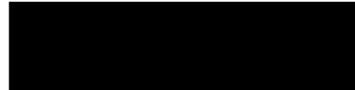




GERALDEVE

Assistant Director of Planning
London Borough of Camden
Development Control
Judd Street
London
WC1H 9JE



FAO: David Fowler

29 April 2019



Dear Sir

**21-31 New Oxford Street
Non-Material Amendment Application (s96a)**

We write on behalf of our client, 21-31 New Oxford Street Development Limited, to submit a non-material amendment application (s96a), to amend the trigger of Condition 11 attached to planning permission ref. 2014/5946/P.

The Site

The application site is located in the London Borough of Camden. The building fronts on to four streets: New Oxford Street, Museum Street, High Holborn and Dunn's Passage.

Background

Planning permission (ref. 2014/5946/P) was granted on 30 March 2015 for the remodelling, refurbishment and extension of the existing building, to provide a new public roof terrace, private terraces, wintergardens, roof top plant and new entrances in connection with the change of use of the building to offices (Class B1), retail/restaurant/doctors' surgery uses (Class A1/A3/D1) and 21 affordable housing units (Class C3) along with associated highway, landscaping and public realm improvements.

Since this time, a number of amendments have been made to the scheme through the submission of non-material amendment applications. These are as follows:

- NMA 1 (ref. 2016/0713/P) – Amendments to the New Oxford Street and High Holborn corners as well as revised basement and ground floor layouts to improve efficiency. The Deed of Variation was signed and a decision was issued on 31 March 2017.
- NMA 2 (ref. 2016/2130/P) – Extension of the glazing on the eighth floor mezzanine level of the building (east elevation) to provide an improved outlook for the occupiers of the eighth floor of the proposed office building. The application was permitted on 19 September 2016.



- NMA 3 (ref. 2016/6646/P) – Amendment to the mezzanine deck at level 8 and minor changes to the north and south elevations to provide associated access doors to the terraces. This application was permitted on 13 January 2017.
- NMA 4 (ref. 2016/6646/P) – Provision of revolving doors to the main entrance, introduction of metal deck/gantry at mezzanine level within ground floor service yard area, changes to ground level retail bays along Museum Street, reduction of residential projecting frames by 100mm, re-alignment of rear façade of residential element of proposed building, changes to design of mezzanine decks and second floor mezzanine, amendment to plant screen geometry at roof level, overrun to two approved lifts serving roof terrace increased by 500mm and setting out and position of the public terrace lift core revised. This application was permitted on 18 January 2017.
- NMA 5 (ref. 2017/2959/P) – Change of use of part of basement from A1/A3 to B1, increase in terrace balustrade and lift overrun height and amendments to cycle and bin store layout. This application was permitted on 28 July 2017.
- NMA 6 (ref. 2017/6719/P) – Reduction in the extent of the entrance canopies, amendments to retail entrance doors, amendments to glazed opening to Dunn's Passage, amendments to Dunn's Passage upstand and addition of a void in the floorplate of levels 6 & 7 to create vertical link between levels 5 and 7. This application was permitted on 18 January 2018.
- NMA 7 (ref. 2018/5150/P) – This application allowed for the introduction of an additional flexible D2 use at part ground and mezzanine floors. This application was permitted on 8 February 2019.

Proposals

Since the previous non-material amendment application (NMA 7 ref. 2018/5150/P), the applicant has identified that the trigger of Condition 11, attached to the original planning permission (ref. 2014/5946/P), is not deliverable in its current form.

Condition 11 is worded as follows:

"All hard and soft landscaping works shall be carried out in accordance with the approved landscape details prior to first occupation of the residential units, or in the case of soft landscaping by not later than the end of the planting season following completion of the development".

The development is nearing practical completion and the affordable housing units are almost ready for handover to Octavia, the Registered Provider. Whilst the majority of the hard and soft landscaping works have been completed, including the residential roof terrace and play area, in accordance with the details submitted under Condition 10, the works to Dunn's Passage are awaiting completion. The reason for this delay is that the public terrace access unit, located on the corner of New Oxford Street and Dunn's Passage, is currently being used as a means of access for part of the fit out of the building by the occupier. Access to Dunn's Passage to complete the landscaping works is therefore restricted until the means of access is relocated on award of practical completion.

On this basis, it is proposed that the trigger for completion of the hard and soft landscaping works is amended, as follows:

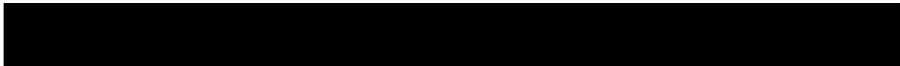
"All hard and soft landscaping works shall be carried out in accordance with the approved landscape details prior to first occupation of the residential units relevant part of the development, or in the case of soft landscaping by not later than the end of the planting season following completion of the development".

The amendment to this trigger will allow the residential units to be occupied whilst the Dunn's Passage landscaping works are awaiting completion but will mean that the other commercial uses cannot be occupied until the hard and soft landscaping works to Dunn's Passage are completed. Based on the project delivery and occupation programme, this should not be an issue.

Application Documents

Accordingly, we enclose the following documents, in support of this application, submitted via Planning Portal:

- A copy of this cover letter;
- Non-material amendment application forms;
- Notice Schedule; and
- Site location plan.



We trust that you have everything required to validate and determine the application.

Should you have any questions in the meantime, please do not hesitate to contact either Hannah Bryant or Jai Sidhu, of this office.

Yours faithfully



Gerald Eve LLP

