

**Notes**  
 This drawing is copyright Piercy&Company.  
 Do not scale from this drawing.  
 All dimensions and levels to be checked on site by the contractor and such dimensions to be his responsibility.  
 Report all drawing errors, omissions and discrepancies to the architect.

**DISCLAIMER**  
 This document may be issued in an editable digital CAD format to enable others to use it as background information to make alterations and/or additions. In that instance the file will be accompanied by a PDF version as a record of the original file. It is for those parties making such alterations and/or additions to ensure that they make use of current background information.

Piercy&Company accepts no liability for either: any such alterations and/or additions to the background information by others; or any other changes made by others to the architectural content of the background information itself.

- OFFICE:**
1. Red multi textured brick
  2. Precast concrete banding, colour to match red brickwork
  3. Double glazed door
  4. New double glazed opening into existing facade
  5. Double glazed rooflight/window
  6. Bronze colour metal balustrade
  7. 1 hour fire rated double glazed window
  8. London stock brick to match existing brickwork
  9. Louvres to match brickwork

- HOTEL/AFFORDABLE BLOCK:**
- A. Dark warm brown colour metal frame double glazed windows
  - B. Light warm tone precast concrete
  - C. Dark tone precast concrete
  - D. Roof plant louvred metal screen
  - E. Double glazed panel
  - F. Metal louvred door to match dark tone precast concrete
  - G. Dark warm brown colour patterned metal panel
  - H. Light tone rustic brickwork
  - I. Dark warm brown colour metal balustrade
  - J. Dark warm brown colour tilt and turn double glazed window
  - K. Dark warm brown colour metal frame window with patterned metal panels
  - L. Double glazed door



Rev	Date	Description
A	17.04.19	Corrected levels & residential unit mix
-	26.10.18	First Issue



Project: Vine Hill  
 Client: Clerkenwell Lifestyle (UK) Ltd  
 Date: 26.10.18  
 Scale: 1:100@A1/1:200@A3

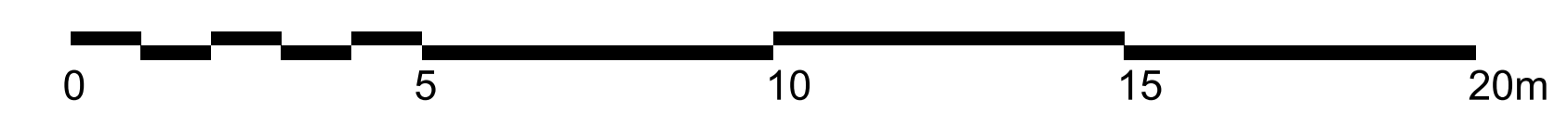
**Proposed West Elevation**  
**Office Block**  
 Drawn: PHJ  
 Checked: CK  
 Approved: DC

Drawing Status: PLANNING

Project	Disc	Level	Series	Drg No	Rev
13548-	A	LXX	04	101	A

The Centro Building  
 39 Plender Street  
 London NW1 0DT  
 Telephone: +44 (0)2074249611  
 info@piercyandco.com  
 www.piercyandco.com

8 Warners Yard | Ragged School Office Extension | Ragged School Office | 16 Vine Hill | 8 - 14 Vine Hill



**Notes**  
 This drawing is copyright Piercy&Company.  
 Do not scale from this drawing.  
 All dimensions and levels to be checked on site by the contractor and such dimensions to be his responsibility.  
 Report all drawing errors, omissions and discrepancies to the architect.

**DISCLAIMER**  
 This document may be issued in an editable digital CAD format to enable others to use it as background information to make alterations and/or additions. In that instance the file will be accompanied by a PDF version as a record of the original file. It is for those parties making such alterations and/or additions to ensure that they make use of current background information.

Piercy&Company accepts no liability for either: any such alterations and/or additions to the background information by others; or any other changes made by others to the architectural content of the background information itself.

