

# JS1

Diagrams of approved and implemented works

## Appendix JS1



### **APPEAL SITE**

1a Highgate Road, London, NW5 1JY

**COUNCIL REFERENCE:** EN18/0177

**PLANNING INSPECTORATE REFERENCE:** APP/X5210/C/18/3203085

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The demolition (and alterations) granted by the permissions in November 2016, December 2016 and November 2017

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The amount of retained fabric in the existing building - based on evidence gathered on site visit carried out 11<sup>th</sup> April 2019

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**2016/5336/P**

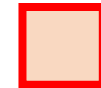
Certificate of Lawfulness (proposed) Prior approval granted on **17th November 2016:**

*Change of use from warehouse (Class B8) to 13 self-contained residential units (Class C3).*



Fig 1. Roof plan

**Key**



Retained



Demolished



Altered

**Summary of changes approved**

- No external works

**2016/5336/P**

Certificate of Lawfulness (proposed) Prior approval granted on **17th November 2016:**

*Change of use from warehouse (Class B8) to 13 self-contained residential units (Class C3).*

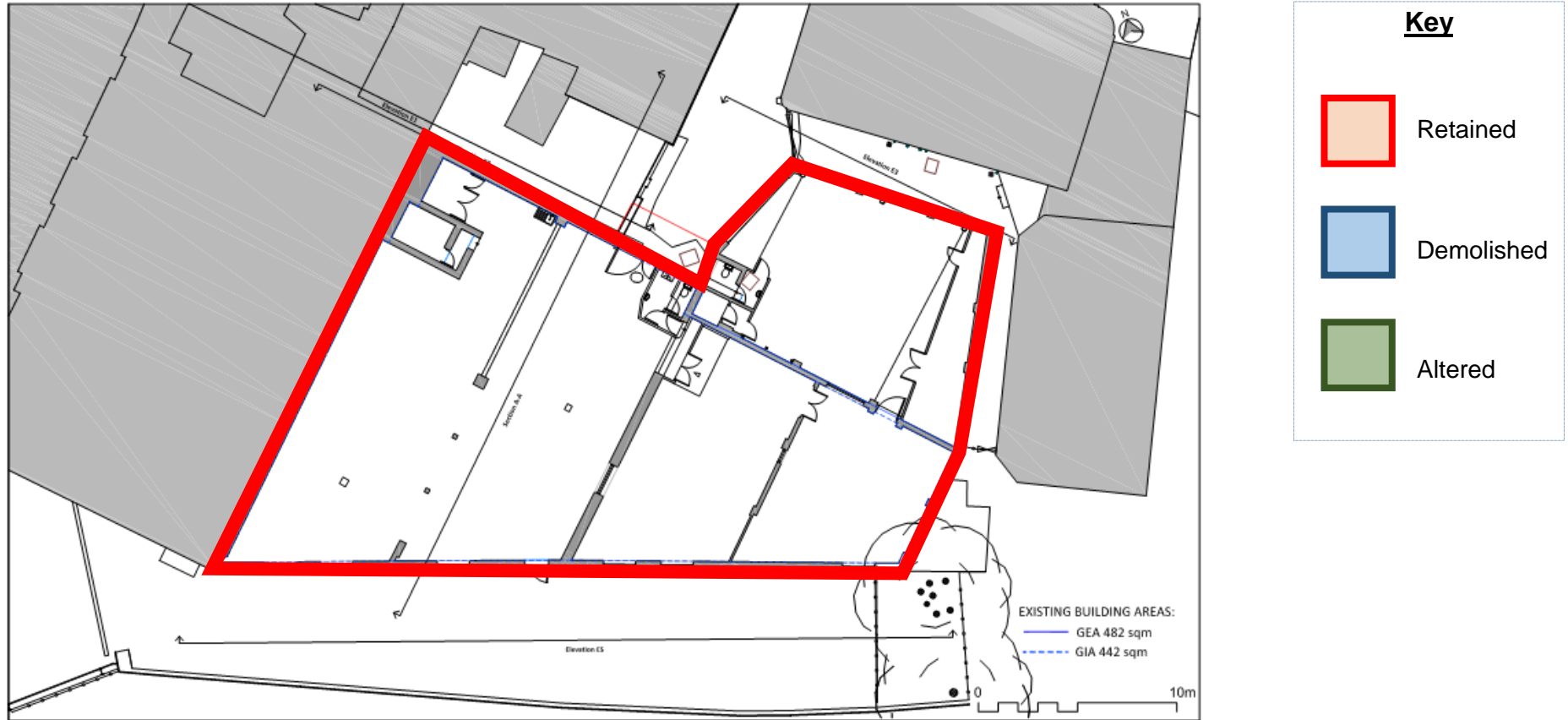


Fig 2. Floor plan

**Summary of changes approved**

- No external works

**2016/5336/P**

Certificate of Lawfulness (proposed) Prior approval granted on **17th November 2016:**

*Change of use from warehouse (Class B8) to 13 self-contained residential units (Class C3).*

