MR	
project ref.	drawing no.		revision		
NU2	NU2-P-301				-



- FINISHES LEGEND**
- 1 NEW BRICK MASONRY WALL
  - 2 NEW BRICK MASONRY WALL & DETAILING TO MATCH EXISTING
  - 3 EXISTING CLAY ROOF TILES & DECORATIVE RIDGE TILES TO BE CAREFULLY REMOVED & STORED. TO BE REINSTATED AFTER NEW INSULATED ROOF STRUCTURE IS CONSTRUCTED. NEW RECLAIMED ROOF & RIDGE TILES TO MATCH EXISTING WHERE REQUIRED OVER EXTENSION.
  - 4 TIMBER FENCING
  - 5 PAINTED TIMBER ENTRANCE DOOR & GLAZED SIDE PANELS
  - 6 PAINTED, TIMBER FRAMED, DOUBLE GLAZED WINDOW / PART GLAZED DOOR
  - 7 POWDER COATED, METAL FRAMED, DOUBLE GLAZED SLIDING DOOR
  - 8 POWDER COATED, METAL FRAMED, DOUBLE GLAZED PIVOT DOOR
  - 9 CONSERVATION STYLE ROOFLIGHT
  - 10 FLAT ROOFLIGHT
  - 11 PATENT GLAZING TYPE ROOFLIGHT
  - 12 EXISTING GARDEN BOUNDARY WALL / PIER TO BE RETAINED
  - 13 NEW TIMBER FRAMED, DOUBLE GLAZED WINDOW TO MATCH EXISTING
  - 14 EXISTING PAINTED MASONRY WALL TO BE RETAINED
  - 15 EXISTING PAINTED DECORATIVE TERRACOTTA TILE CLADDING TO BE RETAINED
  - 16 NEW PAINTED MASONRY WALL & DETAILING TO MATCH EXISTING
  - 17 EXISTING CARRIAGE GATE TO BE CAREFULLY REMOVED, REFURBISHED REINSTATED
  - 18 PAINTED METAL RAILINGS
  - 19 DOUBLE GLAZED TIMBER FRAMED FRENCH DOOR SET
  - 20 NEW TIMBER FRAMED, DOUBLE GLAZED WINDOW TO MATCH ADJACENT

**APPROVED APPLICATION REF: 2018/6261/P, DATED 9 APRIL 2019**

0 1 2 3 5  
 SCALE BAR 1:50 (IN METERS @ A1)  
 SCALE BAR 1:100 (IN METERS @ A3)

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IF IN DOUBT ASK.

**purpose of issue**  
**INFORMATION**

**notes**

**LEGEND**

— BLUE LINE REPRESENTS OUTLINE OF CONSENTED APPLICATION REF: 2015/6528/P, DATED 5 MAY 2017

<b>10 NUTLEY TERRACE LONDON NW3 5SB</b>		<b>StudioMarkRuthven architecture</b>	
<b>PROPOSED REAR / SOUTH ELEVATION</b>		92 Prince of Wales Road, London, NW5 3NE 11 & 13 Patwell Street, Bruton, BA10 0EQ T 020 7485 0050	
- INFORMATION 08/07/19 MP/MR - PLANNING SUBMITTAL 12/12/18 MP/MR - INFORMATION 05/12/18 MP/MR	rev/ notes date by checked * for construction do not scale from this drawing. * check all dimensions on site.	project name drawing title scale 1:100 @ A3   1:50 @ A1 date 10,10,18 drawn by MP checked MR	project ref. drawing no. revision NU2 NU2-P-302 -