**OFFICE:**

1. Red multi textured brick
2. Precast concrete banding, colour to match red brickwork
3. Double glazed door
4. New double glazed opening into existing facade
5. Double glazed rooflight/window
6. Bronze colour metal balustrade
7. 1 hour fire rated double glazed window
8. London stock brick to match existing brickwork
9. Louvres to match brickwork

**HOTEL/AFFORDABLE BLOCK:**

- A. Dark warm brown colour metal frame double glazed windows
- B. Light warm tone precast concrete
- C. Dark tone precast concrete
- D. Roof plant louvred metal screen
- E. Double glazed panel
- F. Metal louvred door to match dark tone precast concrete
- G. Dark warm brown colour patterned metal panel
- H. Light tone rustic brickwork
- I. Dark warm brown colour metal balustrade
- J. Dark warm brown colour tilt and turn double glazed window
- K. Dark warm brown colour metal frame window with patterned metal panels
- L. Double glazed door

Rev	Date	Description
A	17.04.19	Corrected levels & residential unit mix
-	26.10.18	First Issue



Project: Vine Hill  
 Client: Clerkenwell Lifestyle (UK) Ltd  
 Date: 26.10.18  
 Scale: 1:100@A1/1:200@A3

**Proposed North Elevation**

**Affordable & Office Block**

Drawn: PHJ, Checked: CK, Approved: DC

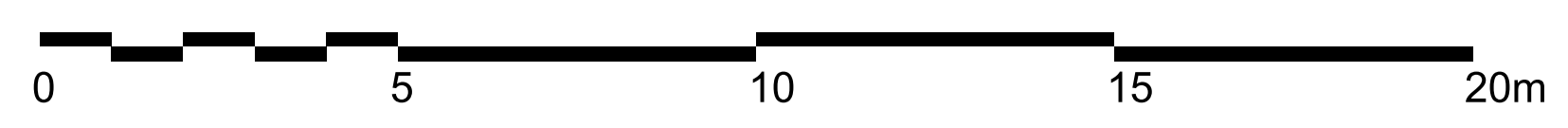
Drawing Status: PLANNING

Project	Disc	Level	Series	Drg No	Rev
13548-	A	LXX	04	102	A

The Centro Building  
 39 Plender Street  
 London NW1 0DT  
 Telephone: +44 (0)2074249611  
 info@piercyandco.com  
 www.piercyandco.com



Eyre Street Hill | Affordable Block | Courtyard | Ragged School Office | 12 Rosebery Avenue service route | 12 Rosebery Avenue Offices



**Notes**  
 This drawing is copyright Piercy&Company.  
 Do not scale from this drawing.  
 All dimensions and levels to be checked on site by the contractor and such dimensions to be his responsibility.  
 Report all drawing errors, omissions and discrepancies to the architect.

**DISCLAIMER**  
 This document may be issued in an editable digital CAD format to enable others to use it as background information to make alterations and/or additions. In that instance the file will be accompanied by a PDF version as a record of the original file. It is for those parties making such alterations and/or additions to ensure that they make use of current background information.

