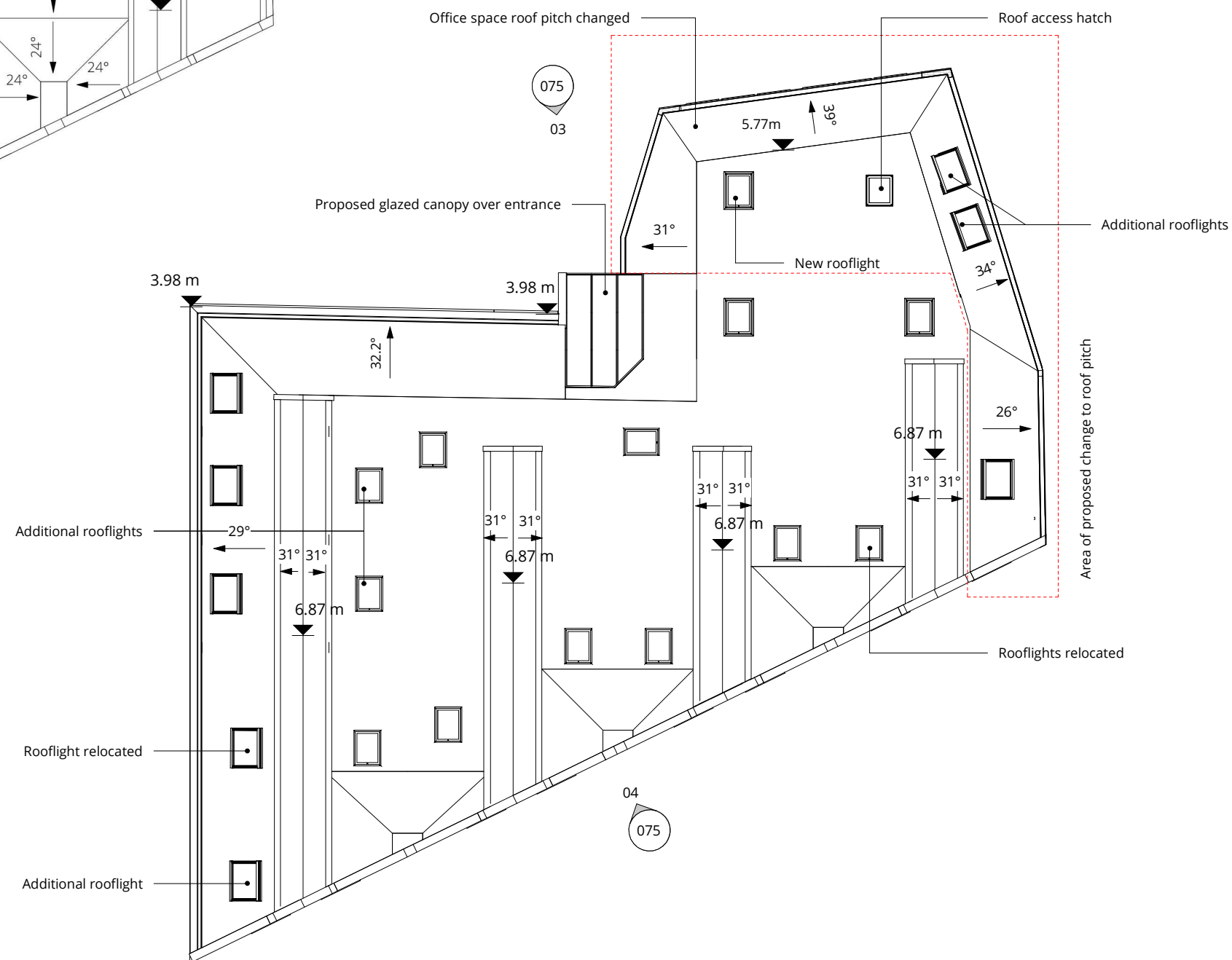
