

Notes:

- refer to door schedule for new/amended doors
- existing skirting to be made good/infilled
- no cornices proposed
- carpet finish to office/circulation
- tiled finish to wet area and plant

Key

- Existing
- Proposed
- Existing drainage route

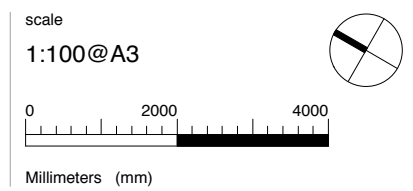
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Drawing to be read in conjunction with structural engineer's drawings and specification.

revisions
181207: P1: Service rise options added
190201: P2: Planning
190227: P3: Planning revision

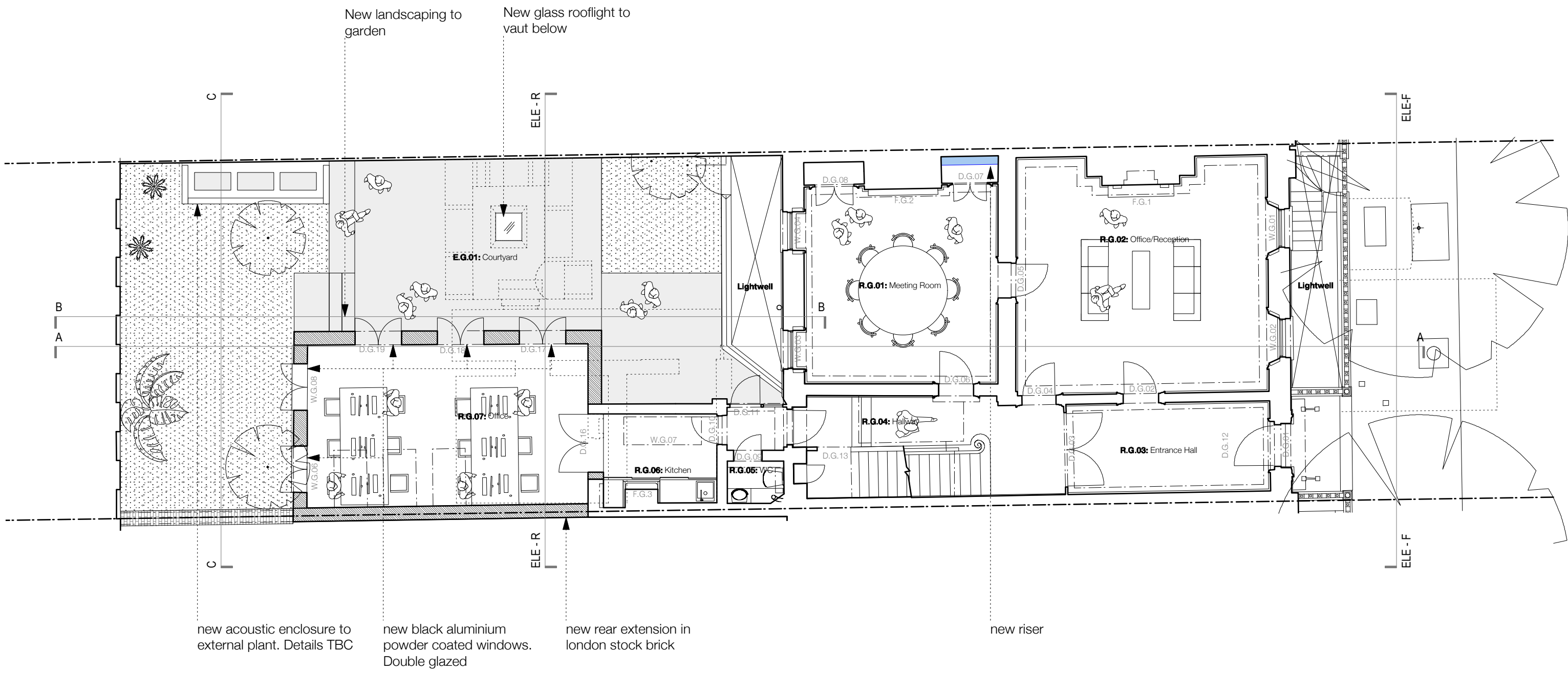


drawn / checked by
EG / PB
issue
Planning

date
Aug 2018
revision
P3

project
3 Bloomsbury Place
London, WC1A 2QA
client
The Bedford Estates

drawing title
Proposed
Lower Ground Floor Plan
drawing no.
276.03
-200



Notes:

- refer to door schedule for new/amended doors
- cornice/skirting/panelling made good/infilled where changes to layout are made
- new VRV heating cooling in current radiator locations concealed within joinery
- carpet finish to stair, timber finish to offices, tiles to wet areas

Key

- Existing
- Proposed

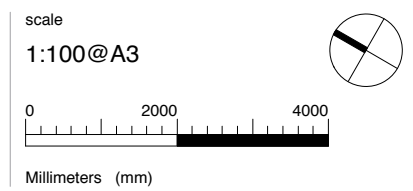
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revisions
181207: P1: Service rise options added
190201: P2: Planning
190430: P3: Rear extension fenestration revised
190510: P4: External AC condenser units TBC

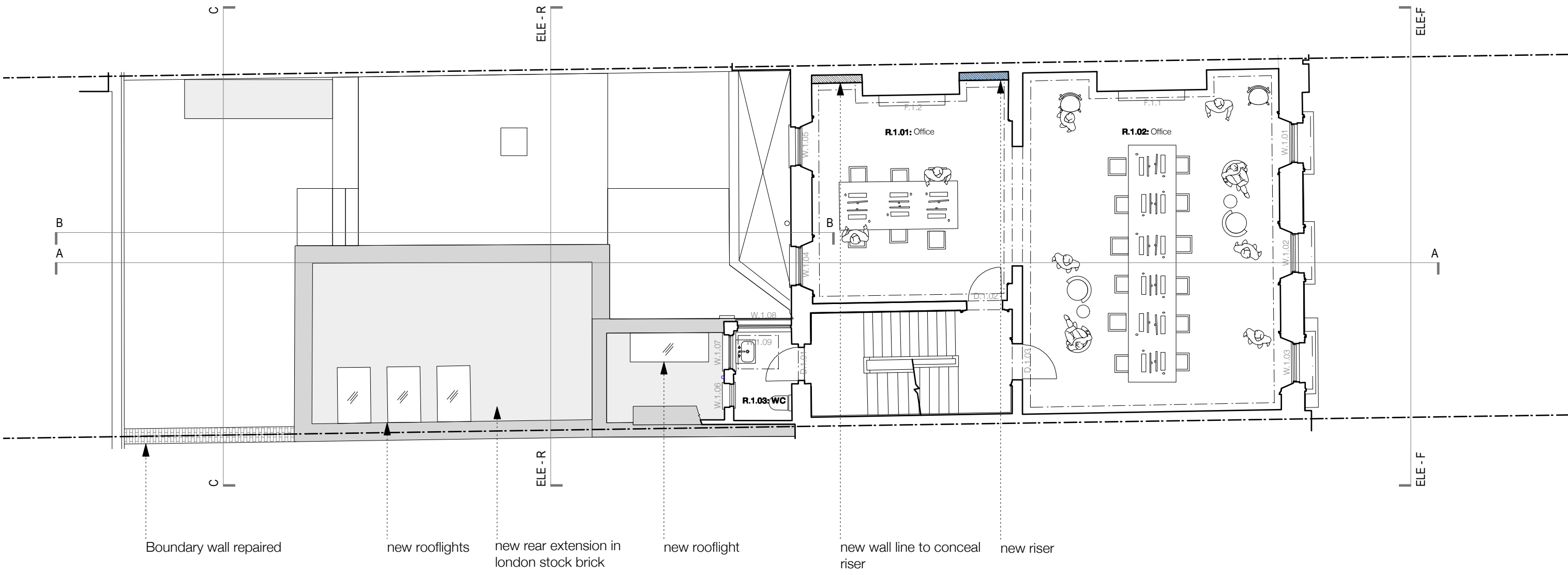


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issue
Planning

date
Aug 2018
revision
P4

project
3 Bloomsbury Place
London, WC1A 2QA
client
The Bedford Estates



drawing title
Proposed
Ground Floor Plan
drawing no.
276.03
-201



Notes:

- refer to door schedule for new/amended doors
- cornice/skirting/panelling made good/infilled where changes to layout are made
- fireplace F.1.2 will be installed to match F.1.1
- new VRV heating cooling in current radiator locations concealed within joinery
- carpet finish to stair, timber finish to offices, tiled finish to wet areas

Key


	Existing
	Proposed

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
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 drawings and specification.

revisions
 181207: P1: Service rise options added
 190201: P2: Planning

scale
 1:100@A3



0 2000 4000
 Millimeters (mm)

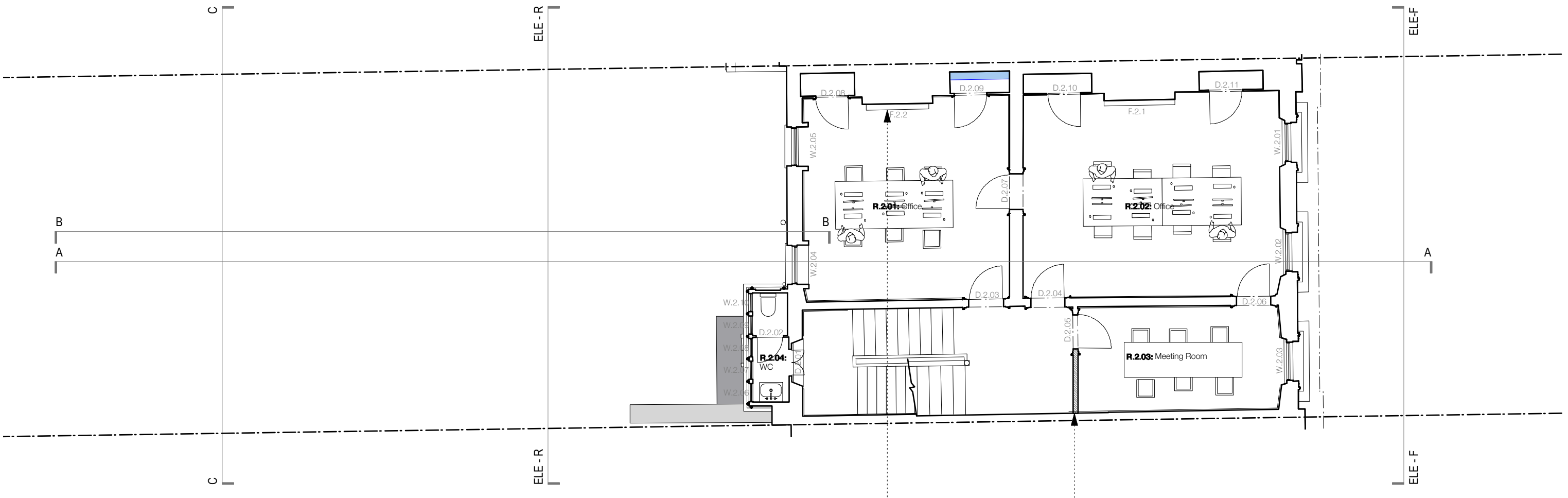


drawn / checked by
 EG / PB
 issue
 Planning

date
 Aug 2018
 revision
 P2