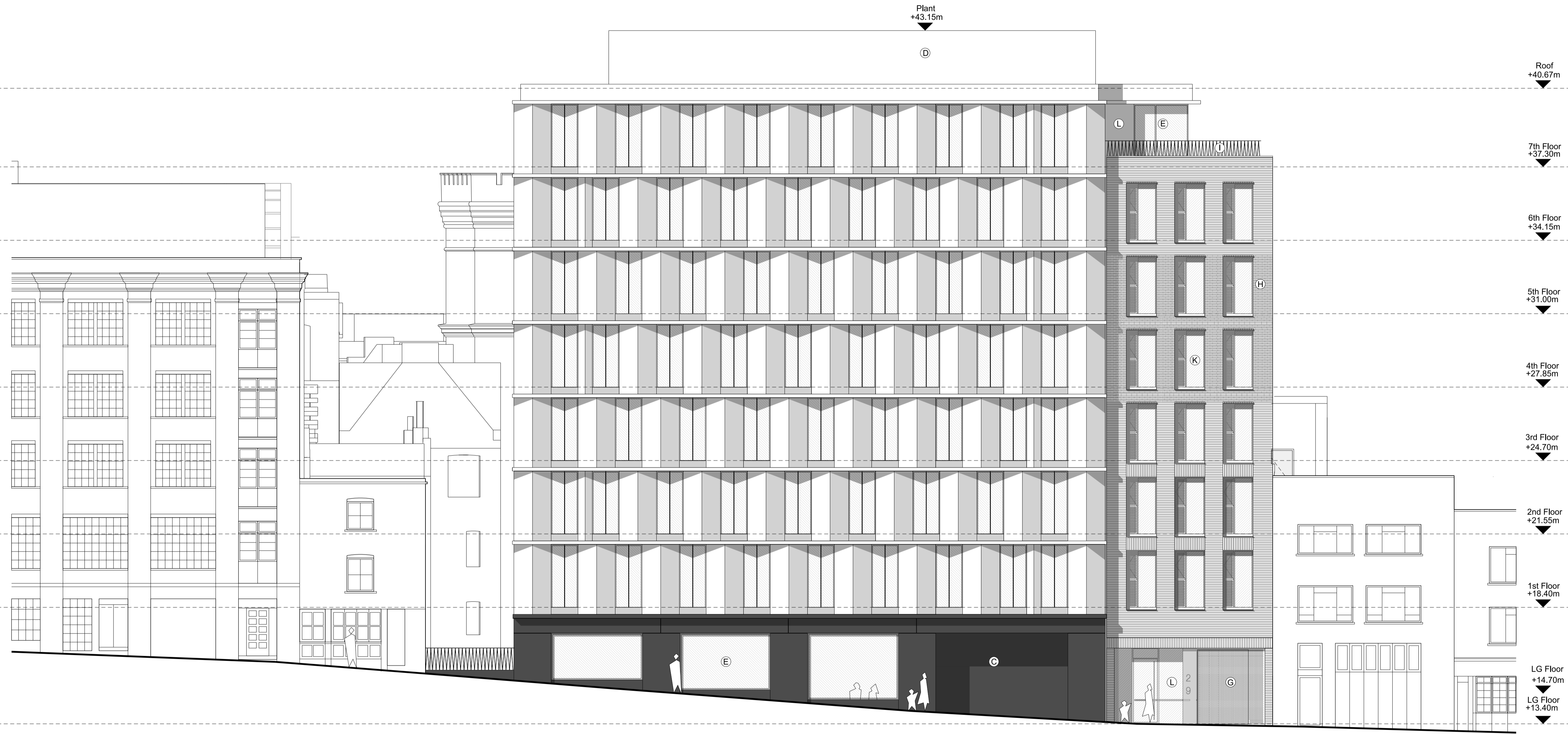
Piercy&Company accepts no liability for either: any such alterations and/or additions to the background information by others; or any other changes made by others to the architectural content of the background information itself.

**OFFICE:**

1. Red multi textured brick
2. Precast concrete banding, colour to match red brickwork
3. Double glazed door
4. New double glazed opening into existing facade
5. Double glazed rooflight/window
6. Bronze colour metal balustrade
7. 1 hour fire rated double glazed window
8. London stock brick to match existing brickwork
9. Louvres to match brickwork

**HOTEL/AFFORDABLE BLOCK:**

- A. Dark warm brown colour metal frame double glazed windows
- B. Light warm tone precast concrete
- C. Dark tone precast concrete
- D. Roof plant louvred metal screen
- E. Double glazed panel
- F. Metal louvred door to match dark tone precast concrete
- G. Dark warm brown colour patterned metal panel
- H. Light tone rustic brickwork
- I. Dark warm brown colour metal balustrade
- J. Dark warm brown colour tilt and turn double glazed window
- K. Dark warm brown colour metal frame window with patterned metal panels
- L. Double glazed door



Rev	Date	Description
A	17.04.19	Corrected levels & residential unit mix
-	26.10.18	First Issue



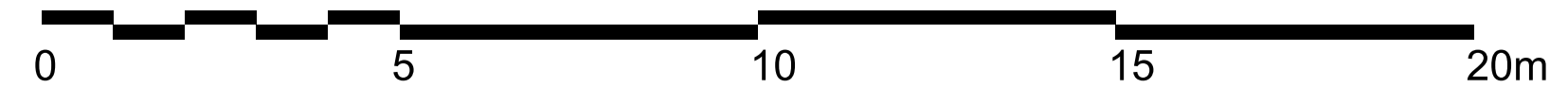
Project: Vine Hill  
 Client: Clerkenwell Lifestyle (UK) Ltd  
 Date: 26.10.18  
 Scale: 1:100@A1/1:200@A3

