

PLANNING STATEMENT

Applicant: LYONDALE PLANNING LTD

**Application Site: 529 C – 529D FINCHLEY ROAD
LONDON NW3 7BG**

**Proposal: ERECTION OF TWO STOREY REAR
EXTENSION AND CHANGE OF USE OF
FIRST AND SECOND FLOORS TO 6 X
SELF CONTAINED FLATS**

Our Ref:

Date: 25 MAY 2019

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ENCLOSURES

1. - Site Location Plan.
2. - Planning Application Form
3. - Proposed and Existing Plan

1.0 INTRODUCTION

This statement is submitted by **LYONDALE PLANNING LTD** in support of planning application for **the erection of two storey rear extension and the change of use of first and second floors to 6x self- contained flats**. The statement provides a description of the site and its surroundings, the proposal, design, layout, access, policy and planning considerations. This statement is written in accordance and in full conformity with the requirements set for prior approval as amended in the Town and Country Planning (general Development Procedure) Order 2016.

2.0 SITE LOCATION AND DESCRIPTION

The application site is a three storey end of terrace property located on the south eastern side of Finchley Road close to the junction of Burrard Road. . The property is currently use for commercial but the area is dominated by residential uses.

The site is not located within Conservation Area and the property is not listed or near a listed building.



The red arrow on the photo shows the site of the proposed development.

3.0 THE PROPOSAL

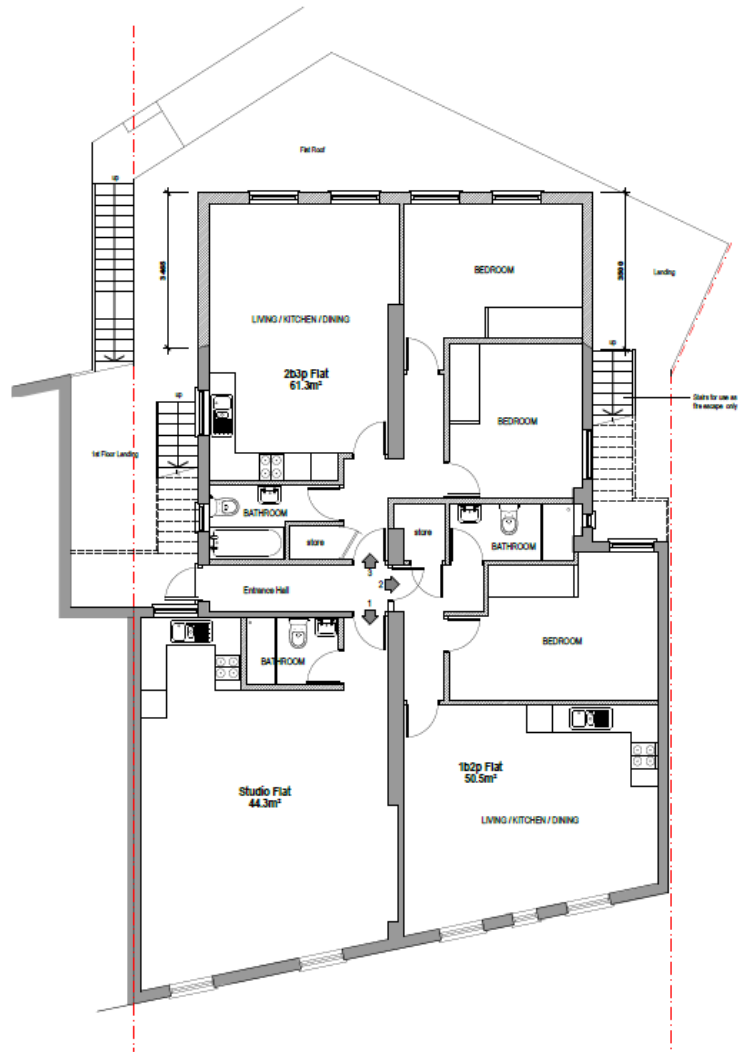
The applicant seeks planning application for the erection of two storey rear extension and the change of use of first and second floors to 6x self-contained flats.