project
 3 Bloomsbury Place
 London, WC1A 2QA
 client
 The Bedford Estates

drawing title
 Proposed
 First Floor Plan
 drawing no.
 276.03
 -202





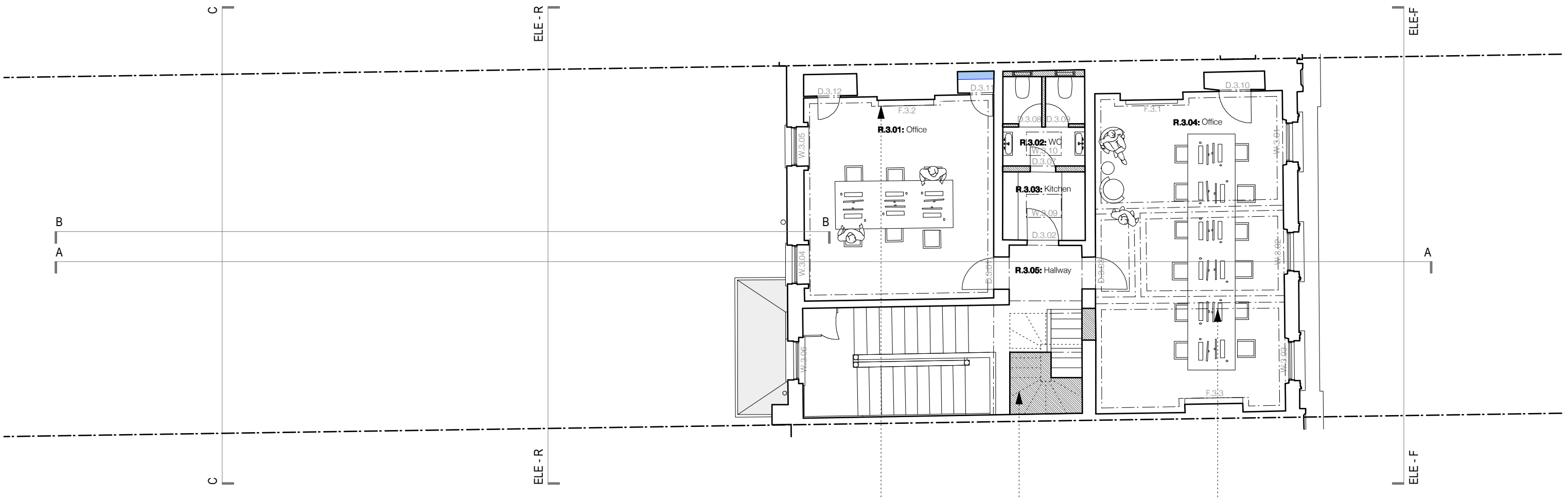
new fireplace
 new partition with
 panelled finish to match
 existing

Notes:

- refer to door schedule for new/amended doors
- cornice/skirting/panelling made good/infilled where changes to layout are made
- fireplace F.2.2 will be installed to match F.2.1
- new VRV heating cooling in current radiator locations concealed within joinery
- carpet finish to stair and offices

Key

	Existing
	Proposed





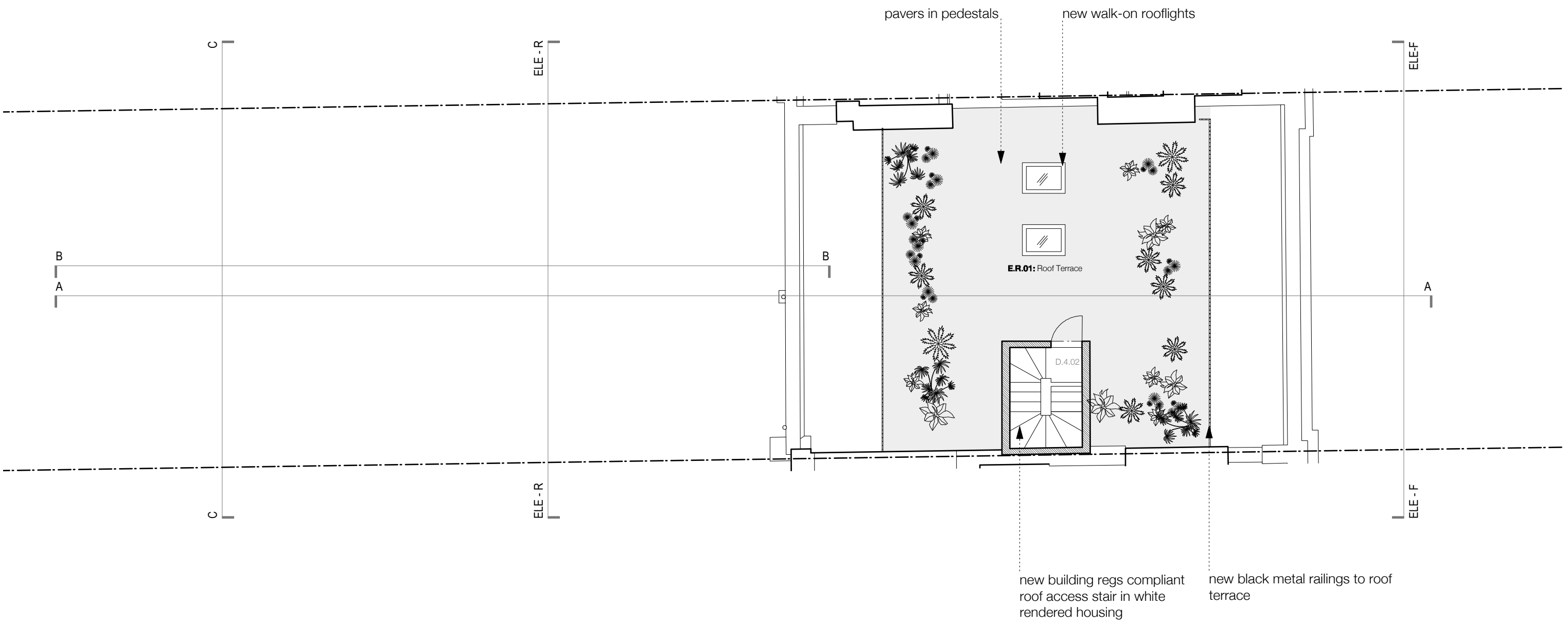
new fireplace new building regs compliant roof access stair downstands/cornices retained where walls removed