**Proposed East Elevation**  
**Hotel & Affordable Block**  
 Drawn: PHJ    Checked: CK    Approved: DC

Drawing Status: PLANNING

Project	Disc	Level	Series	Drg No	Rev
13548-	A	LXX	04	104	A

The Centro Building  
 39 Plender Street  
 London NW1 0DT  
 Telephone: +44 (0)2074249611  
 info@piercyandco.com  
 www.piercyandco.com



3-11 Eyre Street Hill    Gunmakers pub    Hotel Terrace    Hotel Block    Residential Block    31 Eyre Street Hill

**Notes**  
 This drawing is copyright Piercy&Company.  
 Do not scale from this drawing.  
 All dimensions and levels to be checked on site by the contractor and such dimensions to be his responsibility.  
 Report all drawing errors, omissions and discrepancies to the architect.

**DISCLAIMER**  
 This document may be issued in an editable digital CAD format to enable others to use it as background information to make alterations and/or additions. In that instance the file will be accompanied by a PDF version as a record of the original file. It is for those parties making such alterations and/or additions to ensure that they make use of current background information.

Piercy&Company accepts no liability for either: any such alterations and/or additions to the background information by others; or any other changes made by others to the architectural content of the background information itself.

- OFFICE:**
1. Red multi textured brick
  2. Precast concrete banding, colour to match red brickwork
  3. Double glazed door
  4. New double glazed opening into existing facade
  5. Double glazed rooflight/window
  6. Bronze colour metal balustrade
  7. 1 hour fire rated double glazed window
  8. London stock brick to match existing brickwork
  9. Louvres to match brickwork

- HOTEL/AFFORDABLE BLOCK:**
- A. Dark warm brown colour metal frame double glazed windows
  - B. Light warm tone precast concrete
  - C. Dark tone precast concrete
  - D. Roof plant louvre metal screen
  - E. Double glazed panel
  - F. Metal louvre door to match dark tone precast concrete
  - G. Dark warm brown colour patterned metal panel
  - H. Light tone rustic brickwork
  - I. Dark warm brown colour metal balustrade
  - J. Dark warm brown colour tilt and turn double glazed window
  - K. Dark warm brown colour metal frame window with patterned metal panels
  - L. Double glazed door

Rev	Date	Description
A	17.04.19	Corrected levels & residential unit mix
-	26.10.18	First Issue



**Project**  
Vine Hill

**Client**  
Clerkenwell Lifestyle (UK) Ltd

**Date** 26.10.18 **Scale** 1:100@A1/1:200@A3

**Proposed West Elevation**

**Hotel & Affordable Block**

**Drawn** PHJ **Checked** CK **Approved** DC

**Drawing Status**  
PLANNING

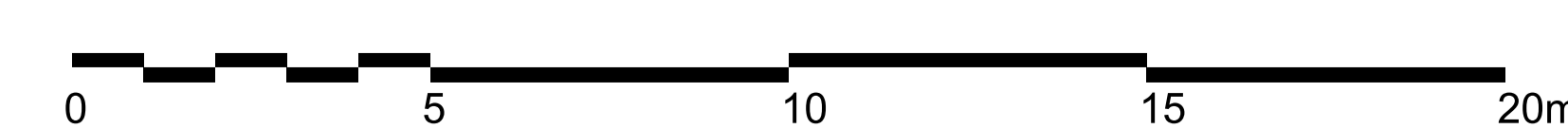
Project	Disc	Level	Series	Drg No	Rev
13548-	A	LXX	04	105	A

The Centro Building  
 39 Plender Street  
 London NW1 0DT  
 Telephone  
 +44 (0)2074249611

info@piercyandco.com  
 www.piercyandco.com



31 Eyre Street Hill | Residential Block | Hotel Block | Gunmakers pub | 3-11 Eyre Street Hill



**Notes**  
 This drawing is copyright Piercy&Company.  
 Do not scale from this drawing.  
 All dimensions and levels to be checked on site by the contractor and such dimensions to be his responsibility.  
 Report all drawing errors, omissions and discrepancies to the architect.

**DISCLAIMER**  
 This document may be issued in an editable digital CAD format to enable others to use it as background information to make alterations and/or additions. In that instance the file will be accompanied by a PDF version as a record of the original file. It is for those parties making such alterations and/or additions to ensure that they make use of current background information.

Piercy&Company accepts no liability for either: any such alterations and/or additions to the background information by others; or any other changes made by others to the architectural content of the background information itself.

