

*EXISTING BUILDING*



The existing building comprises a small basement, ground plus four storeys; three masonry upper floors and a panel clad fourth floor with a lift overrun and plant on the roof.

160-161 Drury Lane adjoins a five storey building to the south (159 Drury Lane) and a five storey building to the east (8 Parker Street). The next neighbouring plot on Parker Street is a six storey building and 157 Drury Lane (the next neighbouring plot on Drury Lane) is a seven storey building.

When reviewing the existing building against its context it is apparent that the building does follow some of the rules of Seven Dials warehouses, but it ignores most. Its facade wraps around its chamfered corner without deviation and repeated punched openings set a rhythm. However, this rhythm is undermined by the different scale of the base and the top storey extension.

The brick facade lacks the weight and robustness of its neighbours and the ground floor introduces a wharf warehouse style series of columns not typical or appropriate for a dense, landlocked, urban area. Overall, the existing office detracts from the streetscene which is otherwise vibrant and active.

View looking south down Drury Lane



# Long Elevations

*Too Many Clashing Elements*

The existing elevations are compiled of elements of clashing materials, styles and eras. The existing wharf-style columns carry a cavity walled facade with stuck-on details and an out-of-keeping extension on top.



Existing Drury Lane Elevation



View along Drury Lane with the New London Theatre in the foreground

Large lift overrun

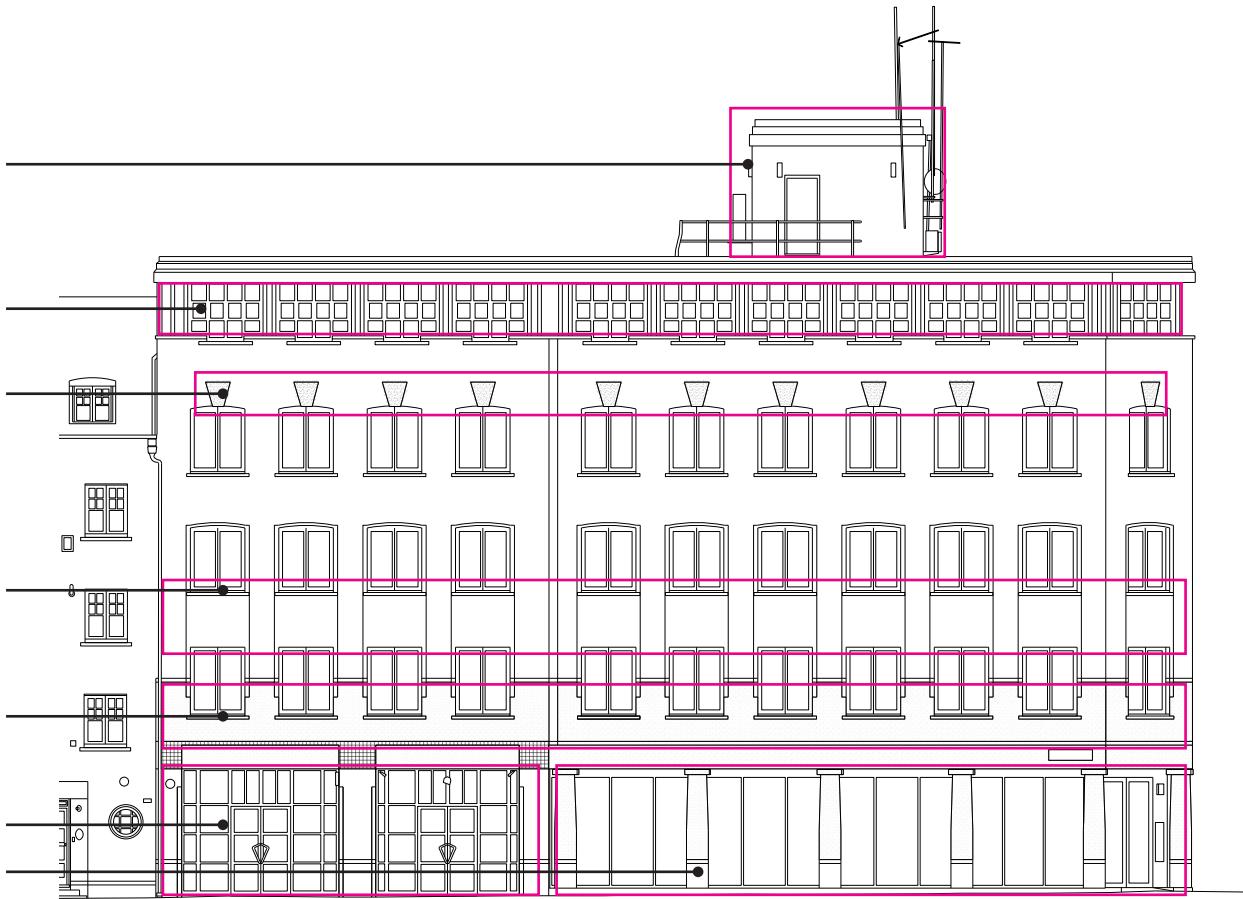
Squashed extension

Stuck on keystones

Shallow spandrels

Render cutting though windows

Dated glazed wall and wharf columns



Existing Parker Street Elevation

160 Drury Lane - The Site      The New London Theatre



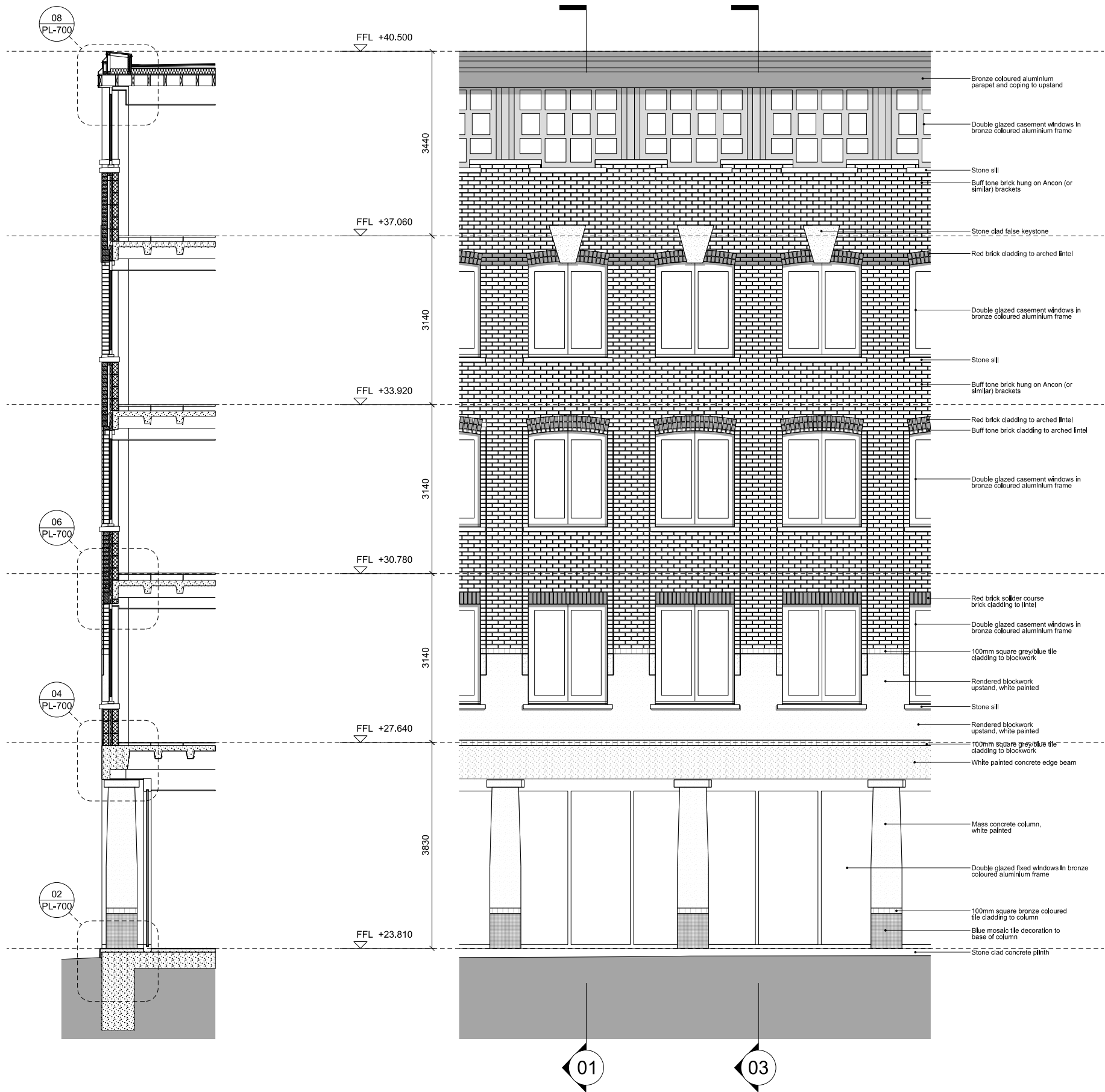
Parker Street looking towards the New London Theatre