Notes:


- refer to door schedule for new/amended doors
- cornice/skirting/panelling made good/infilled where changes to layout are made
- fireplace F.3.2 will be installed to match F.3.1
- new VRV heating cooling in current radiator locations concealed within joinery
- carpet finish to stair and offices, tiled finish to wet areas


Key

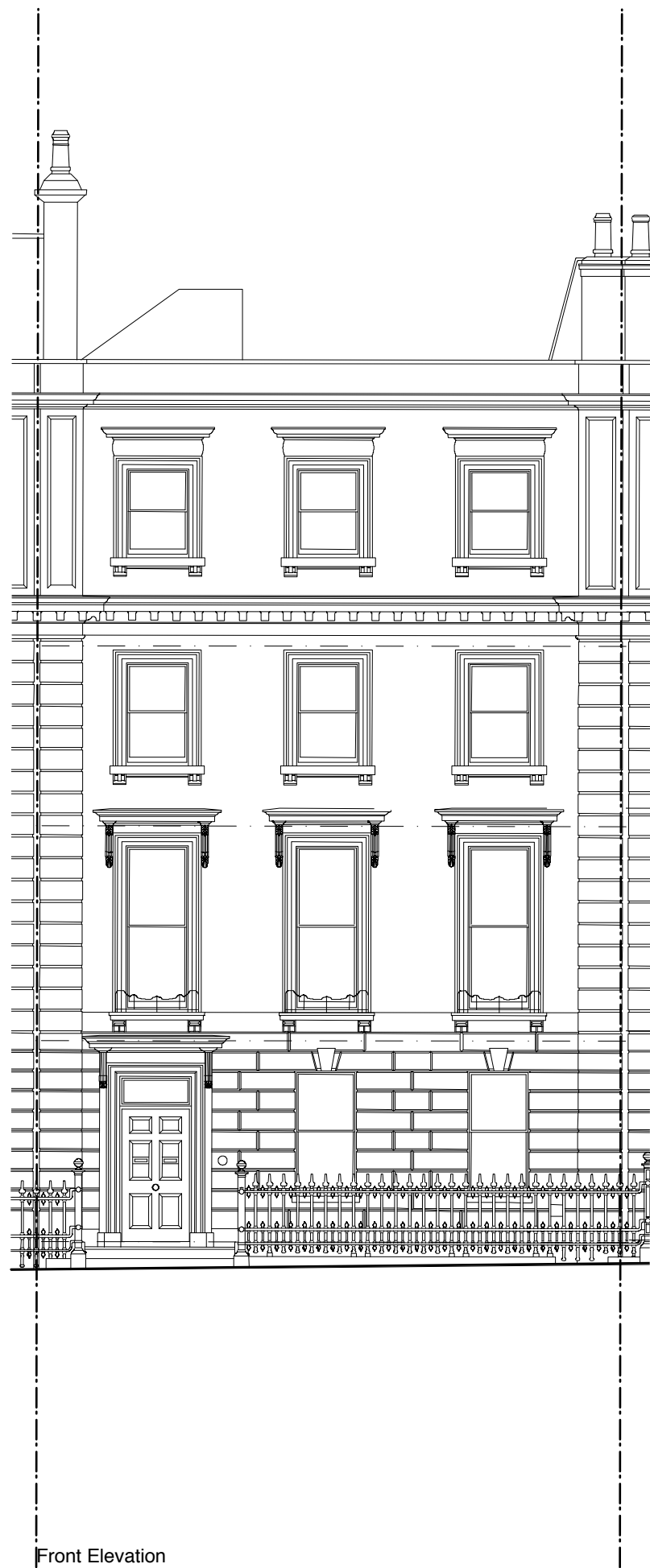
	Existing
	Proposed



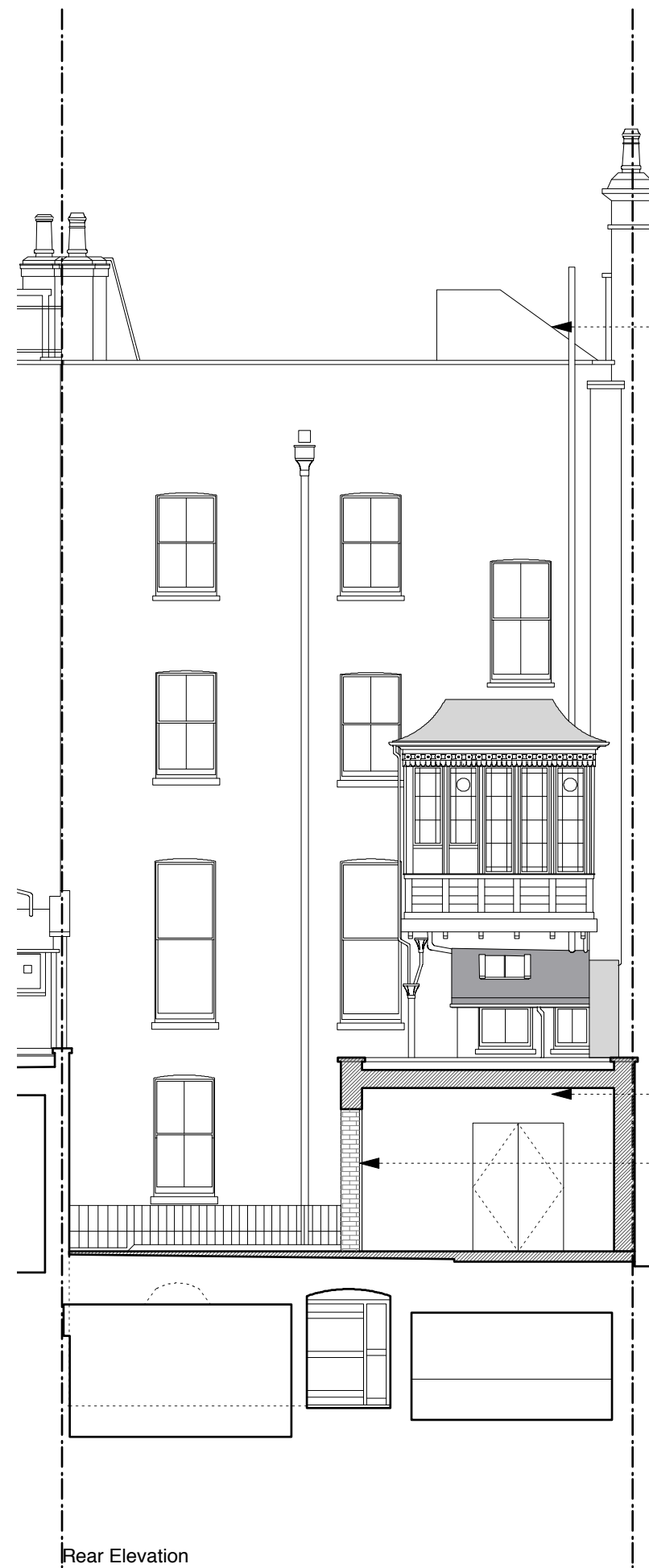
Key

 Existing

 Proposed





Front Elevation

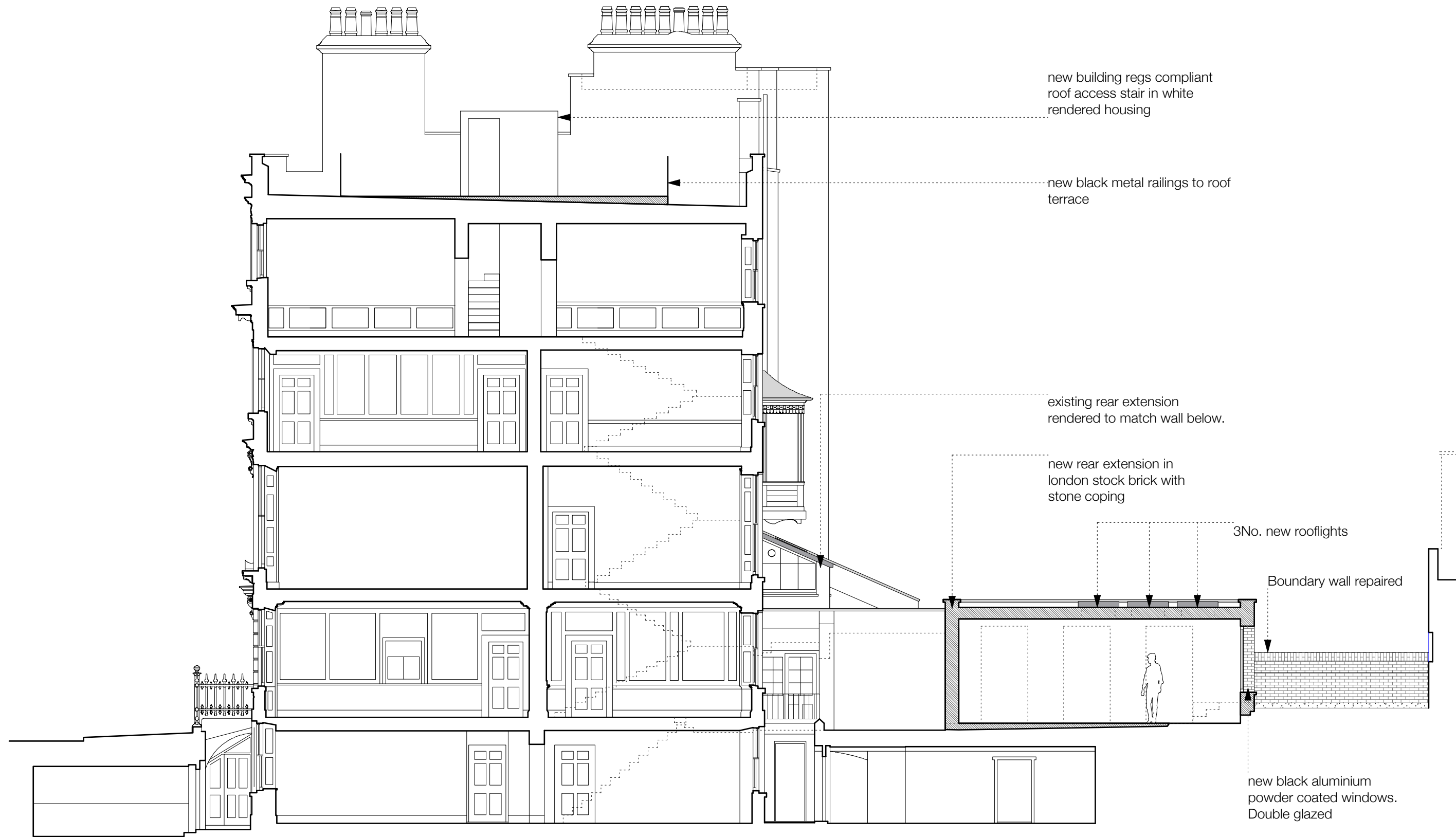


Rear Elevation

new building regs compliant
roof access stair in white
rendered housing

new rear extension in
london stock brick
new black aluminium
powder coated windows.
Double glazed

Key
 Existing
 Proposed



new building regs compliant
roof access stair in white
rendered housing

new black metal railings to roof
terrace



existing rear extension
rendered to match wall below.