- OFFICE:**
1. Red multi textured brick
  2. Precast concrete banding, colour to match red brickwork
  3. Double glazed door
  4. New double glazed opening into existing facade
  5. Double glazed rooflight/window
  6. Bronze colour metal balustrade
  7. 1 hour fire rated double glazed window
  8. London stock brick to match existing brickwork
  9. Louvres to match brickwork

- HOTEL/AFFORDABLE BLOCK:**
- A. Dark warm brown colour metal frame double glazed windows
  - B. Light warm tone precast concrete
  - C. Dark tone precast concrete
  - D. Roof plant louvred metal screen
  - E. Double glazed panel
  - F. Metal louvred door to match dark tone precast concrete
  - G. Dark warm brown colour patterned metal panel
  - H. Light tone rustic brickwork
  - I. Dark warm brown colour metal balustrade
  - J. Dark warm brown colour tilt and turn double glazed window
  - K. Dark warm brown colour metal frame window with patterned metal panels
  - L. Double glazed door

Rev	Date	Description
A	17.04.19	Corrected levels & residential unit mix
-	26.10.18	First Issue



Project: Vine Hill  
 Client: Clerkenwell Lifestyle (UK) Ltd  
 Date: 26.10.18  
 Scale: 1:100@A1/1:200@A3