4.0 DESIGN AND LAYOUT DESIGN

The proposed development involves the extension of the rear of the property to two storeys. The proposal would be constructed on the footprint of the existing ground floor, the design in terms of material and positioning of windows and doors would match the host building and would have a symmetrical roof profile. The proposal would have a door and window overlooking the rear garden.

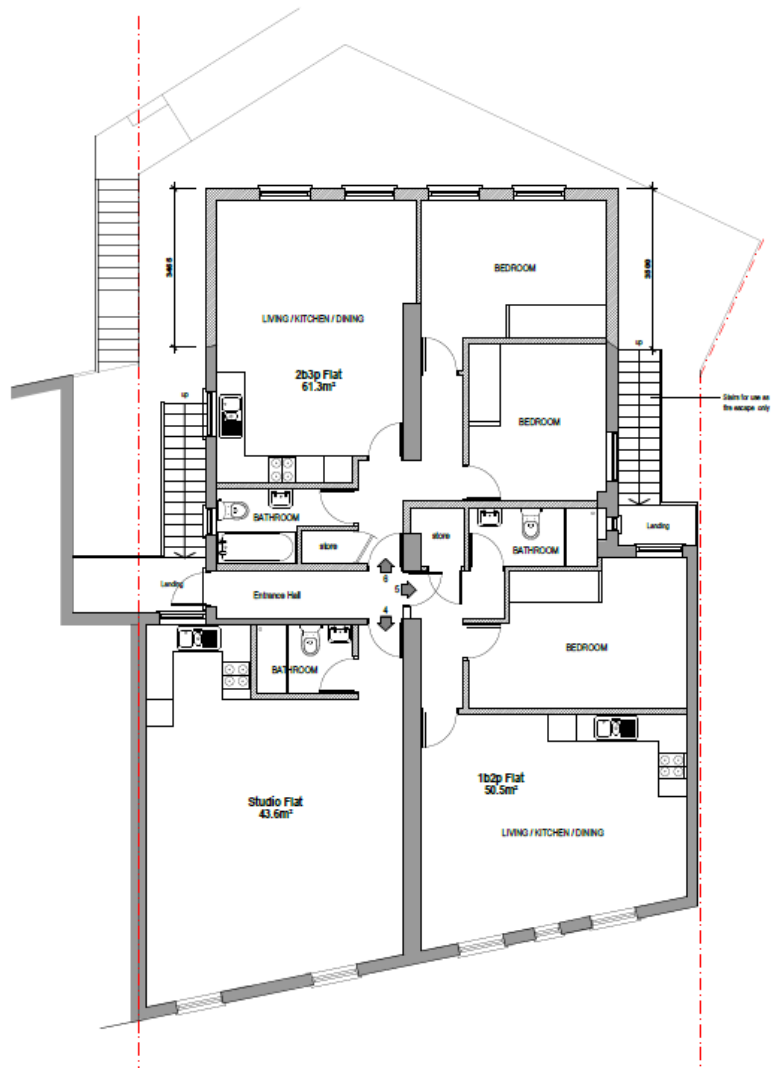
LAYOUT

The layout of the proposed extension would follow the pattern of the original form of the existing plan. There would be alterations to the internal fabric to accommodate the change from the existing use to residential use.



PROPOSED FIRST FLOOR PLAN

The drawing showing the proposed layout plan of the first floor



PROPOSED SECOND FLOOR PLAN

The drawing showing the proposed layout plan of the second floor

SCALE

The scale of the proposed extension in terms of size, height, bulk and mass is considered moderate.

ACCESS

The site already has established access points which would be maintained and create new access point would be created. Access for the proposed ground

floor flats will be maintained fronting Finchley Road. Similarly, access arrangements to the upper floor will be provided from the rear access through Burrard Road.

See the second floor layout plan for various access.