new rear extension in
london stock brick with
stone coping

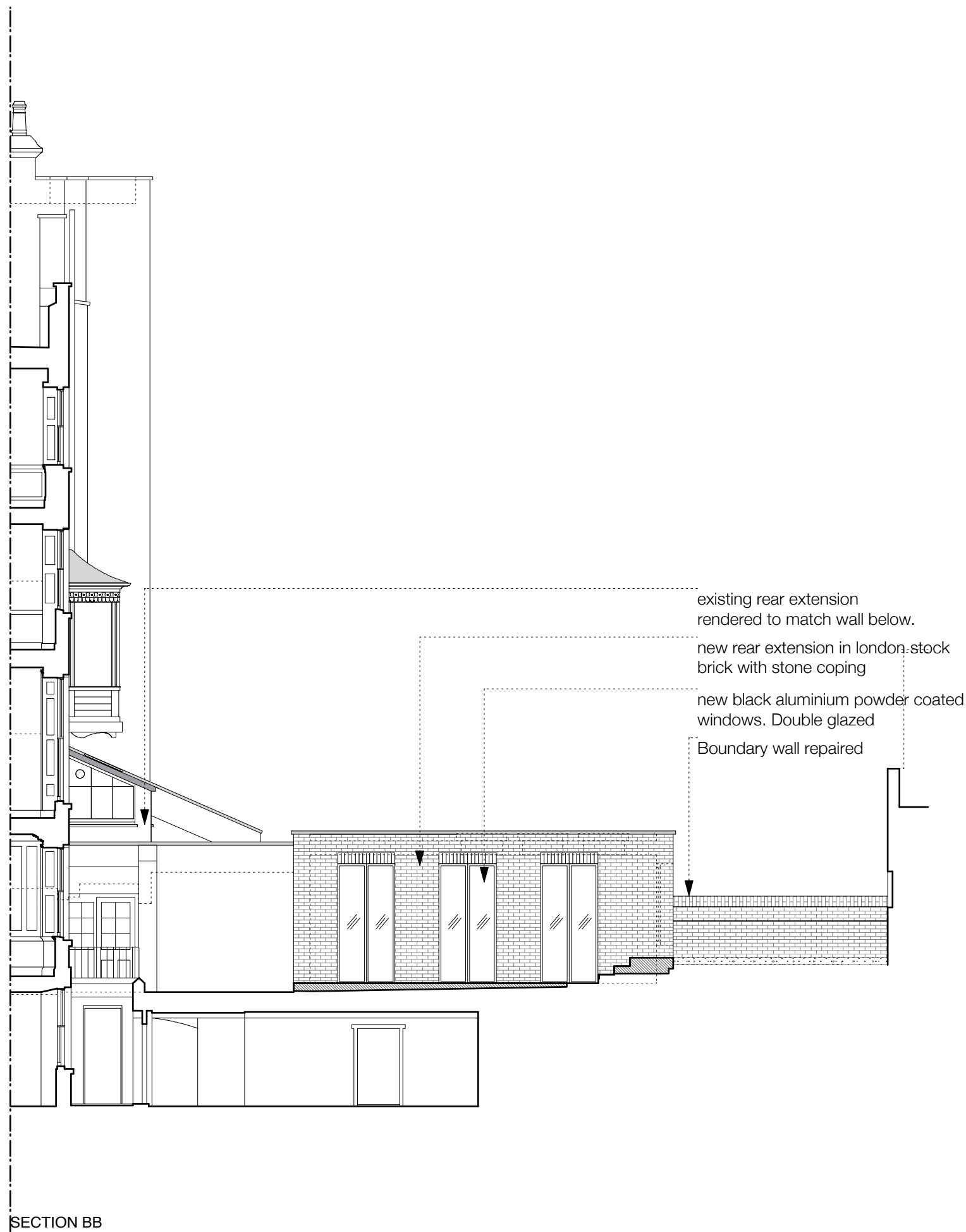
3No. new rooflights

Boundary wall repaired

new black aluminium
powder coated windows.
Double glazed

Key
 Existing
 Proposed





existing rear extension
rendered to match wall below.

new rear extension in london stock
brick with stone coping

new black aluminium powder coated
windows. Double glazed

Boundary wall repaired

SECTION BB



new building regs compliant
roof access stair in white
rendered housing

existing rear extension
rendered to match wall below.

new rear extension in london stock
brick with stone coping

new black aluminium powder coated
windows. Double glazed

Boundary wall repaired

SECTION CC

Key

Existing

Proposed