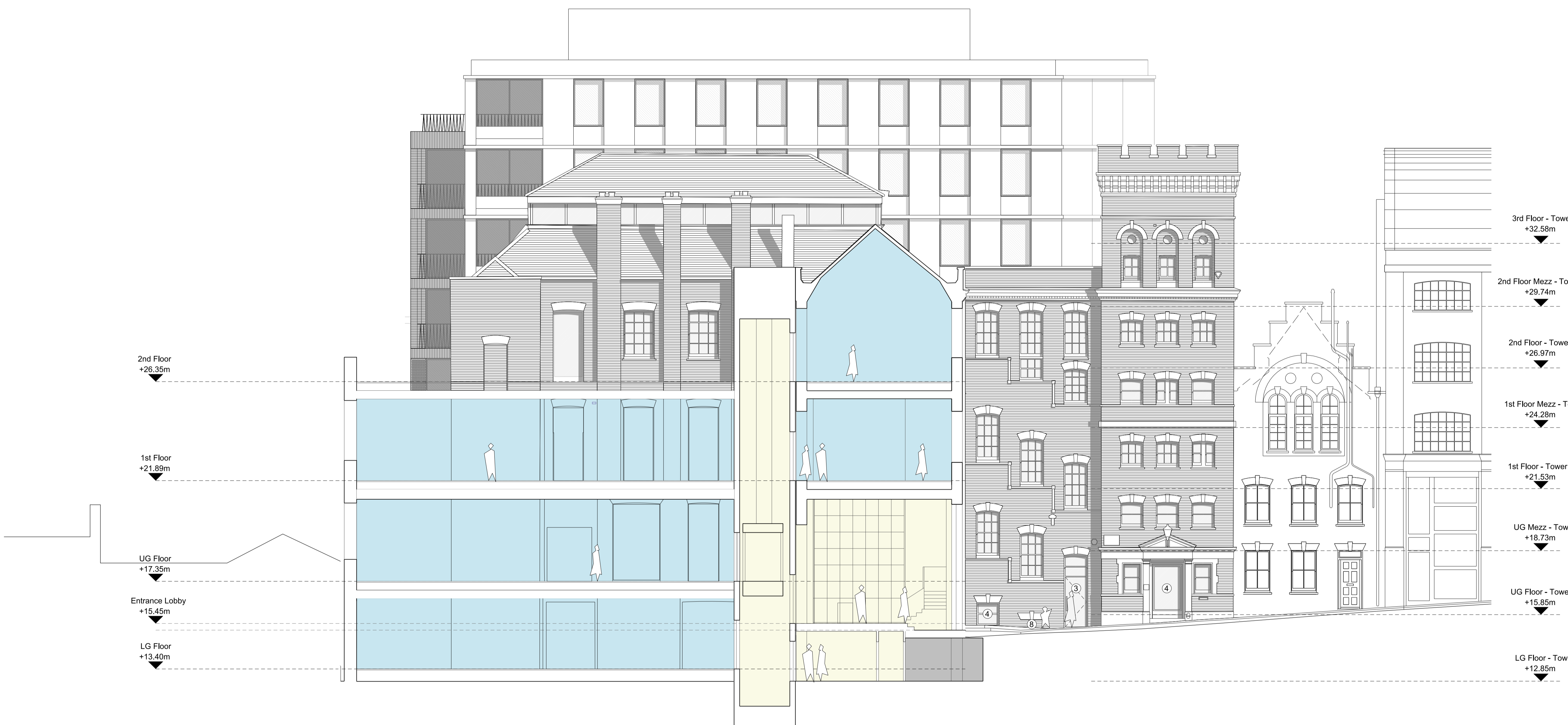
**Proposed Section A-A**

Drawn	Checked	Approved
PHJ	CK	DC

Drawing Status: PLANNING

Project	Disc	Level	Series	Drg No	Rev
13548-	A	LXX	05	101	A

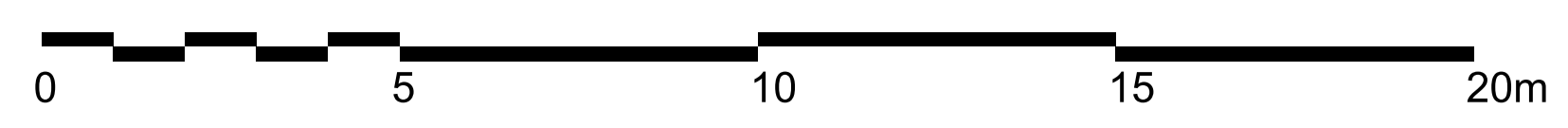
The Centro Building  
 39 Plender Street  
 London NW1 0DT  
 Telephone: +44 (0)2074249611  
 info@piercyandco.com  
 www.piercyandco.com



- 2nd Floor +26.35m
- 1st Floor +21.89m
- UG Floor +17.35m
- Entrance Lobby +15.45m
- LG Floor +13.40m

- 3rd Floor - Tower +32.58m
- 2nd Floor Mezz - Tower +29.74m
- 2nd Floor - Tower +26.97m
- 1st Floor Mezz - Tower +24.28m
- 1st Floor - Tower +21.53m
- UG Mezz - Tower +18.73m
- UG Floor - Tower +15.85m
- LG Floor - Tower +12.85m

8 Warners Yard | Ragged School Office Extension | Ragged School Office | 16 Vine Hill | 8 - 14 Vine Hill



**Notes**  
 This drawing is copyright Piercy&Company.  
 Do not scale from this drawing.  
 All dimensions and levels to be checked on site by the contractor and such dimensions to be his responsibility.  
 Report all drawing errors, omissions and discrepancies to the architect.

**DISCLAIMER**  
 This document may be issued in an editable digital CAD format to enable others to use it as background information to make alterations and/or additions. In that instance the file will be accompanied by a PDF version as a record of the original file. It is for those parties making such alterations and/or additions to ensure that they make use of current background information.

Piercy&Company accepts no liability for either: any such alterations and/or additions to the background information by others; or any other changes made by others to the architectural content of the background information itself.

- OFFICE:**
1. Red multi textured brick
  2. Precast concrete banding, colour to match red brickwork
  3. Double glazed door
  4. New double glazed opening into existing facade
  5. Double glazed rooflight/window
  6. Bronze colour metal balustrade
  7. 1 hour fire rated double glazed window
  8. London stock brick to match existing brickwork
  9. Louvres to match brickwork

- HOTEL/AFFORDABLE BLOCK:**
- A. Dark warm brown colour metal frame double glazed windows
  - B. Light warm tone precast concrete
  - C. Dark tone precast concrete
  - D. Roof plant louvre metal screen
  - E. Double glazed panel
  - F. Metal glazed door to match dark tone precast concrete
  - G. Dark warm brown colour patterned metal panel
  - H. Light tone rustic brickwork
  - I. Dark warm brown colour metal balustrade
  - J. Dark warm brown colour tilt and turn double glazed window
  - K. Dark warm brown colour metal frame window with patterned metal panels
  - L. Double glazed door

Rev	Date	Description
A	17.04.19	Corrected levels & residential unit mix
-	26.10.18	First Issue



