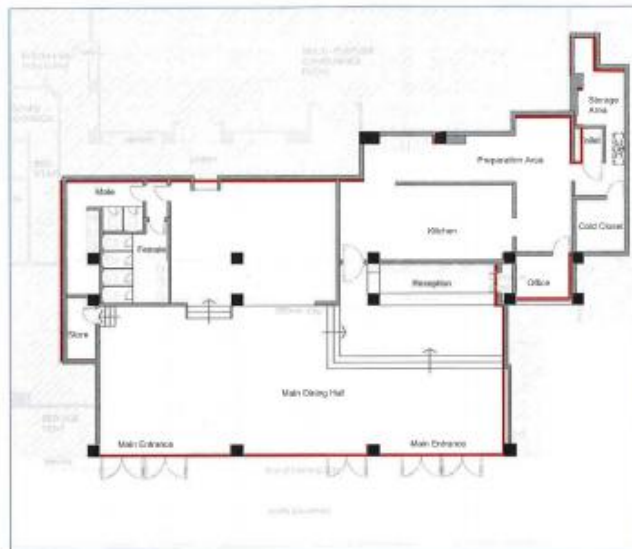




Existing Floor Plan



Proposed Floor Plan



Revision	Date / Details
General Notes: 1. All dimensions must be checked and verified on site with the drawings by the contractor. Any discrepancies reported prior to commencement of any work. The contractor should not scale from these drawings. 2. Contractor must seek for permission from the council for any permit for the strip-out work. asbestos assessment must be carried out before the strip-out work. If any asbestos substance must be managed and covered by appropriate specialist, and should not cause any health and safety risk to the public at any point of the fit-out work. 3. All works to comply with relevant Codes of Practice and British Standards and approval of Building Control. 4. This drawing is for the Landlord's reference. It is not for the fit-out work or construction. 5. Planning consent is not required because there is no any alteration to the shop front at all.	
	
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Technical Design Project: 40-42, Woburn Place, Bloomsbury, London WC1H 0JX Dwg title: General Arrangement Drawing	
Scale: 1:100	Drawing size: A1
Date: 13/05/2019	
Drawing no: 40_42WP_TD(000)	Rev no: -

Fire sprinkler system, mechanical ventilation system, gas supply, cold closet and electricity in the kitchen and other preparation areas are to be tested by competent specialists. Certificate must be provided to Building Control if there is any modification to the systems. The proposed refurbishment work do not carry out any modification as such.

Existing internal walls, party structure wall and ceiling with the hotel are to be upgraded to high level of sound proofing performances, and min. 1-hour fire resistance by fitting 40mm rigid insulation boards between timber battens at 600mm c/c fixed with drywall screws with 12.5mm fire rated gypsum plasterboard to achieve U-value 0.27, more than Building Regulations requirement of max. 0.3 U-value.

Existing metal perforated ceiling panels are to be removed in the proposed VIP room and replaced by British standard gypsum board with minimum 1-hour fire resistance. New downlights and ceiling lights are installed on the new ceiling. Ventilation ducting system is to be extended to the room and fitted on the new ceiling with the air-conditioner unit.

New partition walls comprising 2no layers of 12.5mm fire rated wall board on 50 x 100mm treated timber studs at every 400mm c/c on sole plate and double joist below used for non load-bearing partition wall. Rigid insulation panels placed between studs to achieve 1-hour fire resistance and high sound proofing insulation.

Toilet layout remains unchanged. Extractor fans are to be tested by specialist, making sure the air flow rates comply Building Regulations.

Smoke detector and alarm must be installed in the VIP room. The alarm system is operated by the mains and conform to BS 5446-1:2000 or BS 5446-2:2003. System to have battery back up in accordance with BS5839-6:2004 and be hard wired and linked. Installation and commissioning certificates to be provided.

