

Drawing ref: 101
Roof finishes / GA plan
Existing

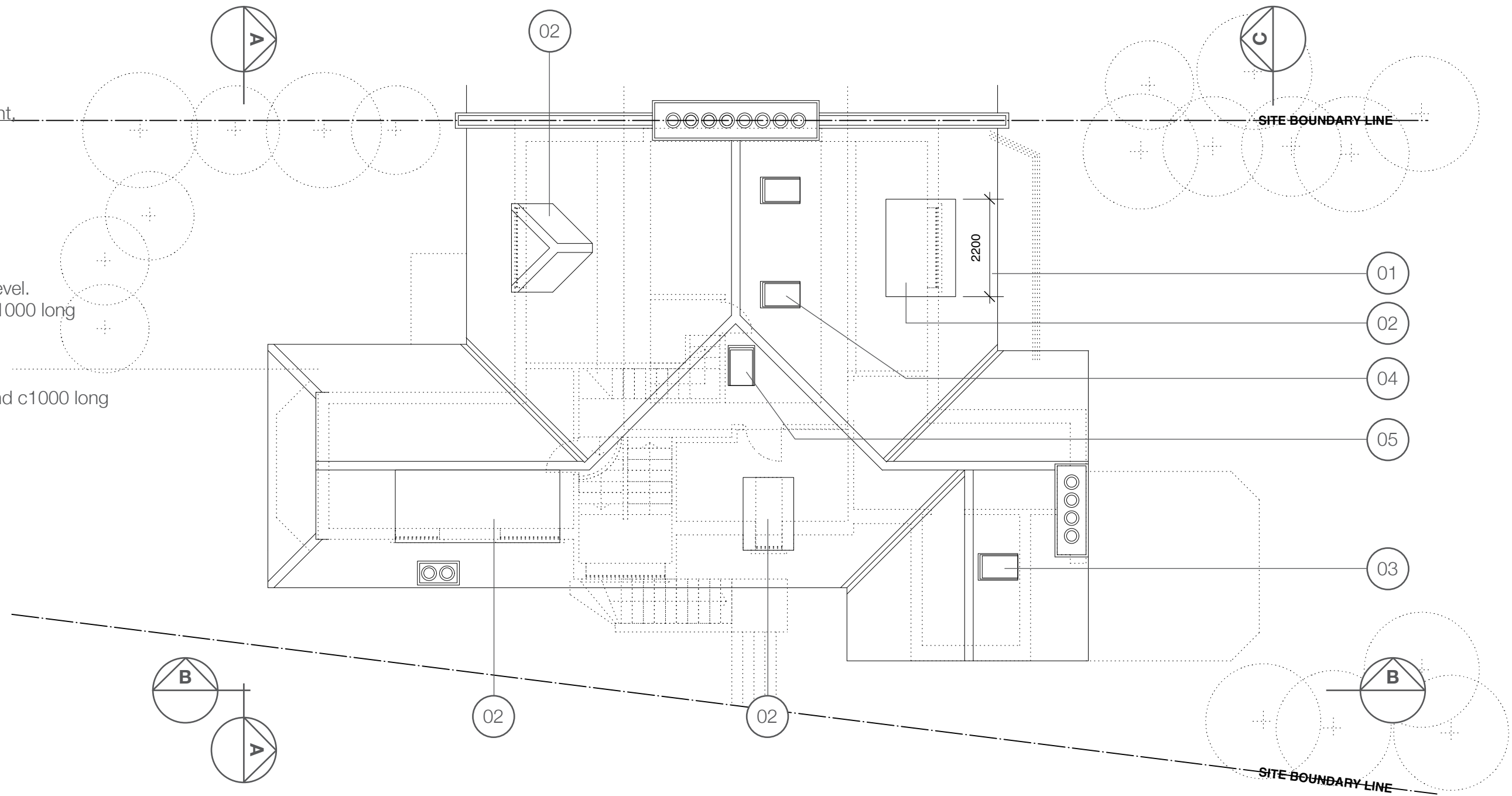
01. Existing clay tile roof finishes

02. Existing dormer windows to front, rear and side of property at second floor level

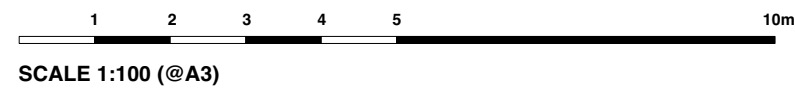
03. Existing roof window at second floor level