**Project**  
Vine Hill

**Client**  
Clerkenwell Lifestyle (UK) Ltd

**Date**  
26.10.18

**Scale**  
1:100@A1/1:200@A3

**Proposed Section B-B**

Drawn	Checked	Approved
PHJ	CK	DC

**Drawing Status**  
PLANNING

Project	Disc	Level	Series	Drg No	Rev
13548-	A	LXX	05	102	A

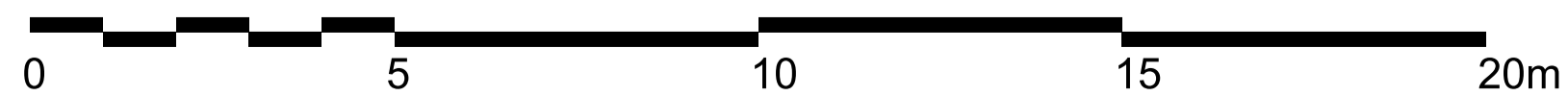
The Centro Building  
 39 Plender Street  
 London NW1 0DT

Telephone  
 +44 (0)2074249611

info@piercyandco.com  
 www.piercyandco.com



12 Rosebery Avenue Offices | 12 Rosebery Avenue service route | Ragged School Office | Courtyard | Hotel Block | Eyre Street Hill



**Notes**  
 This drawing is copyright Piercy&Company.  
 Do not scale from this drawing.  
 All dimensions and levels to be checked on site by the contractor and such dimensions to be his responsibility.  
 Report all drawing errors, omissions and discrepancies to the architect.

**DISCLAIMER**  
 This document may be issued in an editable digital CAD format to enable others to use it as background information to make alterations and/or additions. In that instance the file will be accompanied by a PDF version as a record of the original file. It is for those parties making such alterations and/or additions to ensure that they make use of current background information.

Piercy&Company accepts no liability for either: any such alterations and/or additions to the background information by others; or any other changes made by others to the architectural content of the background information itself.



2nd Floor +26.35m  
 1st Floor +21.89m  
 UG Floor +17.35m  
 Entrance Lobby +15.45m  
 LG Floor +13.40m

Roof +40.67m  
 1 Bedroom Apartment 7th Floor +37.30m  
 2 x 1 Bedroom Apartment 6th Floor +34.15m  
 2 x 1 Bedroom Apartment 5th Floor +31.00m  
 3 Bedroom Apartment 4th Floor +27.85m  
 3 Bedroom Apartment 3rd Floor +24.70m  
 3 Bedroom Apartment 2nd Floor +21.55m  
 3 Bedroom Apartment (Wheelchair Accessible) 1st Floor +18.40m  
 LG Floor +13.40m

A	17.04.19	Corrected levels & residential unit mix
-	26.10.18	First Issue
Rev	Date	Description



**Project**  
 Vine Hill

**Client**  
 Clerkenwell Lifestyle (UK) Ltd

**Date**  
 26.10.18

**Scale**  
 1:100@A1/1:200@A3

**Proposed Section C-C**

<b>Drawn</b>	<b>Checked</b>	<b>Approved</b>
VP	CK	DC

**Drawing Status**  
 PLANNING

<b>Project</b>	<b>Disc</b>	<b>Level</b>	<b>Series</b>	<b>Drg No</b>	<b>Rev</b>
13548-	A	LXX	04	103	A

12 Rosebery Avenue Offices

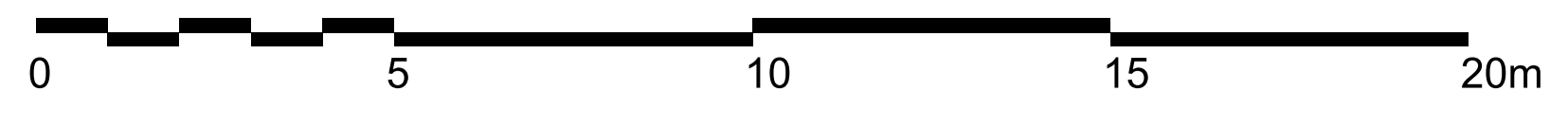
12 Rosebery Avenue service route

Ragged School Office

Courtyard

Residential Block

Eyre Street Hill



The Centro Building  
 39 Plender Street  
 London NW1 0DT

Telephone  
 +44 (0)2074249611

info@piercyandco.com  
 www.piercyandco.com

**Notes**  
 This drawing is copyright Piercy&Company.  
 Do not scale from this drawing.  
 All dimensions and levels to be checked on site by the contractor  
 and such dimensions to be his responsibility.  
 Report all drawing errors, omissions and discrepancies to the  
 architect.