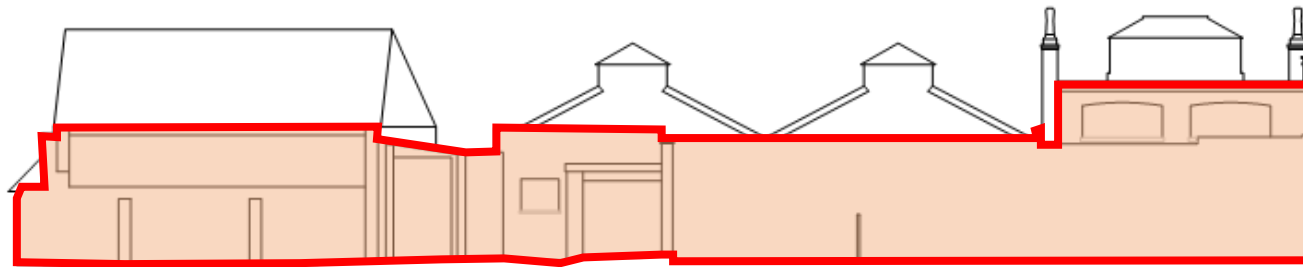


Fig 3. Front elevation

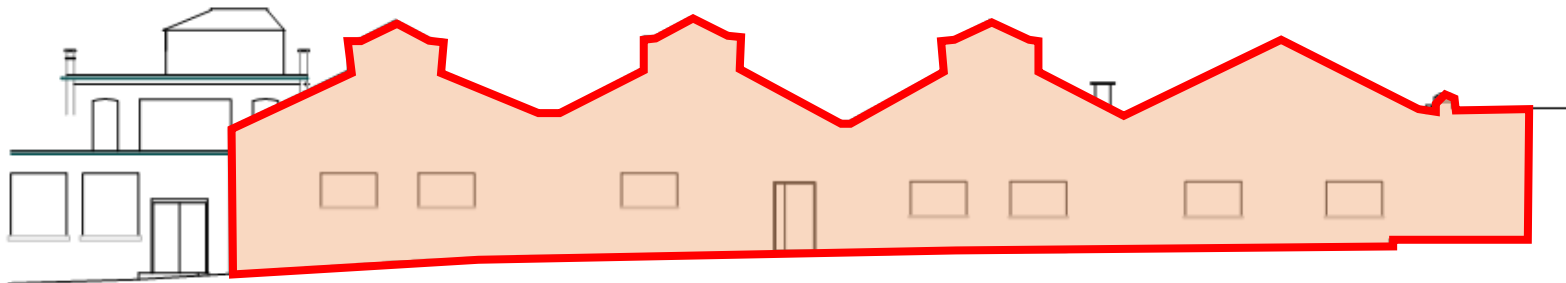
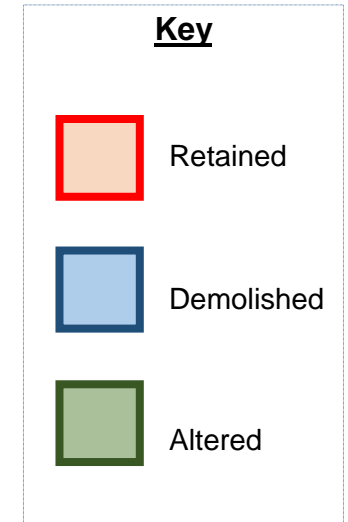


Fig 4. Rear elevation

**Summary of changes approved**

- No external works

**2016/5336/P**

Certificate of Lawfulness (proposed) Prior approval granted on **17th November 2016:**

*Change of use from warehouse (Class B8) to 13 self-contained residential units (Class C3).*

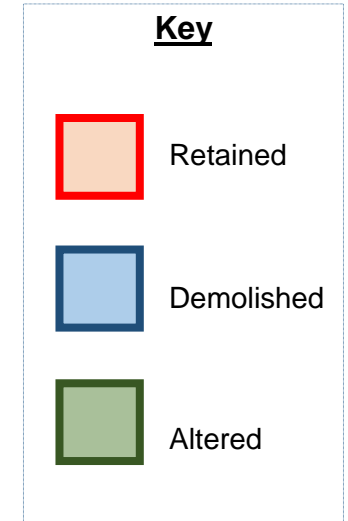
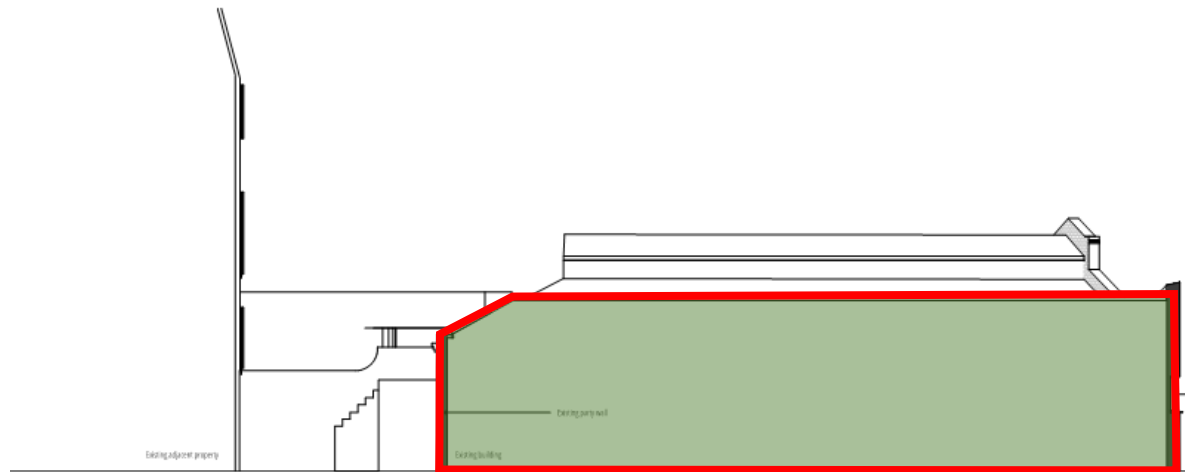


Fig 5. Section through party wall with 1 Highgate Road

**Summary of changes approved**

- No external works
- Internal alterations to create 13 self-contained residential accommodation including erection of mezzanine level



**2016/4663/P**

Planning permission granted on **20<sup>th</sup> December 2016:**

*Alterations to roof and elevations of warehouse building (Class B8), including changes to roof profiles, new rooflights, new doors and windows in front and rear elevations, plus new paving and fencing in front entrance courtyard*