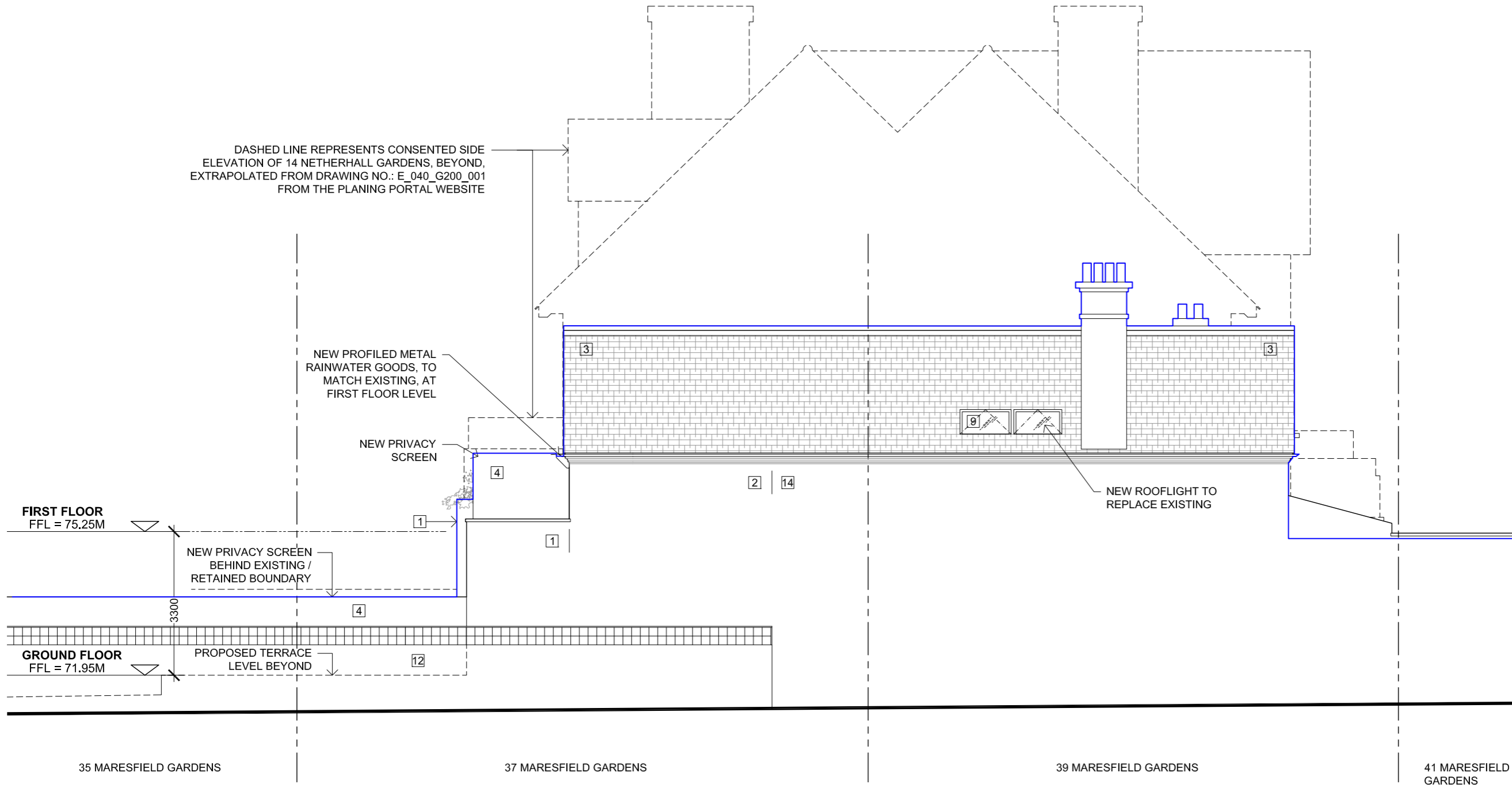
DASHED LINE REPRESENTS CONSENTED SIDE ELEVATION OF 14 NETHERHALL GARDENS, BEYOND, EXTRAPOLATED FROM DRAWING NO.: E\_040\_G200\_001 FROM THE PLANING PORTAL WEBSITE

NEW PROFILED METAL RAINWATER GOODS, TO MATCH EXISTING, AT FIRST FLOOR LEVEL

NEW PRIVACY SCREEN

NEW PRIVACY SCREEN BEHIND EXISTING / RETAINED BOUNDARY

NEW ROOFLIGHT TO REPLACE EXISTING



**FINISHES LEGEND**

- 1 NEW BRICK MASONRY WALL
- 2 NEW BRICK MASONRY WALL & DETAILING TO MATCH EXISTING
- 3 EXISTING CLAY ROOF TILES & DECORATIVE RIDGE TILES TO BE CAREFULLY REMOVED & STORED. TO BE REINSTATED AFTER NEW INSULATED ROOF STRUCTURE IS CONSTRUCTED. NEW RECLAIMED ROOF & RIDGE TILES TO MATCH EXISTING WHERE REQUIRED OVER EXTENSION.
- 4 TIMBER FENCING
- 5 PAINTED TIMBER ENTRANCE DOOR & GLAZED SIDE PANELS
- 6 PAINTED, TIMBER FRAMED, DOUBLE GLAZED WINDOW / PART GLAZED DOOR
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- 9 CONSERVATION STYLE ROOFLIGHT
- 10 FLAT ROOFLIGHT
- 11 PATENT GLAZING TYPE ROOFLIGHT
- 12 EXISTING GARDEN BOUNDARY WALL / PIER TO BE RETAINED
- 13 NEW TIMBER FRAMED, DOUBLE GLAZED WINDOW TO MATCH EXISTING
- 14 EXISTING PAINTED MASONRY WALL TO BE RETAINED
- 15 EXISTING PAINTED DECORATIVE TERRACOTTA TILE CLADDING TO BE RETAINED
- 16 NEW PAINTED MASONRY WALL & DETAILING TO MATCH EXISTING
- 17 EXISTING CARRIAGE GATE TO BE CAREFULLY REMOVED, REFURBISHED REINSTATED
- 18 PAINTED METAL RAILINGS
- 19 DOUBLE GLAZED TIMBER FRAMED FRENCH DOOR SET
- 20 NEW TIMBER FRAMED, DOUBLE GLAZED WINDOW TO MATCH ADJACENT