**DISCLAIMER**  
 This document may be issued in an editable digital CAD  
 format to enable others to use it as background information  
 to make alterations and/or additions. In that instance the  
 file will be accompanied by a PDF version as a record of  
 the original file. It is for those parties making such  
 alterations and/or additions to ensure that they make use  
 of current background information.

Piercy&Company accepts no liability for either: any such  
 alterations and/or additions to the background information  
 by others; or any other changes made by others to the  
 architectural content of the background information itself.



Rev	Date	Description
B	17.04.19	Corrected levels & residential unit mix
A	15.04.19	Corrected levels
-	26.10.18	First Issue



Project: Vine Hill  
 Client: Clerkenwell Lifestyle (UK) Ltd  
 Date: 26.10.18  
 Scale: 1:100@A1/1:200@A3

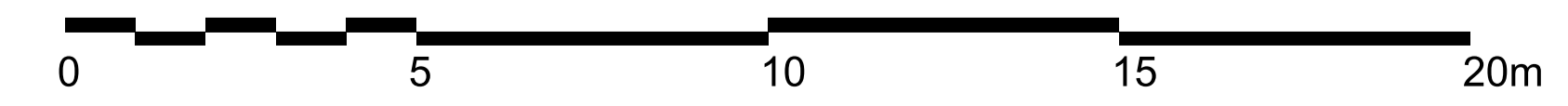
**Proposed Section E-E**

Drawn	Checked	Approved
PHJ	CK	DC

Drawing Status: PLANNING

Project	Disc	Level	Series	Drg No	Rev
13548-	A	LXX	04	105	B

Eyre Street Hill | Hotel Block | Courtyard | Ragged School Office | 12 Rosebery Avenue service route | 12 Rosebery Avenue Offices



The Centro Building  
 39 Plender Street  
 London NW1 0DT  
 Telephone: +44 (0)2074249611  
 info@piercyandco.com  
 www.piercyandco.com



**Notes**  
 This drawing is copyright Piercy&Company.  
 Do not scale from this drawing.  
 All dimensions and levels to be checked on site by the contractor and such dimensions to be his responsibility.  
 Report all drawing errors, omissions and discrepancies to the architect.

**DISCLAIMER**  
 This document may be issued in an editable digital CAD format to enable others to use it as background information to make alterations and/or additions. In that instance the file will be accompanied by a PDF version as a record of the original file. It is for those parties making such alterations and/or additions to ensure that they make use of current background information.

Piercy&Company accepts no liability for either: any such alterations and/or additions to the background information by others; or any other changes made by others to the architectural content of the background information itself.



Rev	Date	Description
A	17.04.19	Corrected levels & residential unit mix
-	26.10.18	First Issue



Project: Vine Hill  
 Client: Clerkenwell Lifestyle (UK) Ltd  
 Date: 26.10.18  
 Scale: 1:100@A1

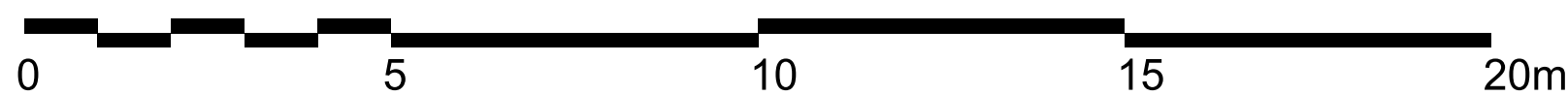
**Proposed Section F-F**

Drawn	Checked	Approved
VP	CK	DC

Drawing Status: PLANNING

Project	Disc	Level	Series	Drg No	Rev
13548-	A	LXX	04	106	A

3-11 Eyre Street Hill | Gunmakers pub | Hotel Terrace | Hotel Block | Residential Block | 31 Eyre Street Hill



The Centro Building  
 39 Plender Street  
 London NW1 0DT  
 Telephone: +44 (0)2074249611  
 info@piercyandco.com  
 www.piercyandco.com