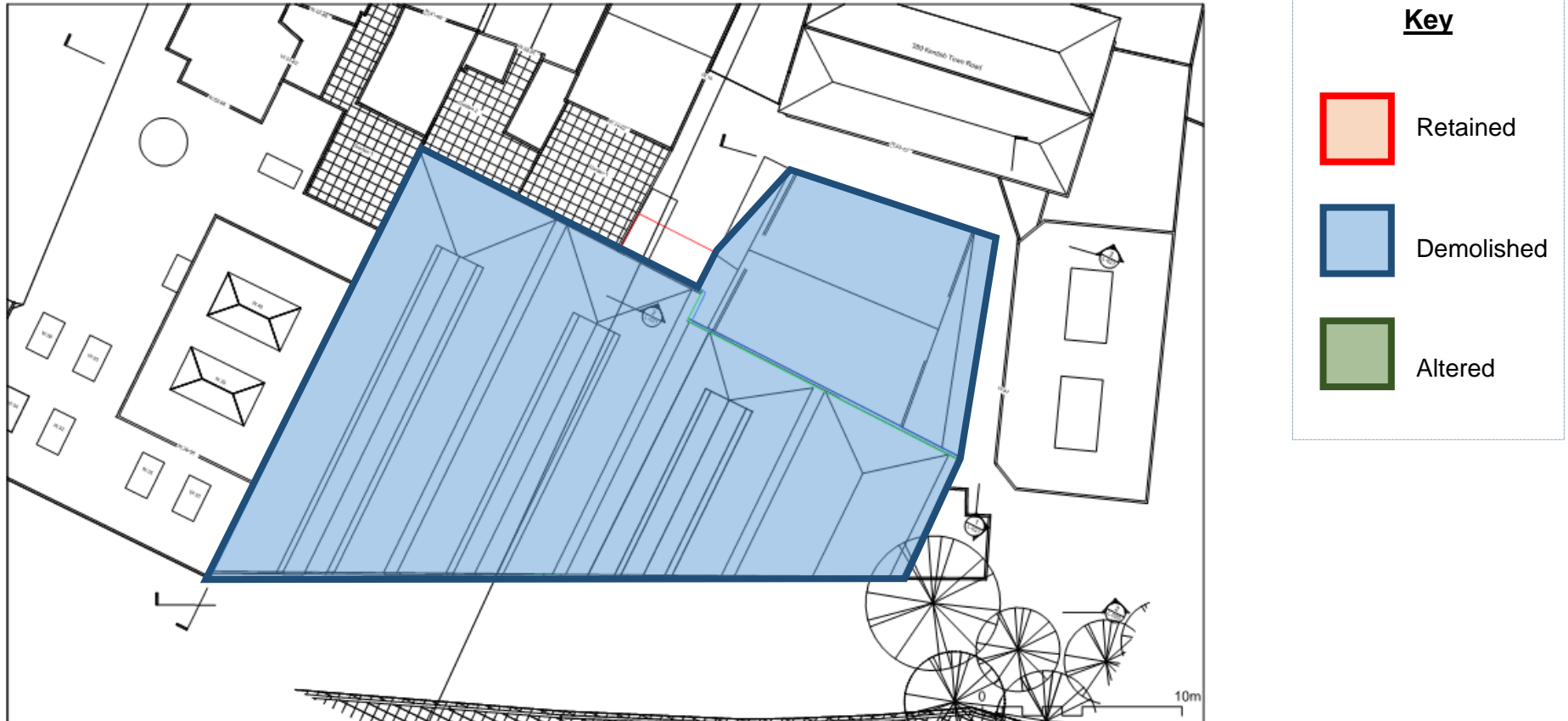


Fig 6. Roof plan

**Summary of changes approved**

- Demolition of original roof
- Infilling the valleys between the 4 ridges with flat roof sections to the same height as the top of the pre-existing roof ridges and bevelled back from the boundary wall with Highgate Rd to match the existing hipped slopes
- Replacing the pitched roof on the garage by a shallower pitched roof and lower flat roof
- Inserting clerestory windows in the projecting ridge sections and flat rooflights in the new flat roofs
- One rooflight on eastern side facing the existing alleyway, rooflights on the slopes facing north and south sides



**2016/4663/P**

Planning permission granted on **20<sup>th</sup> December 2016:**

*Alterations to roof and elevations of warehouse building (Class B8), including changes to roof profiles, new rooflights, new doors and windows in front and rear elevations, plus new paving and fencing in front entrance courtyard*



**Summary of changes approved**

- Alterations to front and rear elevations to include additional windows in the western elevation facing the railway line

**2016/4663/P**

Planning permission granted on **20<sup>th</sup> December 2016:**

*Alterations to roof and elevations of warehouse building (Class B8), including changes to roof profiles, new rooflights, new doors and windows in front and rear elevations, plus new paving and fencing in front entrance courtyard*