04. 2No. Existing roof windows to rear roof slope at third floor level. Each window c800 wide and c1000 long

05. Existing roof window to side / hipped end roof slope at third floor level. c600 wide and c1000 long



ROOF - GENERAL ARRANGEMENT PLAN
EXISTING



Drawing ref: 102
 Roof finishes / GA plan
Proposed REVISION A

01. Existing clay tile roof finishes

02. Existing dormer windows to front, rear and side of property at second floor level

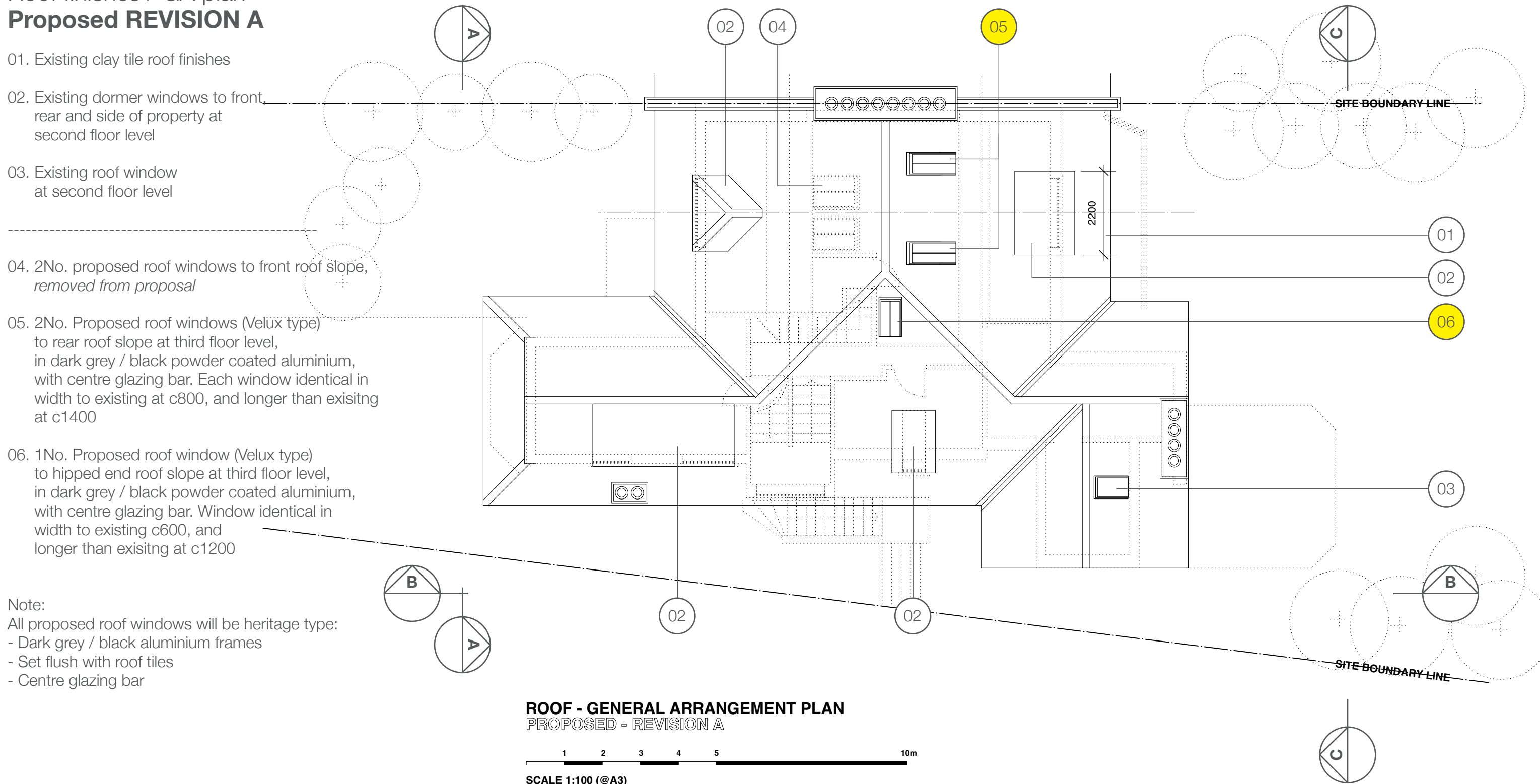
03. Existing roof window at second floor level