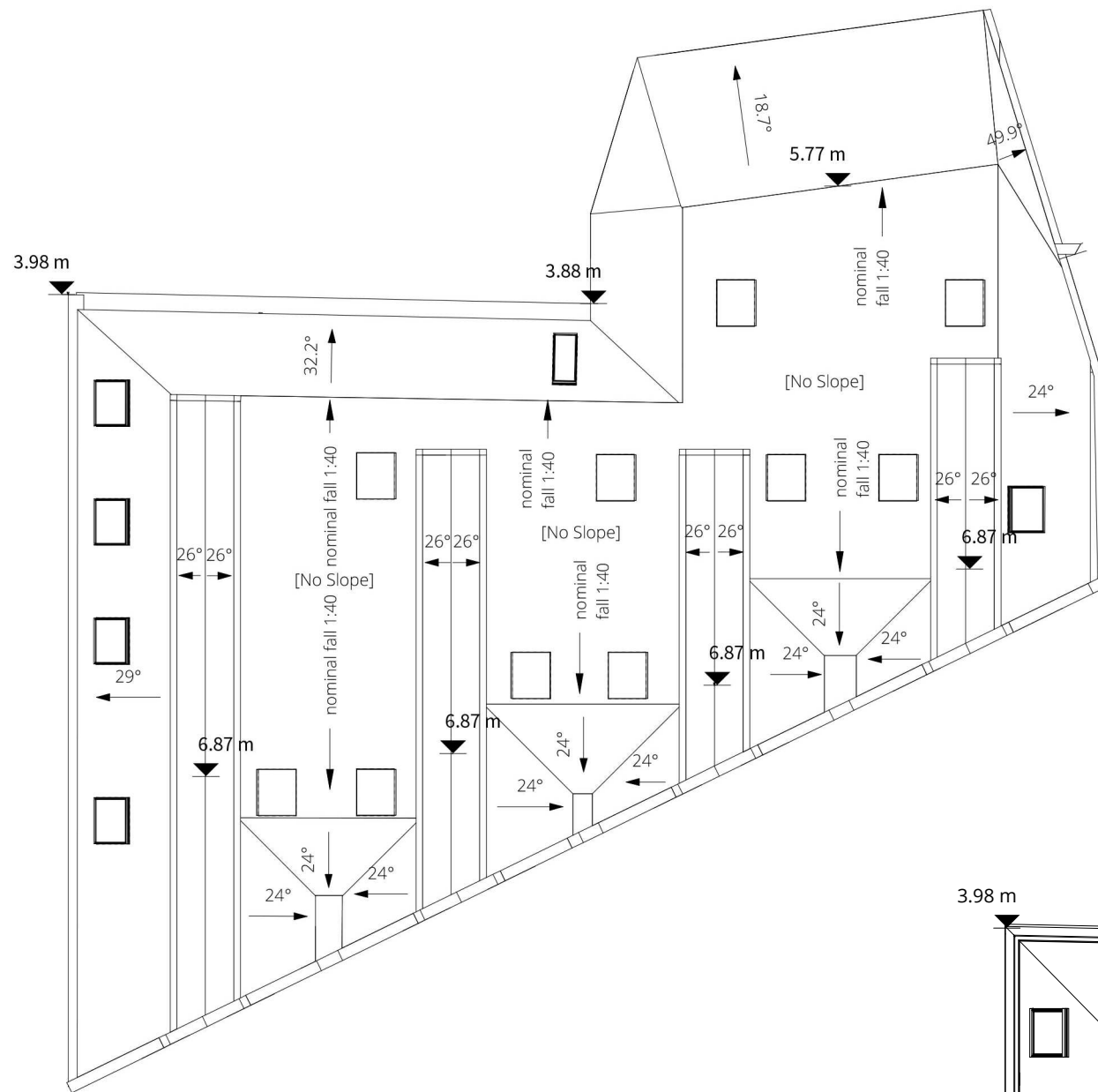


