

**Templewood Avenue Neighbourhood Association**

Reply to:  
14 Templewood Avenue  
London NW3 7XA

27.2.99

Mr Habib Neshat  
Planning Officer  
London Borough of Camden  
Environment Department  
Camden Town Hall, Argyll Street  
London WC2H 8ND

*Habib (AO) OBT*

Dear Mr Neshat

**6 Templewood Avenue NW3 PW9802935**

Having had an opportunity to discuss this application with Mr Schaffer, owner of 6 Templewood Avenue, we would like to modify parts of our letter to you of 25<sup>th</sup> February.

Mr Schaffer has pointed out that the proposed structure would follow the line set by the house at No.8. This omits reference to the general sweep of the houses towards the western end of the road, and therefore to the fact that at one corner the extension would be nearer to the road than the other houses on its side. We concede, however, that the encroachment is not large.

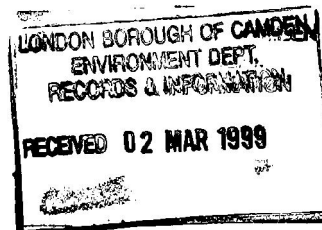
We remain unhappy about the precedent that may be set. Mr Schaffer takes the view that this will not be so, since his house is a special case as it flanks Templewood Gardens rather than Templewood Avenue. Would you kindly consider this point.

Mr Alemi, whose letter we attached, wishes to withdraw par(5) of his letter.

Yours sincerely



Peter Rowe  
Secretary



**H. Alemi**  
**3, Templewood Avenue**  
**London NW3 7UY**  
**Tel 0171 435 5288 (Home)**  
**Tel 0171 556 1503 (Work)**

24 February 1999

Mr Peter Rowe  
14 Templewood Avenue  
London NW3 7UY

Dear Peter,

**Re: Application for a conservatory at No. 6 Templewood Avenue**

After examining the drawings you had kindly sent me, I think some of the following points may be relevant and should be brought to the attention of the Planning Officer at Camden Council.

**1. Interruption of the line of existing buildings on Templewood Avenue**

Templewood Avenue is a conservation area and all proposed changes to existing buildings have to comply with Camden council's Urban Development Policy (UDP). The proposed conservatory breaks the alignment of buildings on Templewood Avenue, and will considerably detract from the uniform character of buildings on this unique road in Hampstead. Also, permission for such a conservatory would alter the elevation of the building, contrary to Camden's UDP in a conservation area.

**2. Setting a precedence**

Approval of the proposed scheme would set a precedence for similar alterations to other buildings on this road. Thus approval for such an extension will indirectly create a right for others to follow along a similar path.

**3. The necessity of the works in a Conservation Area**

In a conservation area, all proposed works should be deemed necessary or have substantial benefits for the local community and environment. The proposed scheme does not achieve either of these. The works include an extension to an existing substantial family house in a conservation area. No reasons have been put forward for why this extension is deemed necessary for such a large family house.

**4. The proposed position of the conservatory**

The conservatory of about 16 sqm is being proposed on the Road side of the building that overlooks Templewood Avenue rather than as an extension on the Garden side.

The latter location would have had the advantage of a better outlook into existing gardens and better light. Furthermore, the position on the garden side would not alter the external elevation of the building.

**5. Restriction of light for inhabitants of 8, Templewood Avenue**

Such a large conservatory with a glass roof will detract substantial light from the windows of existing flats at 8 Templewood Avenue.

**6. The nature of the works and health and safety matters**

The materials used should obviously match the existing material. This would be difficult to achieve since the interlocking of new walls with the old must be done properly in order to prevent future cracks. Therefore the walls should be two bricks thick and load-bearing. The glass section of the roof should be toughened to prevent any eventual collapse. The remaining flat roof of the conservatory would create an illegal roof terrace which would be dangerous due to lack of hand rails and low parapet. The kitchen would obviously receive less light due to this extension in front of it.

Please do not hesitate to contact me if I can be of any further assistance.

Best wishes.

Yours sincerely

H.Alemi  
Architect