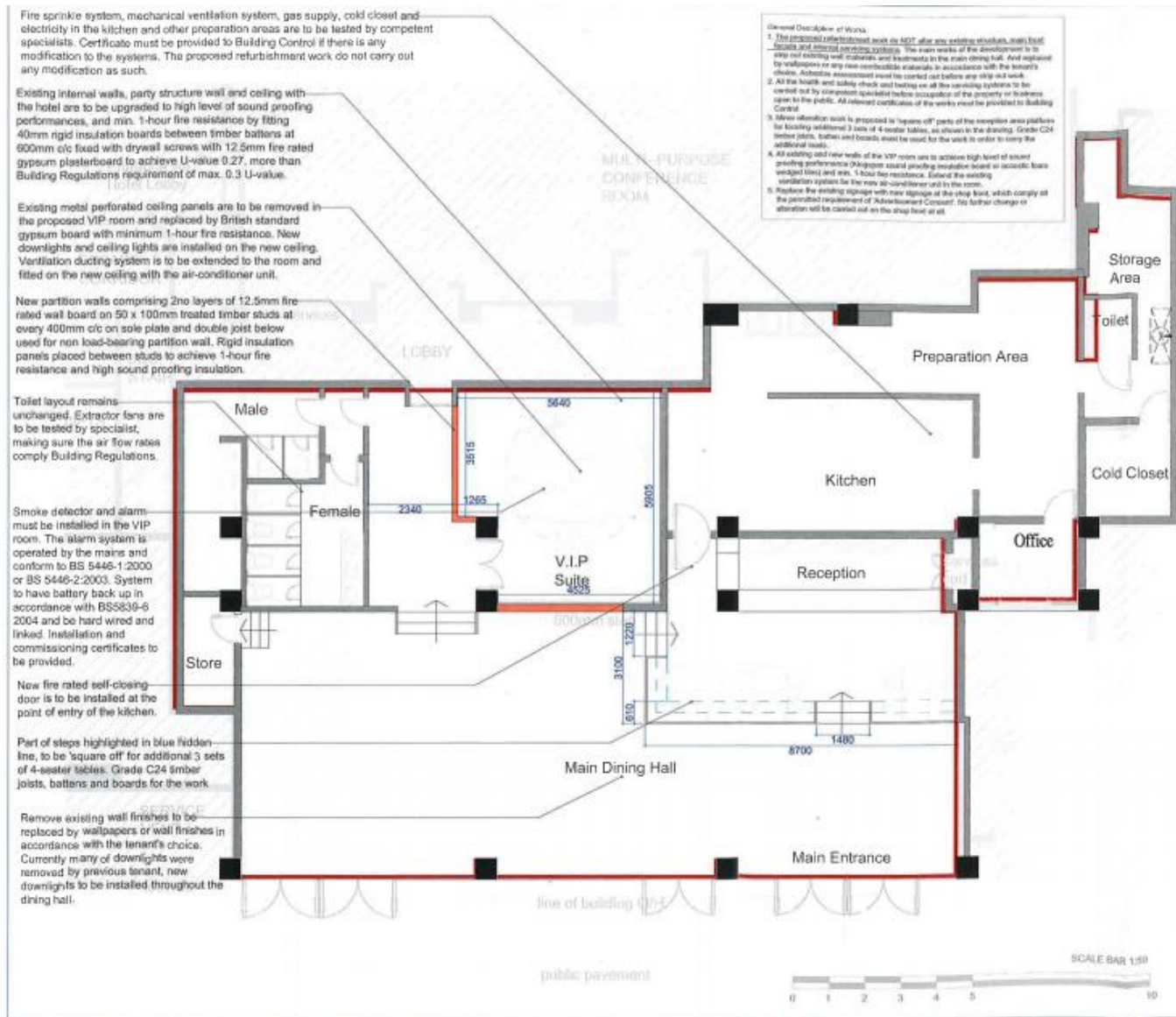
New fire rated self-closing door is to be installed at the point of entry of the kitchen.

Part of steps highlighted in blue hidden line, to be 'square off' for additional 3 sets of 4-seater tables. Grade C24 timber joists, battens and boards for the work.

Remove existing wall finishes to be replaced by wallpapers or wall finishes in accordance with the tenant's choice. Currently many of downlights were removed by previous tenant, new downlights to be installed throughout the dining hall.

General Description of Works

1. The proposed refurbishment work do NOT alter any existing structural, main floor, ceiling and electrical services. The main works of the development is to alter non existing wall materials and treatments in the main dining hall. And replaced by wallpapers or any new non-combustible materials in accordance with the tenant's choice. All existing wall materials must be tested before any strip out work.
2. All the health and safety checks and testing on all the existing systems to be carried out by competent specialist before occupation of the property or before open to the public. All relevant certificates of the works must be provided to Building Control.
3. All new ventilation work is proposed to 'square off' parts of the reception area platform for housing additional 3 sets of 4-seater tables, as shown in the drawing. Grade C24 timber joists, battens and boards must be used for the work in order to carry the additional loads.
4. All existing and new walls of the VIP room are to achieve high level of sound proofing performance (90kg/m³ sound proofing insulation board or acoustic foam wedged lined) and min. 1-hour fire resistance. Extend the existing ventilation system for the new air-conditioner unit in the room.
5. Replace the existing signage with new signage at the shop front, which comply all the permitted requirement of Advertisement Consent. Any further change or alteration will be carried out on the shop front at a later date.



Revision / Date / Details

General Notes

1. All dimensions must be checked and verified on site with the drawings by the contractor. Any discrepancies reported prior to commencement of any work. The contractor should not scale from these drawings.
2. Contractor must seek permission from the council for any work to be carried out before the start of work. If any, Advertiser notices must be managed and approved by competent specialist, and would not cause any health and safety risk to the public at any point of the third work.
3. All works to comply with relevant Codes of Practice and British Standards and approval of Building Control.
4. This drawing is for the Landlord's reference. It is not for the final work or construction.
5. Changing content is not permitted because there is no any extension in the shop front at all.



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Technical Design

Project:
40-42, Woburn Place, Bloomsbury
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Draw title:
Proposed Detailed Plan with
Specifications.

Scale: Drawing size

1:50 A1

Date:

03/05/2019

Drawing no: Rev no:

40_42WP_TD(001) -