**APPROVED APPLICATION REF: 2018/6261/P, DATED 9 APRIL 2019**

0 1 2 3 5  
SCALE BAR 1:50 (IN METERS @ A1)  
SCALE BAR 1:100 (IN METERS @ A3)

**general notes**

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IF IN DOUBT ASK.

**purpose of issue**  
**INFORMATION**

**notes**

**LEGEND**

— BLUE LINE REPRESENTS OUTLINE OF CONSENTED APPLICATION REF: 2015/6528/P, DATED 5 MAY 2017

- INFORMATION	08/07/19	MP/MR
- PLANNING SUBMITTAL	12/12/18	MP/MR
- INFORMATION	05/12/18	MP/MR

rev	notes	date	by	checked
* for construction do not scale from this drawing. * check all dimensions on site.				

project name	<b>10 NUTLEY TERRACE LONDON NW3 5SB</b>
drawing title	PROPOSED SIDE / EAST ELEVATION

scale	1:100 @ A3   1:50 @ A1	date	10,10,18
drawn by	MP	checked	MR

**StudioMarkRuthven**  
architecture

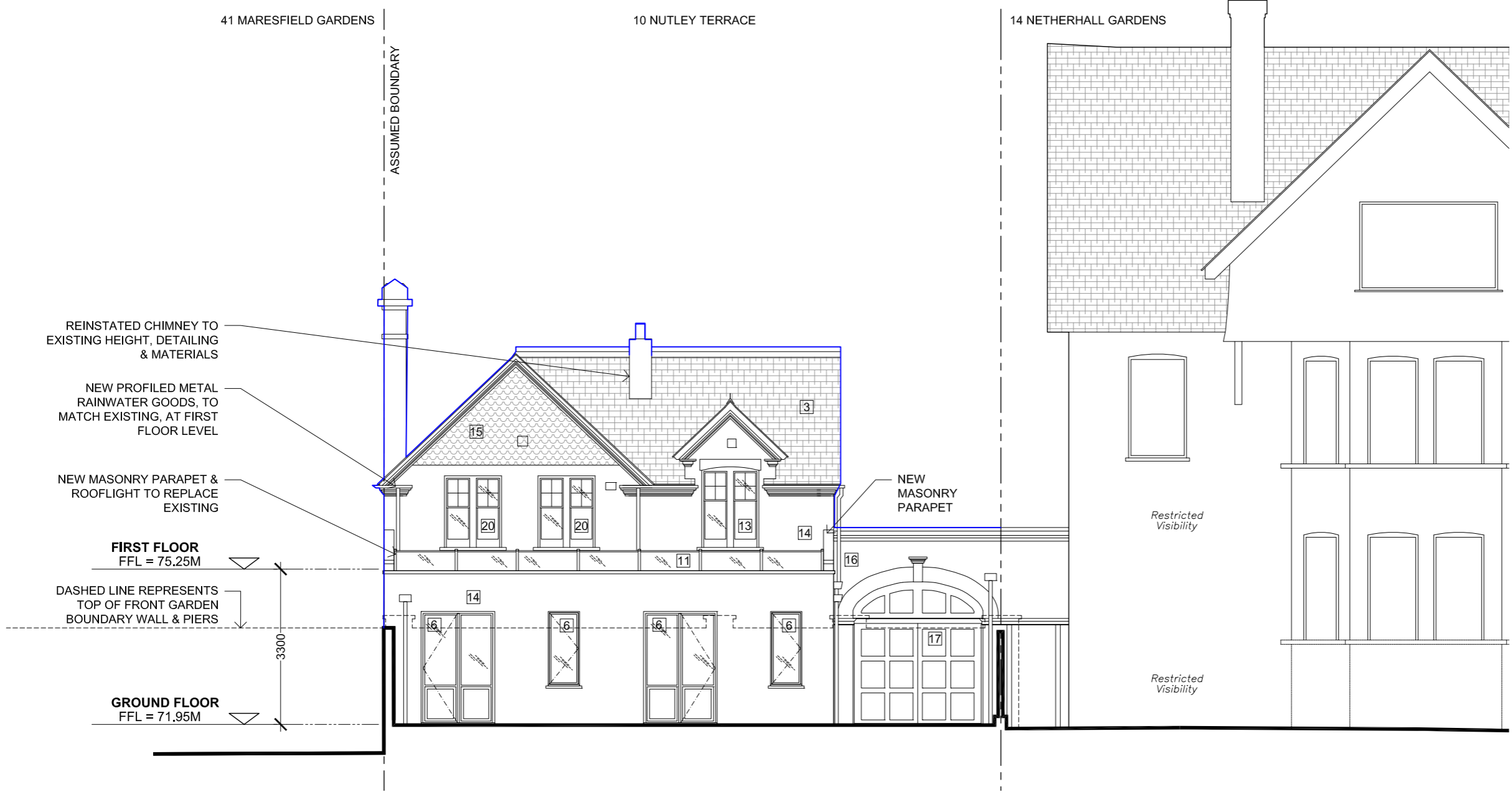
92 Prince of Wales Road, London, NW5 3NE  
11 & 13 Patwell Street, Bruton, BA10 0EQ  
T 020 7485 0050