5.0 POLICY CONSIDERATIONS

National Planning Policy Framework 2018

Paragraph 117

Paragraph 118

The London Plan 2016

Policy 7.4 Local Character

Policy 7.6 Architecture

The 'DCLG Technical Housing Standards

Camden Local Plan 2017

Policy G1 Delivery and location of growth

Policy A1 Managing the impact of development

Policy D1 Design

Camden Planning Guidance

CPG1 (Design) 1, 2, 3, 4 and 5

CPG6 (Amenity) 6 and 7

6.0 PLANNING CONSIDERATIONS

The main planning consideration in this proposed development is to do with:

- Principle of the development
- Impact on the character and appearance of the host building and surrounding area
- Impact on neighbouring amenity

Principle of the development

The principle of development is supported by Paragraph 117 and 118 of the revised NPPF which came into force on 24 July 2018 which highlights that, planning policies and decisions should **promote an effective use of land in meeting the need for homes and other uses**, while safeguarding and improving the environment and ensuring safe and healthy living conditions. The principle of the development is a material consideration and should be given weight.

The London Plan outlines through Policies 3.3, 3.5 and 3.8 states that there is a pressing need for more homes in London and that a genuine choice of new homes should be supported which are of the highest quality and of varying sizes and tenures in accordance with Local Development Frameworks.

The proposed change of use will provide a mixed of housing tenures in compliance with Local Development Frameworks and the London Plan.

Impact on the character and appearance of the host building and the surrounding area

The proposed extension in terms of scale, size, height and bulk is considered moderate subservient to host building. The proposal would respect the appearance, scale, bulk, form, proportion and materials of the character of the original building and the surrounding area in compliance with policy DM1 and policy 7.4 and 7.6 of the London plan.

The proposal would not detract from the character and appearance of the host building or the area in general.

Impact on neighbouring amenity

It is considered that the location, size, scale, bulk and orientation of the proposed development to adjoining properties would not result in any harmful impact to residential or neighbouring amenity in terms of loss of

light, privacy, enclosure, overshadowing and overbearing. The proposed development complies with both Local Plan and national planning policies.

Quality of accommodation

The 'DCLG Technical Housing Standards – nationally described space standard' specifies minimum internal space standards required for new dwellings. The Technical Housing Standards stipulate minimum gross internal floor areas (GIAs) for dwellings/units based on the number of bedrooms, intended occupants and storeys, minimum bedroom sizes of 7.5m² for single occupancy and 11.5m² for double/twin occupancy, plus further dimension criteria for such spaces.

While the DCLG (nationally described space standard' specifies minimum internal space standards is required **for new dwellings**, it is considered that the proposed conversion would meet the minimum internal space standards required.

Sustainable Transport

London Plan Policy 6.3 states that development proposals should ensure that impacts on transport capacity and the transport network, at both a corridor and local level, are fully assessed. Development should not adversely affect safety on the transport network. Policy 6.13 seeks to ensure a balance is struck to prevent excessive car parking provision that can undermine cycling, walking and public transport use and through the use of well-considered travel plans aim to reduce reliance on private means of transport.

The proposal is in favour of sustainable development whereby reliance on private transport is minimized by the introduction of cycling and other forms public transport.



The photo shows a bus stop directly opposite the site marked by the red star

Car Parking

The site is identified with a public transport accessibility rating (PTAL) of 7 meaning it has good access to public transport, as such and taking into account of the policy context above, a car free development would be warranted. Furthermore, the demand for on street parking generated by the development is unlikely to result in any unacceptable impact with respect to highways parking, notwithstanding, the site has provision for controlled resident parking on the street.

7.0 CONCLUSION

The proposal scheme accords with the objectives of the NPPF, and also the Development Plan. The proposal is appropriate within the context, and would not detract from the character and appearance of the area. The proposal would make full and effective use of the site whilst respecting the quality and character of the area.

The proposed extension and the proposed change of use will provide additional accommodation and will not adversely affect or cause harm to the amenity of neighbouring occupiers.

The proposal would accord with NPPF Policy (2018), the London Plan Policies (2016), and Development Management Local Plan (2014)

In the absence of any adverse harm arising, the development proposal should be granted planning permission in accordance with paragraph 12 of the NPPF which states that "proposed development that accords with an up-to-date Local Plan should be approved"