04. 2No. proposed roof windows to front roof slope, removed from proposal

05. 2No. Proposed roof windows (Velux type) to rear roof slope at third floor level, in dark grey / black powder coated aluminium, with centre glazing bar. Each window identical in width to existing at c800, and longer than existing at c1400

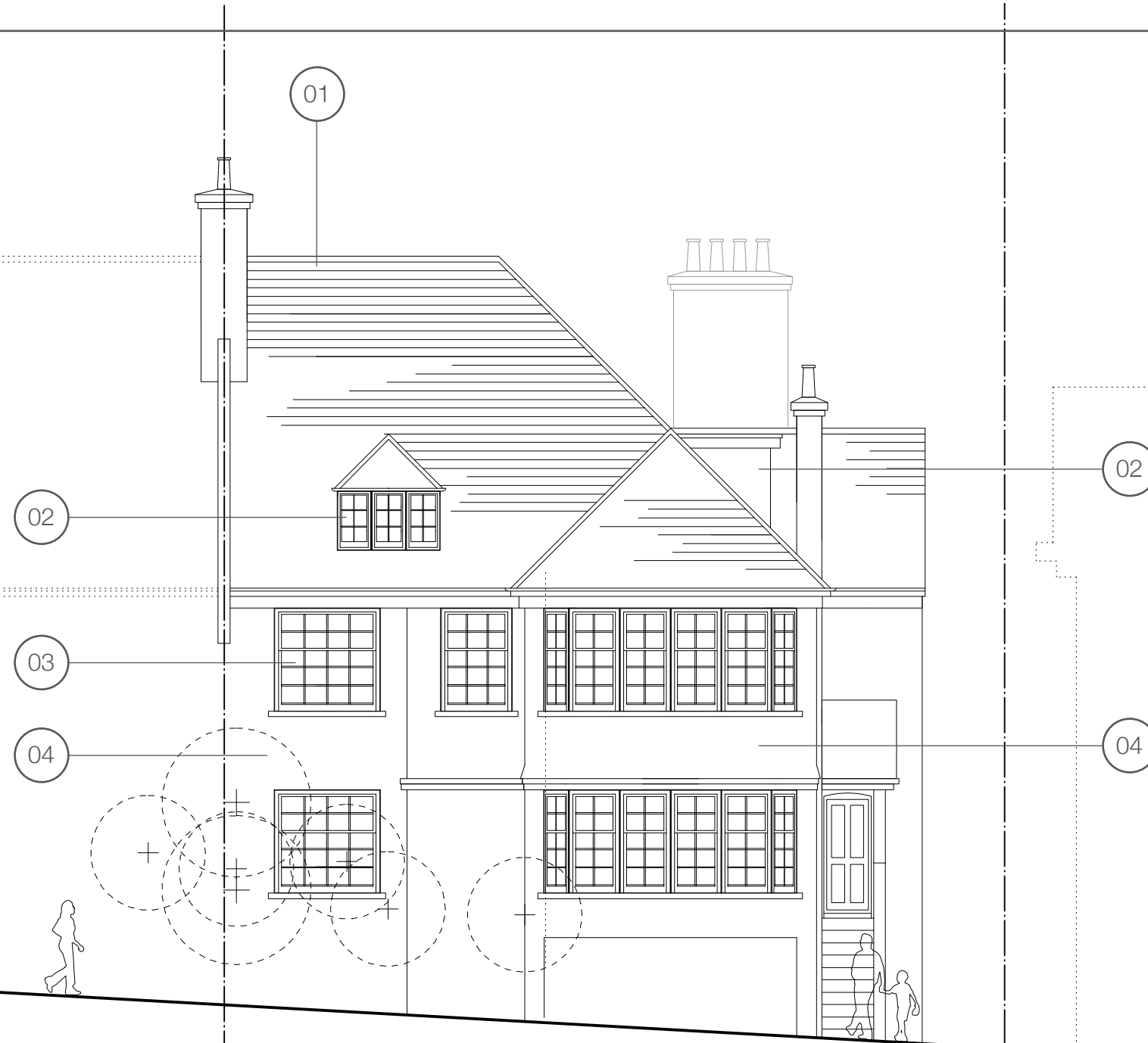
06. 1No. Proposed roof window (Velux type) to hipped end roof slope at third floor level, in dark grey / black powder coated aluminium, with centre glazing bar. Window identical in width to existing c600, and longer than existing at c1200