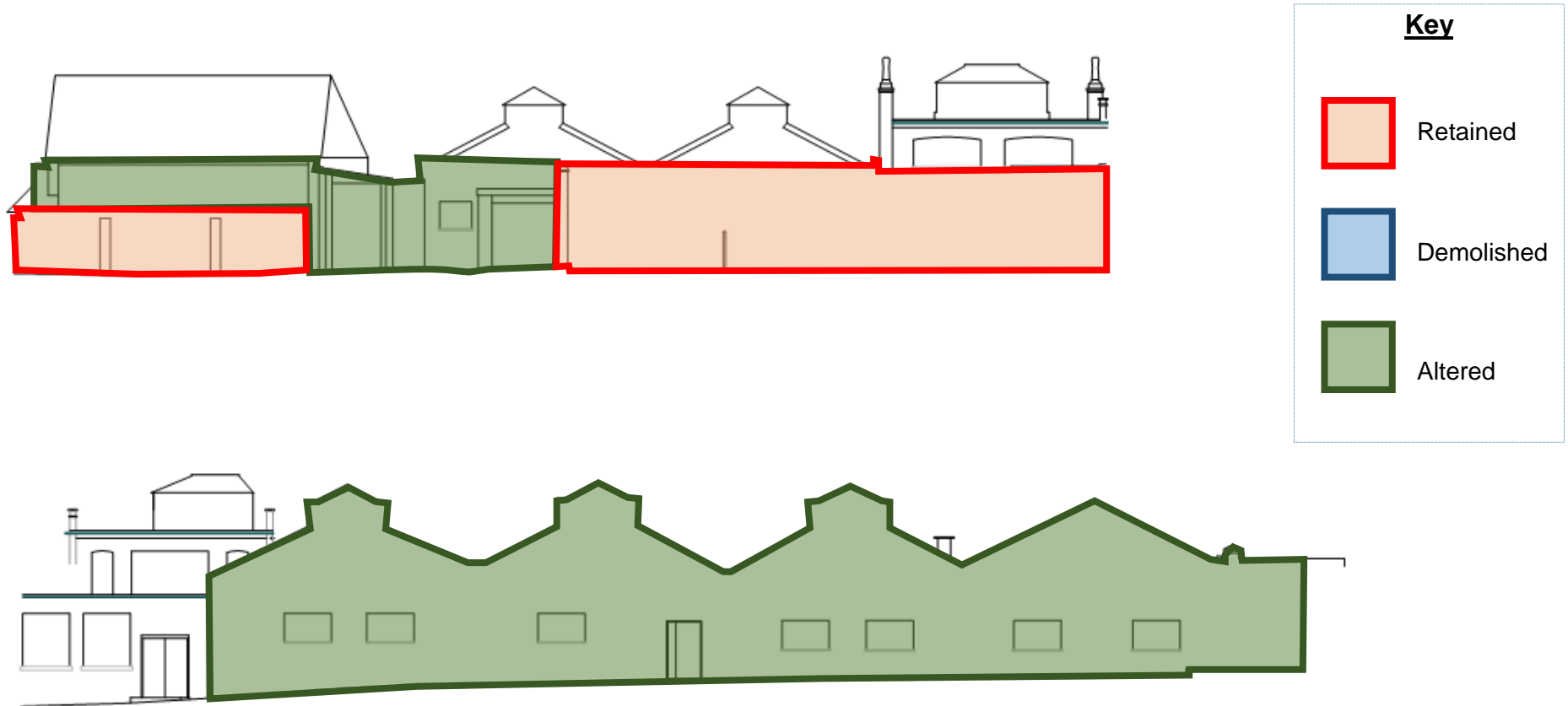


Fig 9. Rear elevation

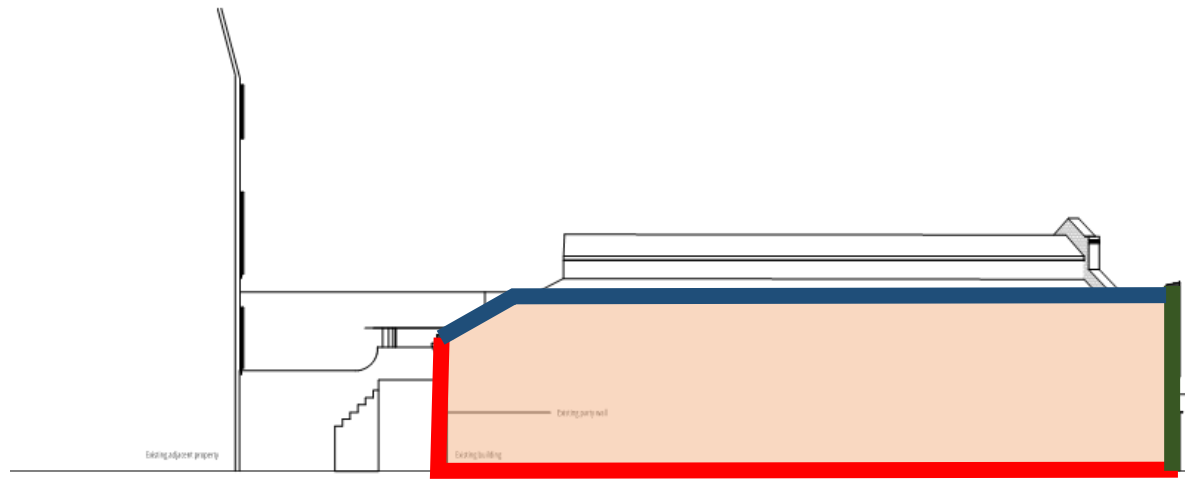
**Summary of changes approved**

- Alterations to front and rear elevations to include additional windows in the western elevation facing the railway line

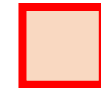
**2016/4663/P**

Planning permission granted on **20<sup>th</sup> December 2016:**

*Alterations to roof and elevations of warehouse building (Class B8), including changes to roof profiles, new rooflights, new doors and windows in front and rear elevations, plus new paving and fencing in front entrance courtyard*



**Key**



Retained



Demolished



Altered

Fig 10. Section through party wall with 1 Highgate Road

**Summary of changes approved**

- Refer to full roof demolition on page 7
- Alterations to front and rear elevations to include additional windows in the western elevation facing the railway line

## 2017/3428/P

Planning permission granted on 30<sup>th</sup> November 2017:

Variation of condition 4 (development in accordance with approved plans) of planning permission ref 2016/4663/P dated 20.12.16 (for Alterations to roof and elevations of warehouse building (Class B8), including changes to roof profiles, new rooflights, new doors and windows in front and rear elevations, plus new paving and fencing in front entrance courtyard), namely to allow further design alterations to roof, facades, fenestration and courtyard.



Fig 11. Roof plan

### Summary of changes approved

- Additional rooflights
- Pitch of roof over office to the front changed

### Key



Retained



Demolished



Altered

**2017/3428/P**

Planning permission granted on **30<sup>th</sup> November 2017**:

*Variation of condition 4 (development in accordance with approved plans) of planning permission ref 2016/4663/P dated 20.12.16 (for Alterations to roof and elevations of warehouse building (Class B8), including changes to roof profiles, new rooflights, new doors and windows in front and rear elevations, plus new paving and fencing in front entrance courtyard), namely to allow further design alterations to roof, facades, fenestration and courtyard.*






Fig 12. Floor plan

### **Summary of changes approved**

- Critical style windows and doors to front and rear
- Glazed canopy over entrance
- Rear elevation to rebuilt in matching brick

### **Key**

-  Retained
-  Demolished
-  Altered

**2017/3428/P**

Planning permission granted on **30<sup>th</sup> November 2017**:

*Variation of condition 4 (development in accordance with approved plans) of planning permission ref 2016/4663/P dated 20.12.16 (for Alterations to roof and elevations of warehouse building (Class B8), including changes to roof profiles, new rooflights, new doors and windows in front and rear elevations, plus new paving and fencing in front entrance courtyard), namely to allow further design alterations to roof, facades, fenestration and courtyard.*

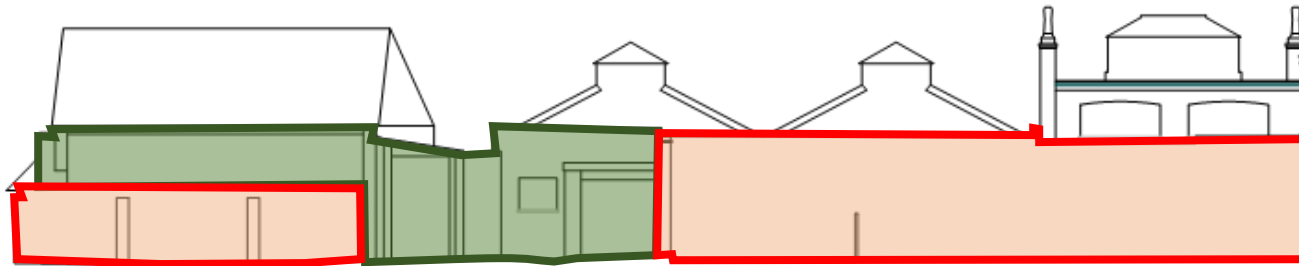


Fig 13. Front elevation

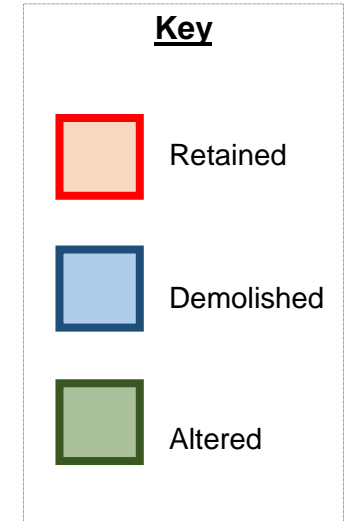


Fig 14. Rear elevation

**Summary of changes approved**

- Crittal style windows and doors to front and rear
- Glazed canopy over entrance
- Rear elevation to rebuilt in matching brick



**2017/3428/P**

Planning permission granted on **30<sup>th</sup> November 2017**:

*Variation of condition 4 (development in accordance with approved plans) of planning permission ref 2016/4663/P dated 20.12.16 (for Alterations to roof and elevations of warehouse building (Class B8), including changes to roof profiles, new rooflights, new doors and windows in front and rear elevations, plus new paving and fencing in front entrance courtyard), namely to allow further design alterations to roof, facades, fenestration and courtyard.*