project ref.	NU2	drawing no.	NU2-P-303	revision	-
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**FINISHES LEGEND**

- 1 NEW BRICK MASONRY WALL
- 2 NEW BRICK MASONRY WALL & DETAILING TO MATCH EXISTING
- 3 EXISTING CLAY ROOF TILES & DECORATIVE RIDGE TILES TO BE CAREFULLY REMOVED & STORED. TO BE REINSTATED AFTER NEW INSULATED ROOF STRUCTURE IS CONSTRUCTED. NEW RECLAIMED ROOF & RIDGE TILES TO MATCH EXISTING WHERE REQUIRED OVER EXTENSION.
- 4 TIMBER FENCING
- 5 PAINTED TIMBER ENTRANCE DOOR & GLAZED SIDE PANELS
- 6 PAINTED, TIMBER FRAMED, DOUBLE GLAZED WINDOW / PART GLAZED DOOR
- 7 POWDER COATED, METAL FRAMED, DOUBLE GLAZED SLIDING DOOR
- 8 POWDER COATED, METAL FRAMED, DOUBLE GLAZED PIVOT DOOR
- 9 CONSERVATION STYLE ROOFLIGHT
- 10 FLAT ROOFLIGHT
- 11 PATENT GLAZING TYPE ROOFLIGHT
- 12 EXISTING GARDEN BOUNDARY WALL / PIER TO BE RETAINED
- 13 NEW TIMBER FRAMED, DOUBLE GLAZED WINDOW TO MATCH EXISTING
- 14 EXISTING PAINTED MASONRY WALL TO BE RETAINED
- 15 EXISTING PAINTED DECORATIVE TERRACOTTA TILE CLADDING TO BE RETAINED
- 16 NEW PAINTED MASONRY WALL & DETAILING TO MATCH EXISTING
- 17 EXISTING CARRIAGE GATE TO BE CAREFULLY REMOVED, REFURBISHED REINSTATED
- 18 PAINTED METAL RAILINGS
- 19 DOUBLE GLAZED TIMBER FRAMED FRENCH DOOR SET
- 20 NEW TIMBER FRAMED, DOUBLE GLAZED WINDOW TO MATCH ADJACENT



**APPROVED APPLICATION REF: 2018/6261/P, DATED 9 APRIL 2019**

0 1 2 3 5  
 SCALE BAR 1:50 (IN METERS @ A1)  
 SCALE BAR 1:100 (IN METERS @ A3)

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IF IN DOUBT ASK.
<b>purpose of issue</b>
<b>INFORMATION</b>

<b>notes</b>
<b>LEGEND</b>
— BLUE LINE REPRESENTS OUTLINE OF CONSENTED APPLICATION REF: 2015/6528/P, DATED 5 MAY 2017

<b>project name</b>		<b>10 NUTLEY TERRACE LONDON NW3 5SB</b>		<b>StudioMarkRuthven architecture</b>	
<b>drawing title</b>		PROPOSED FRONT / NORTH ELEVATION		92 Prince of Wales Road, London, NW5 3NE 11 & 13 Patwell Street, Bruton, BA10 0EQ T 020 7485 0050	
<b>rev</b>	<b>notes</b>	<b>date</b>	<b>by</b>	<b>checked</b>	<b>scale</b>
-	INFORMATION	08/07/19	MP/MR		1:100 @ A3   1:50 @ A1
-	PLANNING SUBMITTAL	12/12/18	MP/MR		
-	INFORMATION	05/12/18	MP/MR		
<b>date</b>		<b>10,10,18</b>		<b>project ref.</b>	<b>drawing no.</b>
* for construction do not scale from this drawing.		* check all dimensions on site.		NU2	NU2-P-304
<b>drawn by</b>		<b>checked</b>		<b>revision</b>	
MP		MR		-	