Note:
 All proposed roof windows will be heritage type:
 - Dark grey / black aluminium frames
 - Set flush with roof tiles
 - Centre glazing bar

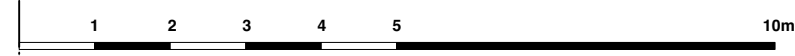


Drawing ref: 201
Front elevation AA
Existing

- 01. Existing clay tile roof finishes
- 02. Existing dormer windows to front, and side of property at second floor level
- 03. Existing timber windows to front of property
- 04. Existing bricks and tiles to front of property



FRONT ELEVATION AA
EXISTING



SCALE 1:100 (@A3)

39 HOLLYCROFT AVENUE

41 HOLLYCROFT AVENUE

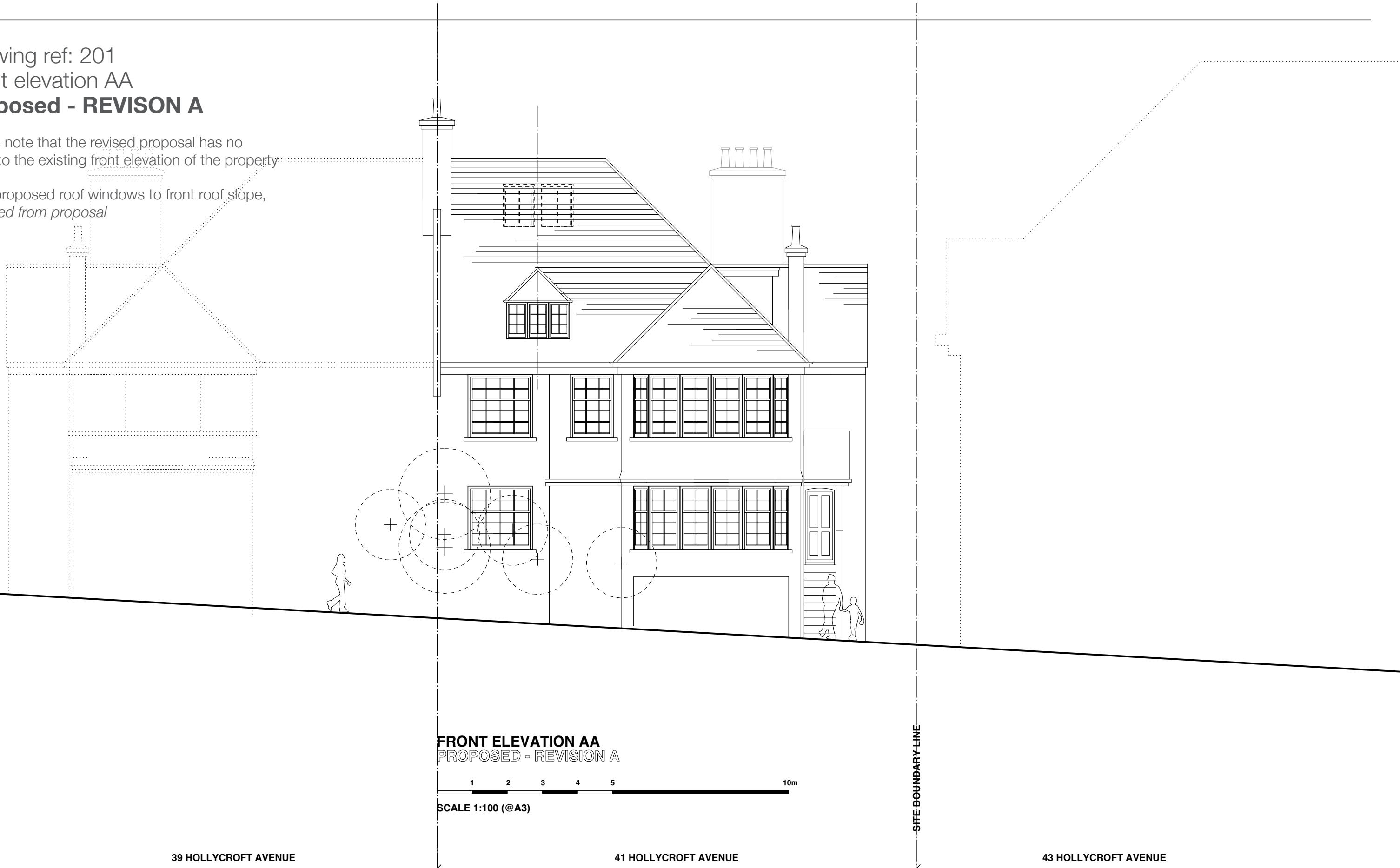
43 HOLLYCROFT AVENUE

SITE BOUNDARY LINE

Drawing ref: 201
Front elevation AA
Proposed - REVISION A

Please note that the revised proposal has no effect to the existing front elevation of the property