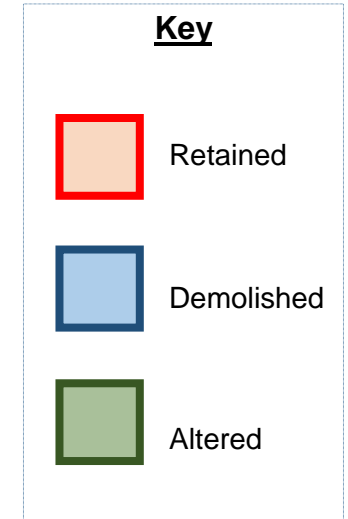
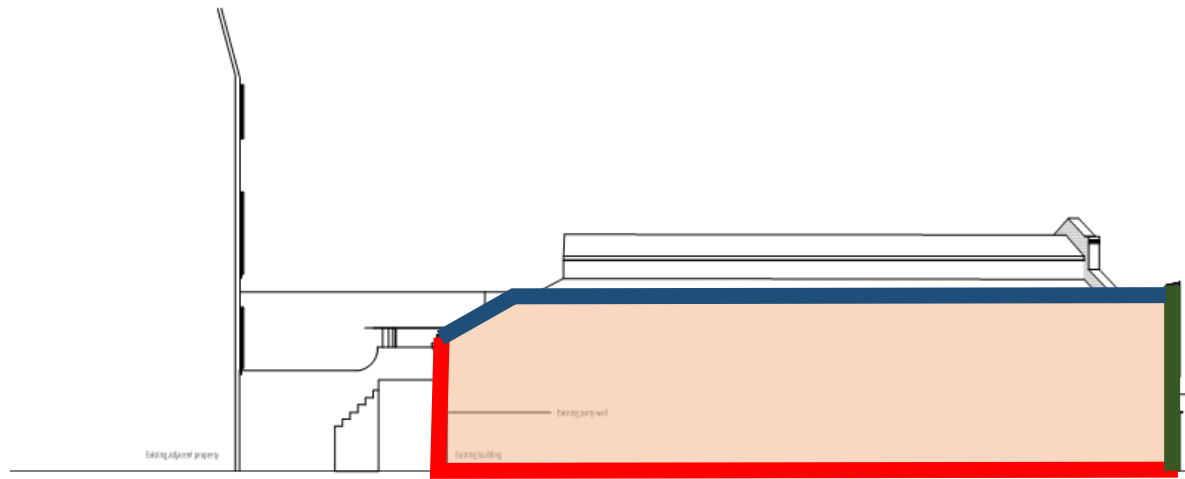


Fig 15. Section through party wall with 1 Highgate Road

**Summary of changes approved**

- Refer to full roof demolition on pages 7 and 11
- Critical style windows and doors to front and rear
- Glazed canopy over entrance
- Rear elevation to rebuilt in matching brick