London Borough of Camden Proof of Evidence 1a Highgate Road Site

# JS15

Existing plans, elevation, sections and Design and Access Statement submitted  
under application 2017/3428/P



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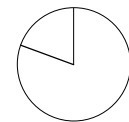
All dimensions should be checked on site.

Contractor to refer to Existing / Demolition & Proposed Architectural drawings, Supporting Information, Supplier & Specialist Information and Architectural Specification.

Unless amended by the Specification all materials and workmanship are to comply with the latest editions of relevant British Standards Institution Specifications and Codes of Practice (unless registered under previous regulations). Proprietary materials are to be used strictly in accordance with the manufacturer's recommended specifications.

All mechanical and electrical information shown on drawings is indicative. Contractor should refer to M&E Drawings & Specification for further details.

All structural information shown on drawings is indicative. Contractor should refer to SE Drawings & Specification for further details.



Project North denoted by thin line

True North denoted by thick line

1	First issue	co	30.03.17
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rev	description	drw	date
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# AVEBURY

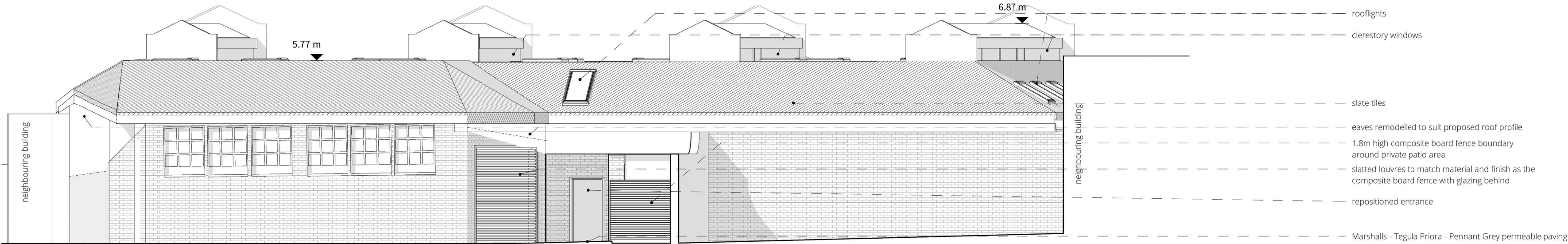
IDM Land Limited

Highgate Piano Factory  
1A Highgate Road

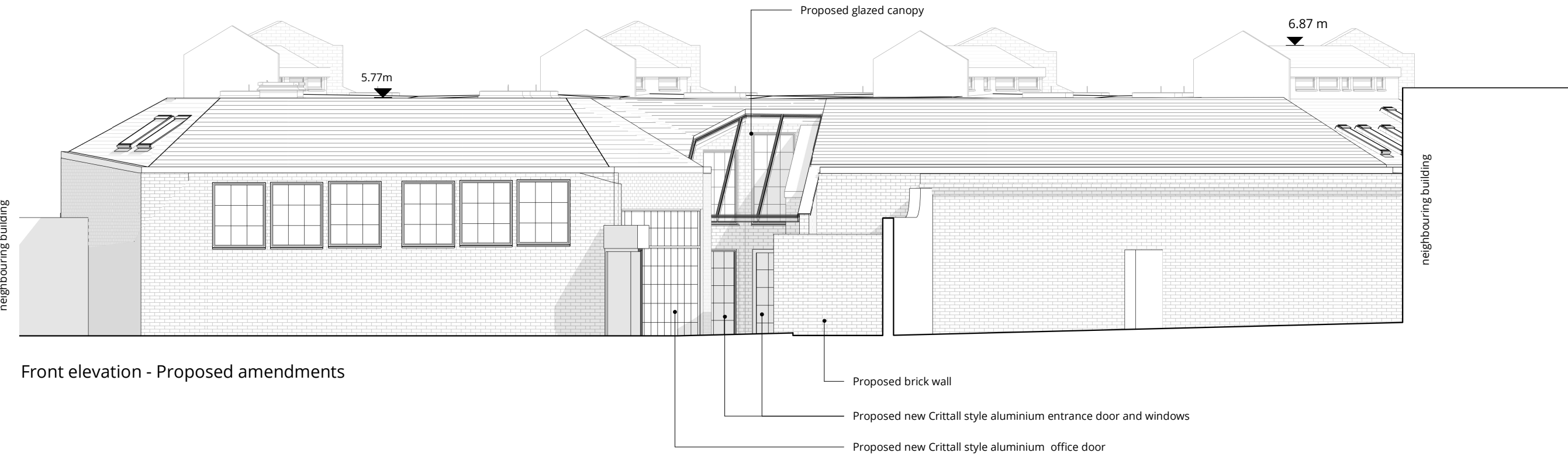
Approved and proposed roof plans

Scale @A3 1 : 200  
For Planning

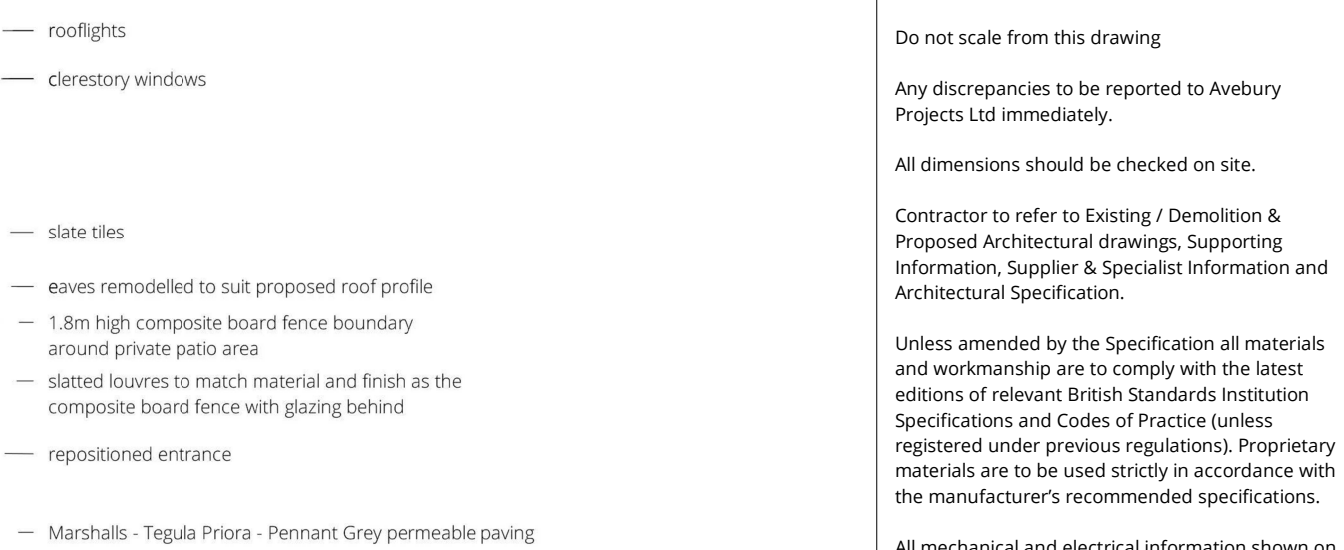
Drawing number	Revision
076	P1



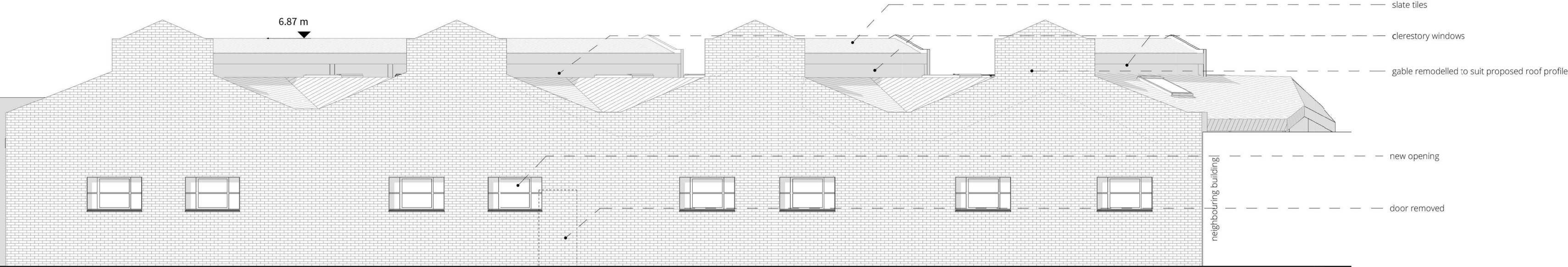
Front elevation - Approved application



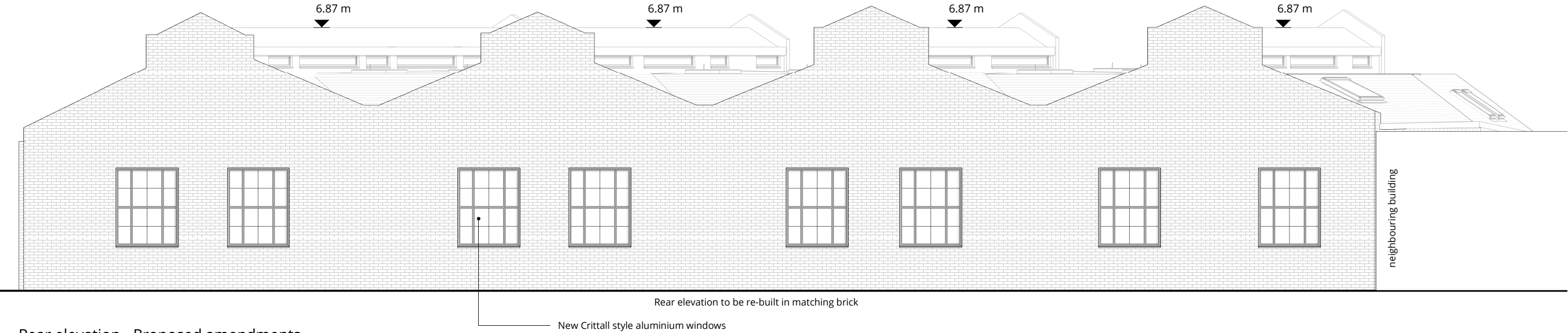
Front elevation - Proposed amendments



Proposed entrance elevation 1



Rear elevation - Approved application



Rear elevation - Proposed amendments



Proposed entrance elevation 2

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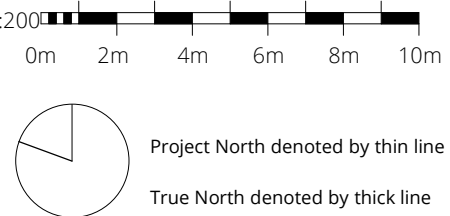
All dimensions should be checked on site.

Contractor to refer to Existing / Demolition & Proposed Architectural drawings, Supporting Information, Supplier & Specialist Information and Architectural Specification.

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2	Note added to rear wall	co	14.07.17
1	First issue	co	30.03.17
rev	description	drw	date
<b>AVEBURY</b> - 1986 2016 -			
IDM Land Limited			
Highgate Piano Factory 1A Highgate Road			
Approved and proposed elevations			
Scale @A2 1 : 100 For Planning			
Drawing number	Revision		
075	P2		

This application is for a minor-material amendment (Section 73) to the approved application **2016/4663/P**, to vary condition 4.

**Condition 4** of approved application **2016/4663/P** states that:

*"The development hereby permitted shall be carried out in accordance with the following approved plans- 050-P1, 051-P3, 052-P4, 053-P3, 054-P1, 005-P1; Design statement by Avebury, Daylight and sunlight report by Point dated October 2016.*

*Reason: For the avoidance of doubt and in the interest of proper planning."*

The application seeks to vary the approved drawings for minor amendments that improve on the approved scheme. These amendments are summarised as follows:

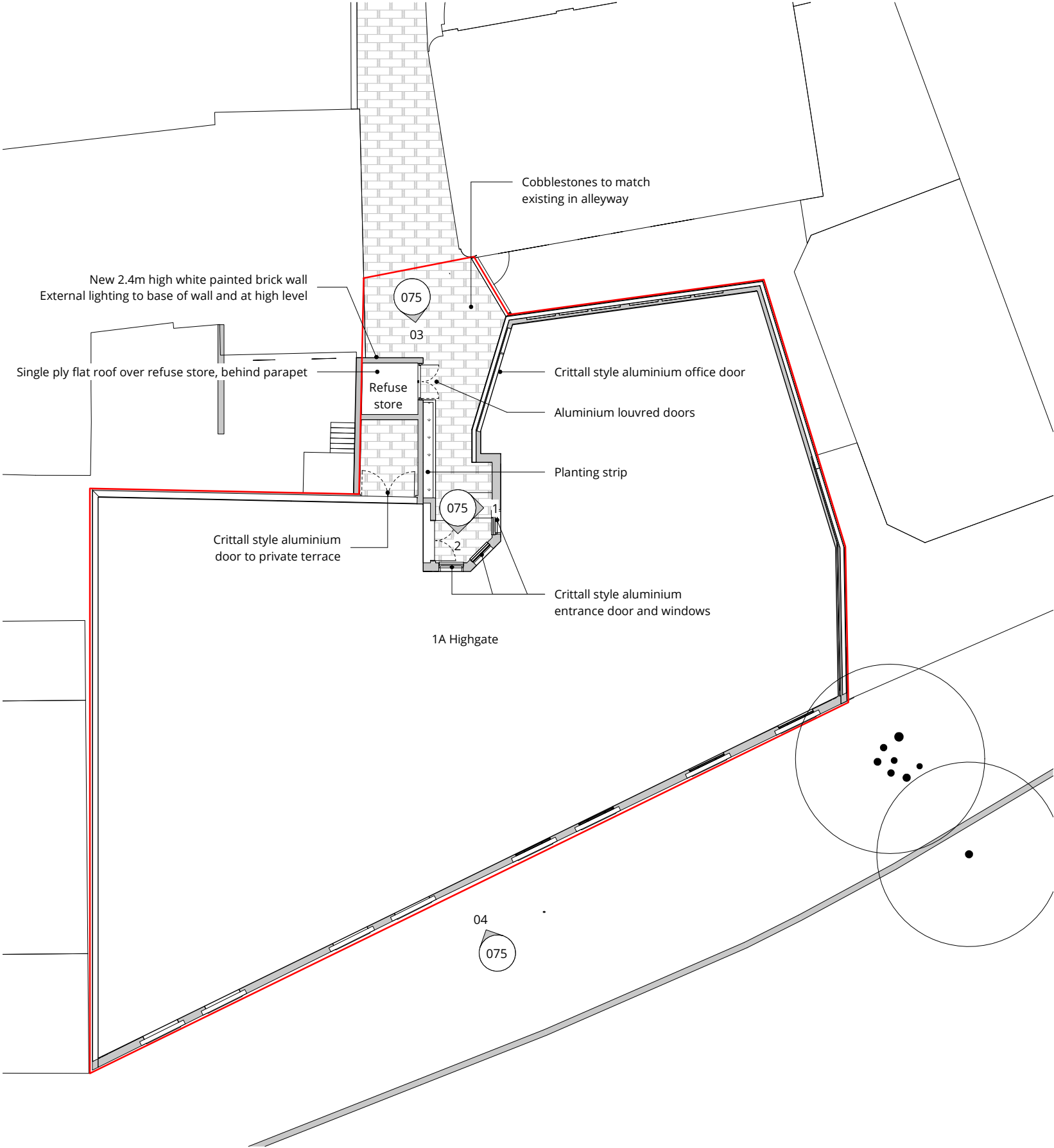
1. Adjustment of the pitch for the roof above the north-east part of the development (the office space).  
*Note that the height of the main flat roof, the height of the clerestory rooves and the pitch to the rooves adjacent the Forum and 1 Highgate remain the same. The area of roof pitch to be changed is highlighted in red on drawing 076.*
2. Addition and relocation of roof lights to improve the internal environment of the building.
3. Creation of a glazed canopy over the building entrance.
4. Alteration of windows to the rear to provide more daylighting into the building.
5. Alteration of approved external windows to change them to Crittall style aluminium windows, finished in dark grey, RAL 9004.  
*This is to ensure the style of the windows is more in keeping with the nature of the building.*
6. Alteration of the office door from slatted louvers to a Crittall style aluminium door.  
*This is to ensure the style of the office door is more in keeping with the nature of the building.*
7. Addition of windows above the entrance doors.
8. Alteration of external 1.8m high composite fence to 2.4m high white painted brick wall.  
*A white painted brick wall will match more closely to the style of the existing building than a new composite fence.*
9. Alteration of external paving from Marshalls Tegula paving to cobblestones to match the existing stones in the alleyway.  
*Cobblestones similar to the existing will ensure the access path compliments the style of the surrounding area.*  
*Note that the other approved external materials for the roof & roof lights remain unchanged.*
10. Addition of a planting strip and external lighting to the entrance area.

The following drawings are submitted as part of this application to highlight the proposed changes:

- 050 – Site location plan
- 051 – External works as approved

- 075 – Approved and proposed elevations  
*to replace approved drawing 053-P3*
- 076 – Approved and proposed roof plans  
*to replace approved drawing 052-P4*
- 077 – Approved external works  
*to replace approved drawing 051-P3*

Approved drawings 050-P1, 054-P1 and the Daylight and sunlight report by Point dated October 2016 remain unchanged.



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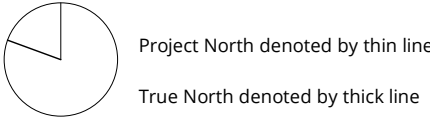
All dimensions should be checked on site.

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All mechanical and electrical information shown on drawings is indicative. Contractor should refer to M&E Drawings & Specification for further details.

All structural information shown on drawings is indicative. Contractor should refer to SE Drawings & Specification for further details.



2	Roof over refuse store noted	co	06.10.17
1	First issue	co	30.03.17

rev	description	drw	date
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**AVEBURY**

IDM Land Limited

Highgate Piano Factory  
1A Highgate Road

Proposed External Works

Scale @A3 1 : 200  
For Planning

Drawing number	Revision
077	P2