2No. proposed roof windows to front roof slope, removed from proposal



Drawing ref: 203
Side elevation BB
Existing

- 01. Existing clay tile roof finishes
- 02. Existing dormer windows to front, and side of property at second floor level
- 03. Existing timber windows to front / side of property
- 04. Existing bricks and tiles to front / side of property
- 05. Existing steps / access from lower ground floor to Flat A
- 06. Existing lower ground floor extension and roof terrace to the lower maisonette
- 07. Existing roof window to side / hipped end roof slope at third floor level, c600 wide and c1000 long



SIDE ELEVATION BB
EXISTING

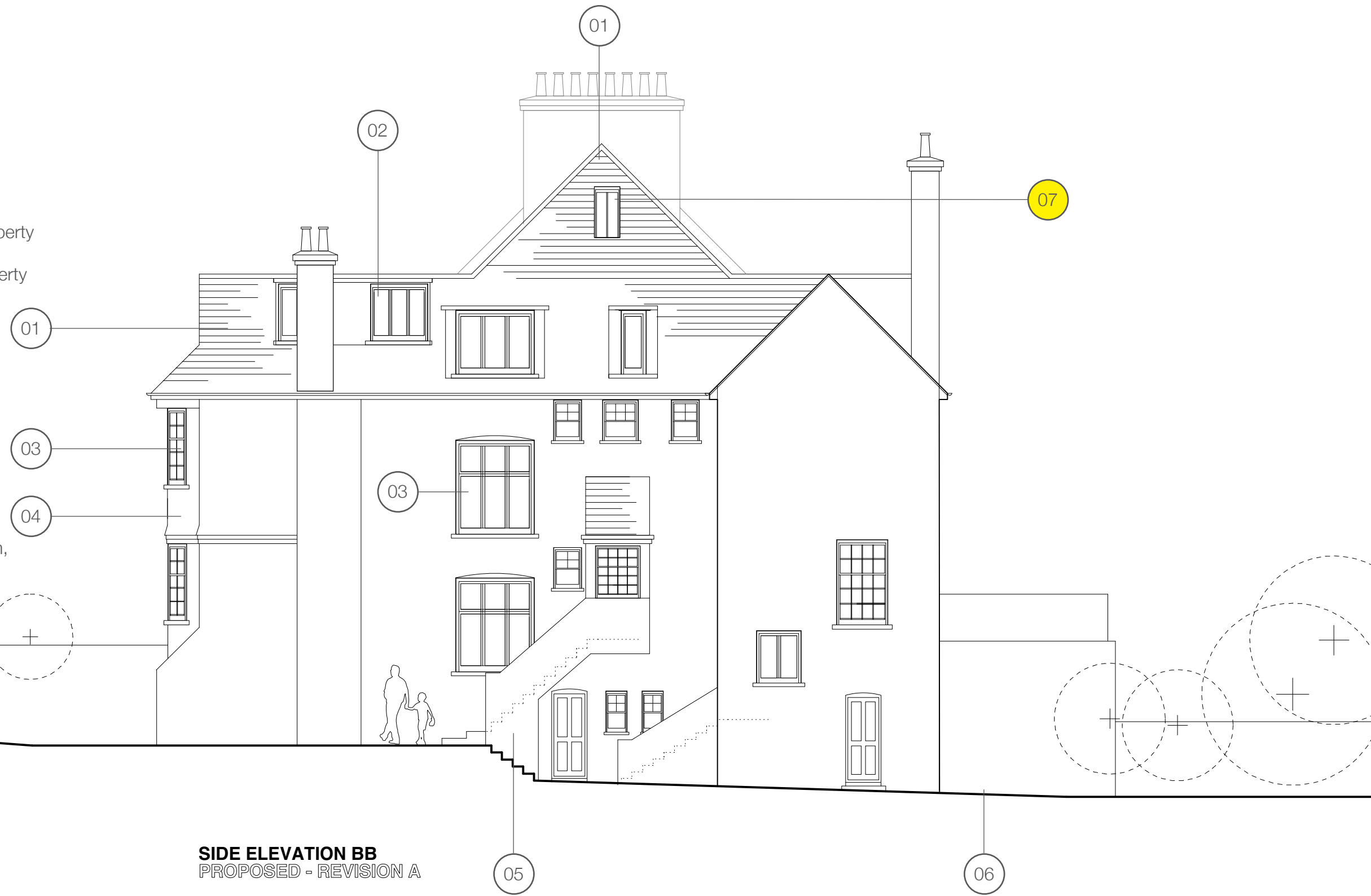
1 2 3 4 5 10m
SCALE 1:100 (@A3)