Combined approved demolition and alterations if all permissions implemented

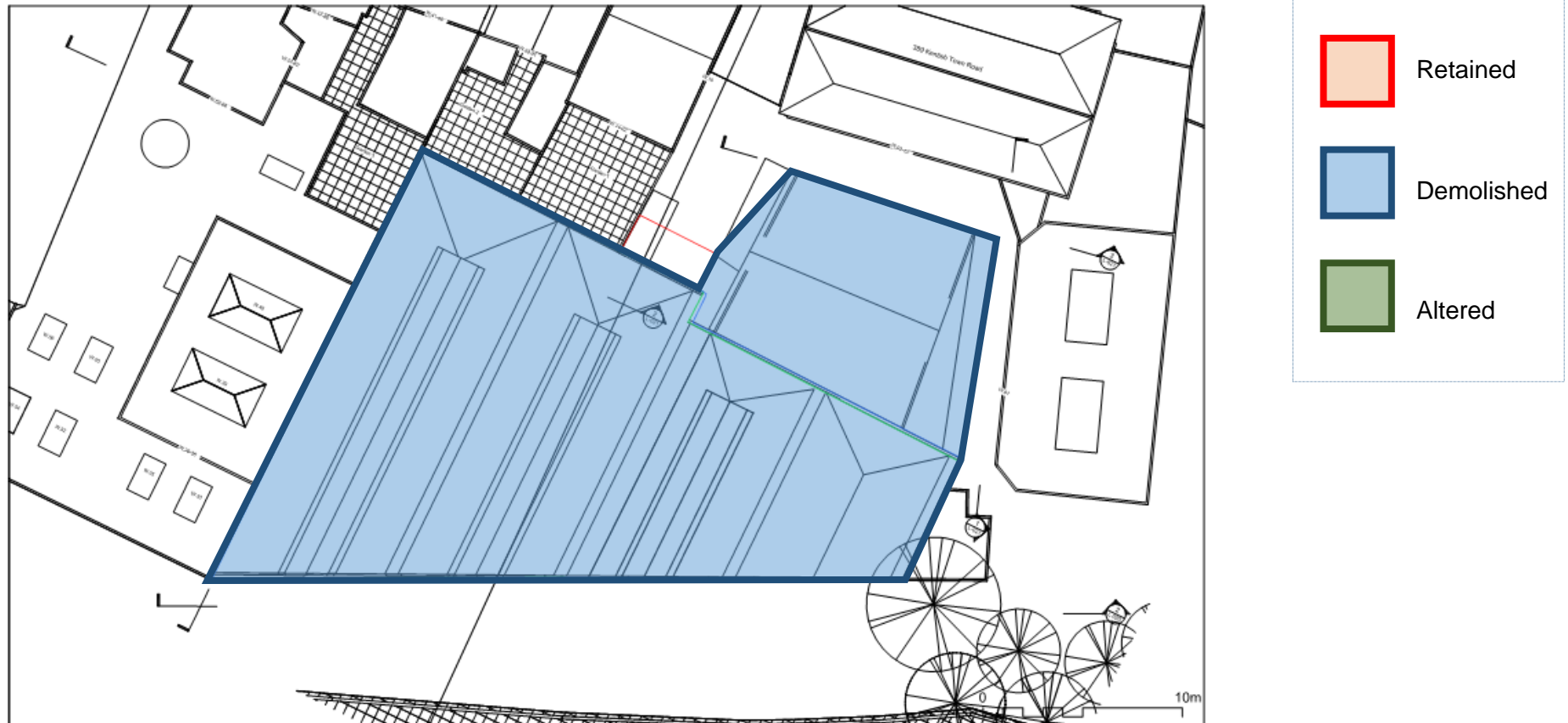


Fig 16. Roof plan

**Extent of demolition**

- Only roof to be demolished, external walls retained or altered

## Combined approved demolition and alterations if all permissions implemented

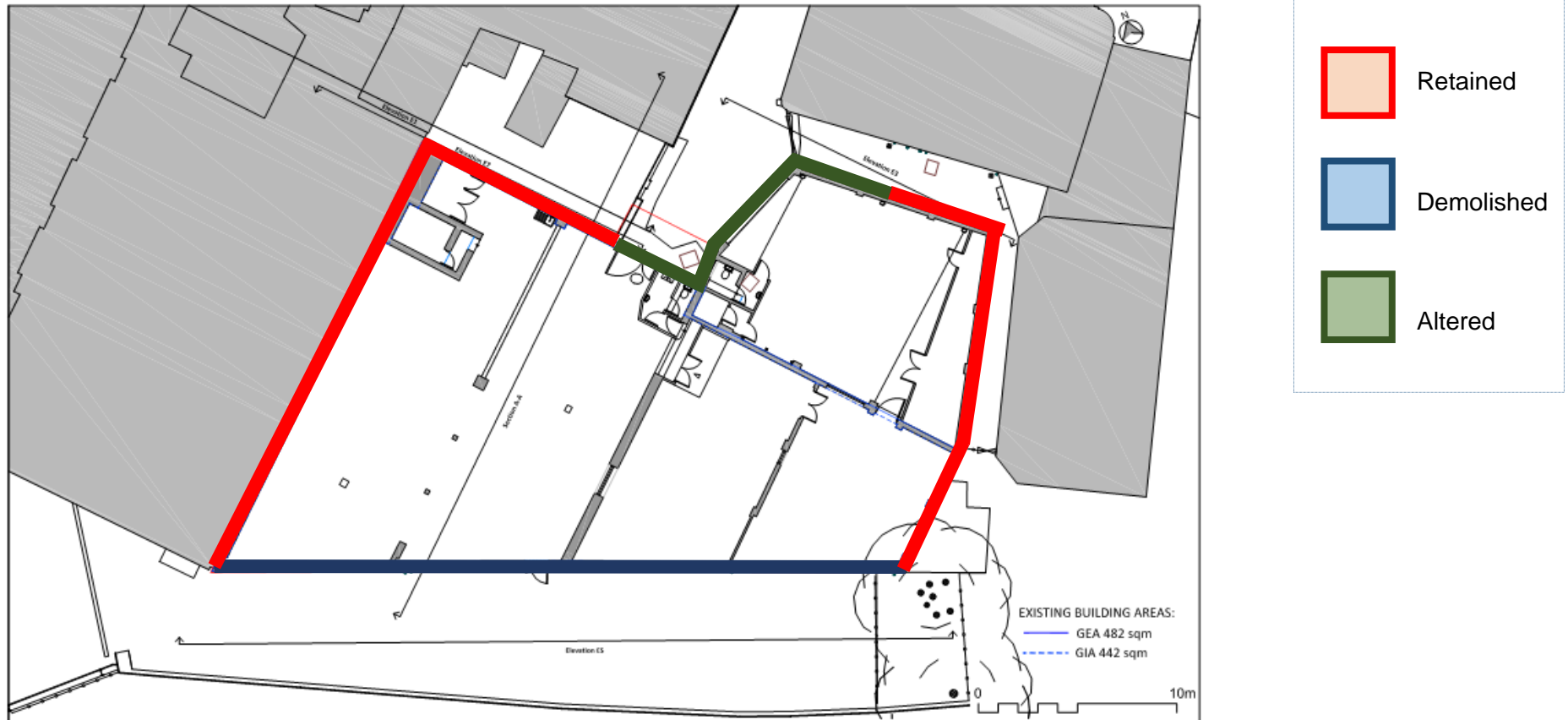


Fig 17. Original floor plan

### Summary of changes approved

- Critical style windows and doors to front and rear
- Glazed canopy over entrance

Combined approved demolition and alterations if all permissions implemented

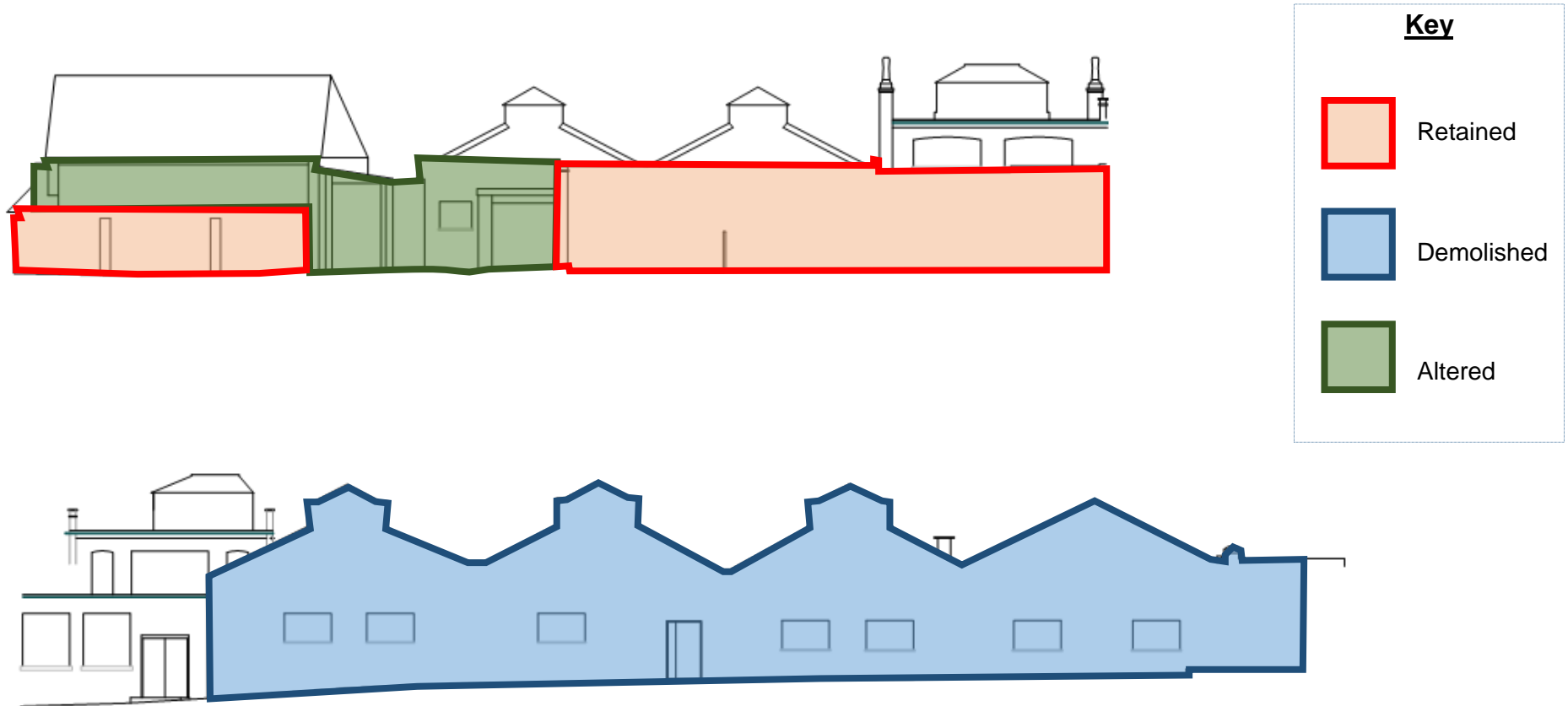


Fig 19. Rear elevation

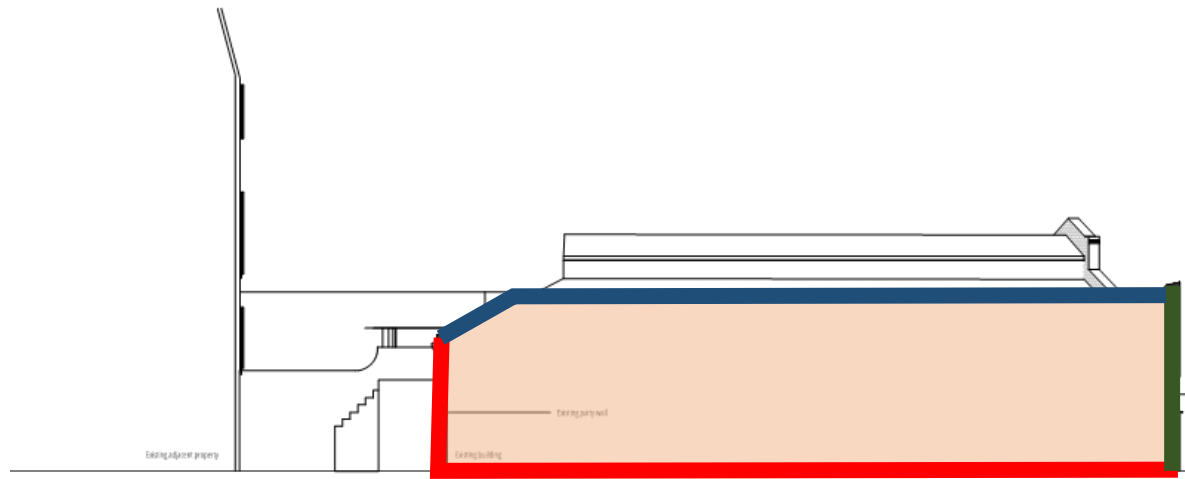
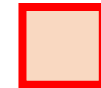
**Summary of changes approved**

- Critical style windows and doors to front and rear
- Glazed canopy over entrance

**2017/3428/P**

Planning permission granted on **30<sup>th</sup> November 2017**:

*Variation of condition 4 (development in accordance with approved plans) of planning permission ref 2016/4663/P dated 20.12.16 (for Alterations to roof and elevations of warehouse building (Class B8), including changes to roof profiles, new rooflights, new doors and windows in front and rear elevations, plus new paving and fencing in front entrance courtyard), namely to allow further design alterations to roof, facades, fenestration and courtyard.*

**Key**

Retained



Demolished



Altered

Fig 20. Section through party wall with 1 Highgate Road

**Summary of changes approved**

- Refer to full roof demolition on pages 7 and 11
- Critical style windows and doors to front and rear
- Glazed canopy over entrance

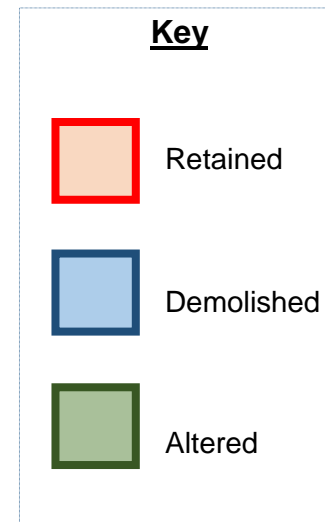
The amount of retained fabric in the existing building - based on evidence gathered on site visit carried out 11<sup>th</sup> April 2019



Fig 21. Roof plan

**Extent of retention of original fabric**

- None





The amount of retained fabric in the existing building - based on evidence gathered on site visit carried out 11<sup>th</sup> April 2019

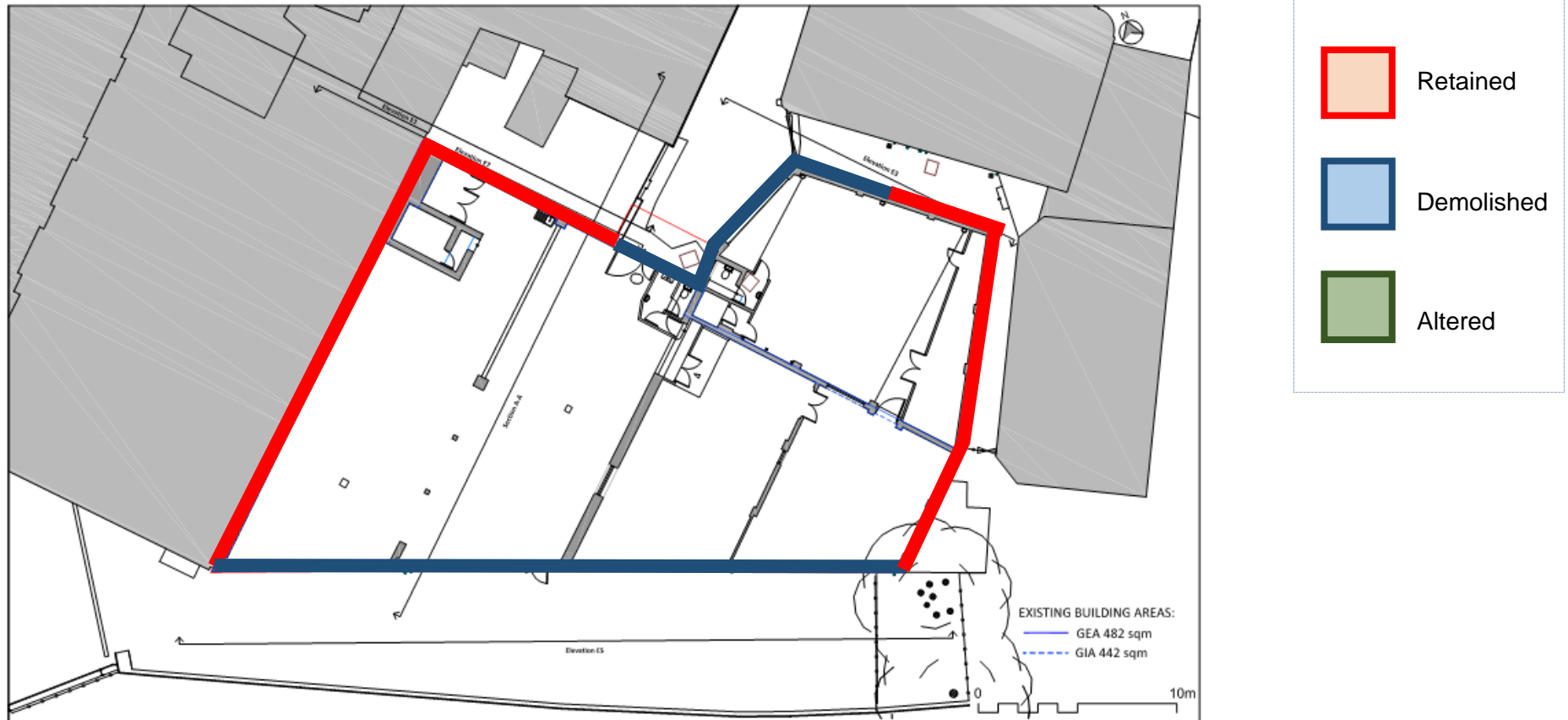


Fig 22. Floor plan

**Extent of retention of original fabric**

- Party walls only

The amount of retained fabric in the existing building - based on evidence gathered on site visit carried out 11<sup>th</sup> April 2019