Drawing ref: 204
 Side elevation BB
Proposed - REVISION A

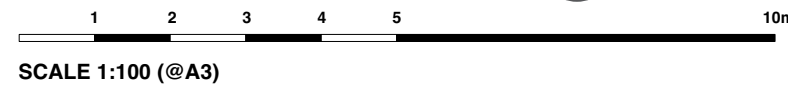
- 01. Existing clay tile roof finishes
- 02. Existing dormer windows to front, and side of property at second floor level
- 03. Existing timber windows to front / side of property
- 04. Existing bricks and tiles to front / side of property
- 05. Existing steps / access from lower ground floor to Flat A
- 06. Existing lower ground floor extension and roof terrace to the lower maisonette

07. 1No. Proposed roof window (Velux type) to hipped end roof slope at third floor level, in dark grey / black powder coated aluminium, with centre glazing bar. Window identical in width to existing c600, and longer than existing at c1200

Note:
 All proposed roof windows will be heritage type:
 - Dark grey / black aluminium frames
 - Set flush with roof tiles
 - Centre glazing bar



SIDE ELEVATION BB
PROPOSED - REVISION A



Drawing ref: 205
Rear elevation CC
Existing

- 01. Existing clay tile roof finishes
- 02. Existing dormer window to rear of property at second floor level
- 03. Existing timber windows and doors to rear of property
- 04. Existing balcony to first floor
- 05. Existing lower ground floor extension and roof terrace to the lower maisonette
- 06. 2No. Existing roof windows to rear roof slope at third floor level. Each window c800 wide and c1000 long



REAR ELEVATION CC
EXISTING

1 2 3 4 5 10m
SCALE 1:100 (@A3)

43 HOLLYCROFT AVENUE

41 HOLLYCROFT AVENUE

39 HOLLYCROFT AVENUE

Drawing ref: 206
Rear elevation CC
Proposed - REVISION A

- 01. Existing clay tile roof finishes
- 02. Existing dormer window to rear of property at second floor level
- 03. Existing timber windows and doors to rear of property
- 04. Existing balcony to first floor
- 05. Existing lower ground floor extension and roof terrace to the lower maisonette
- 06. 2No. proposed roof windows (Velux type) to rear roof slope at third floor level, in dark grey / black powder coated aluminium, with centre glazing bar, centred over dormer window at second floor level. Each window circa 1200 x 900mm

Note:
All proposed roof windows will be heritage type:
- Dark grey / black aluminium frames
- Set flush with roof tiles
- Centre glazing bar



REAR ELEVATION CC
PROPOSED - REVISION A

1 2 3 4 5 10m
SCALE 1:100 (@A3)

43 HOLLYCROFT AVENUE

41 HOLLYCROFT AVENUE

39 HOLLYCROFT AVENUE