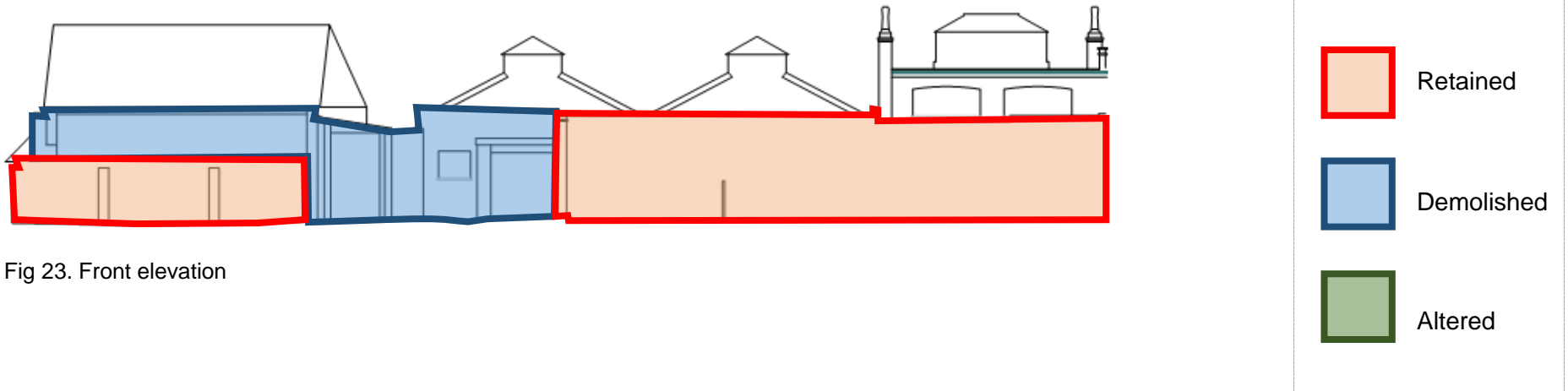


Fig 23. Front elevation

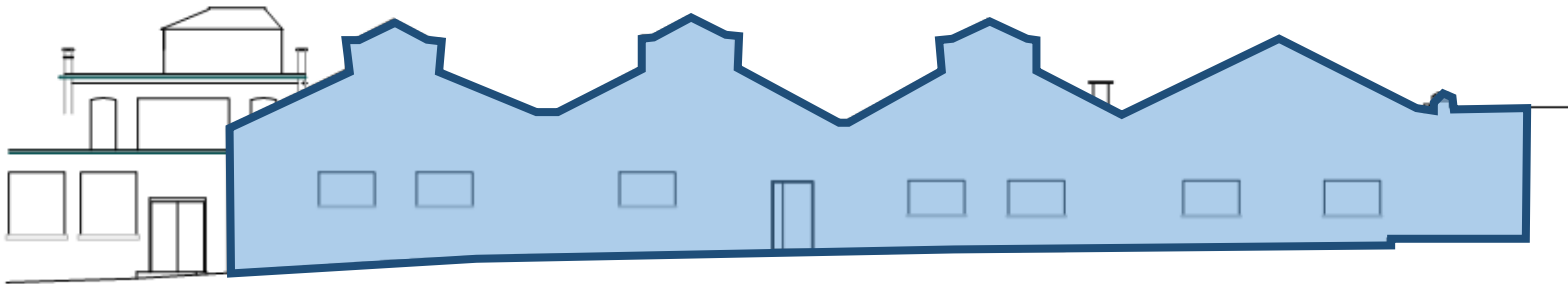


Fig 24. Rear elevation

**Extent of retention of original fabric**

- Party walls only
- Front and rear elevations demolished

The amount of retained fabric in the existing building - based on evidence gathered on site visit carried out 11<sup>th</sup> April 2019

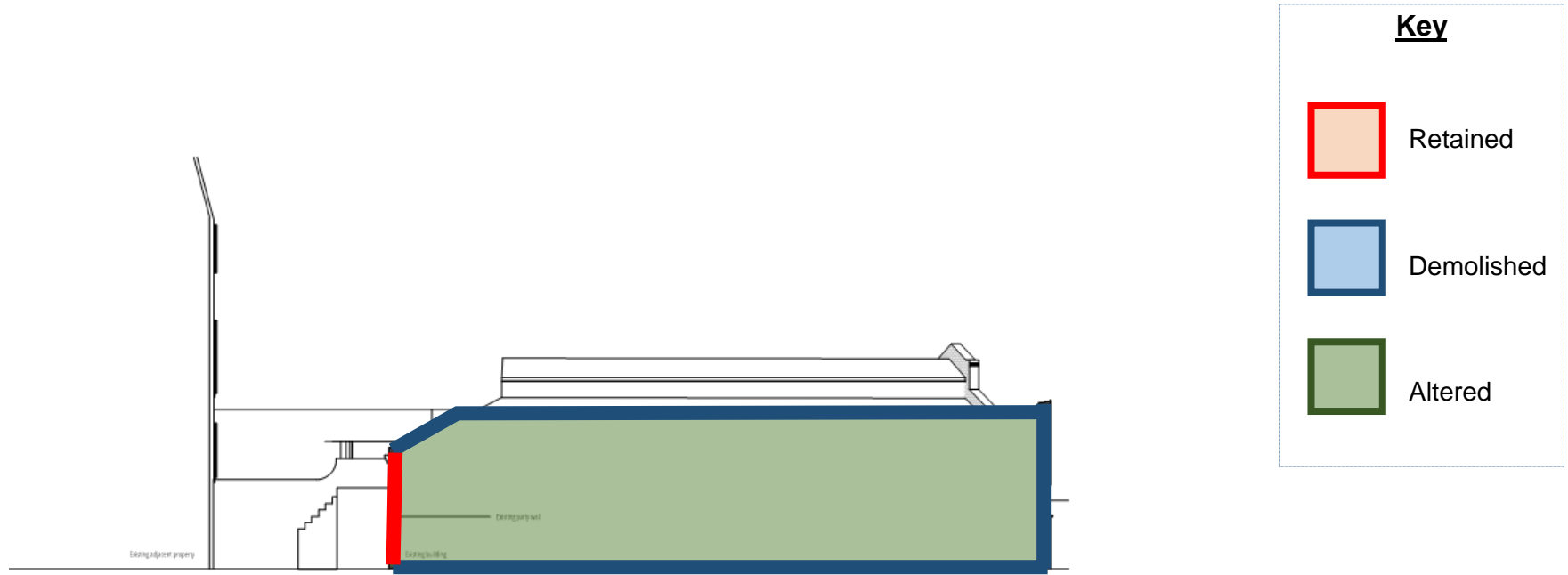


Fig 25. Section through party wall with 1 Highgate Road

**Extent of retention of original fabric**

- Party walls only
- Roof, front and rear elevations demolished
- Ground floor level lowered

The amount of retained fabric in the existing building - based on evidence gathered on site visit carried out 11<sup>th</sup> April 2019



Fig 26. Aerial photo 2011 (Magic)



Fig 27. Site photograph taken in 11/04/19 which shows the new roof



The amount of retained fabric in the existing building - based on evidence gathered on site visit carried out 11<sup>th</sup> April 2019



Fig 28. Rear elevation



Fig 29. Front elevation