# Structure & Cladding

## *Resolving the Facade Treatment*

Stripping away the cavity wall facade and returning to the concrete structure presents the opportunity to readdress some of the building's long standing design and sustainability issues. Key to this is its appearance within and contribution to the Seven Dials streetscape and the adjoining conservation area within the Westminster City Council streetscape.

A full re-clad would provide the opportunity to introduce some weight to the facade and create the opportunity to fully revisit its appearance, and address fully those with depth, detail, proportion and finish raised in November 2018 at Camden's DRP.



Existing Section  
Showing a basic cavity wall construction  
with a concrete structure

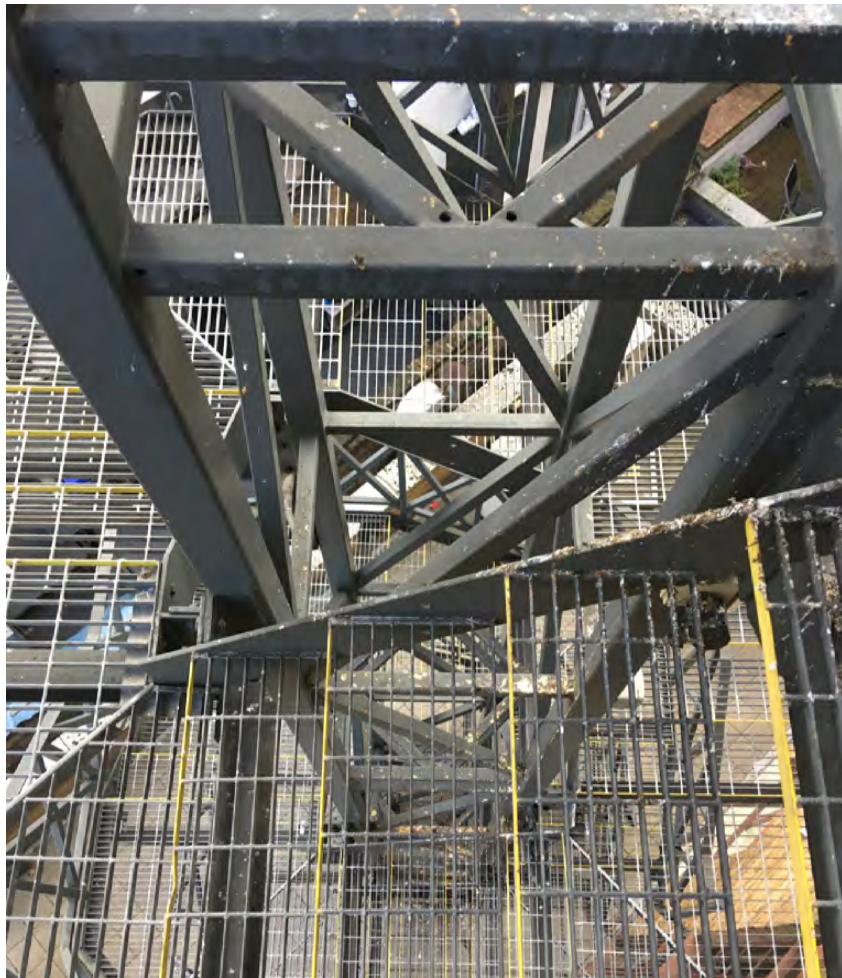
Existing Parker Street Elevation  
Showing a basic brick facade witting  
above wharf-style columns



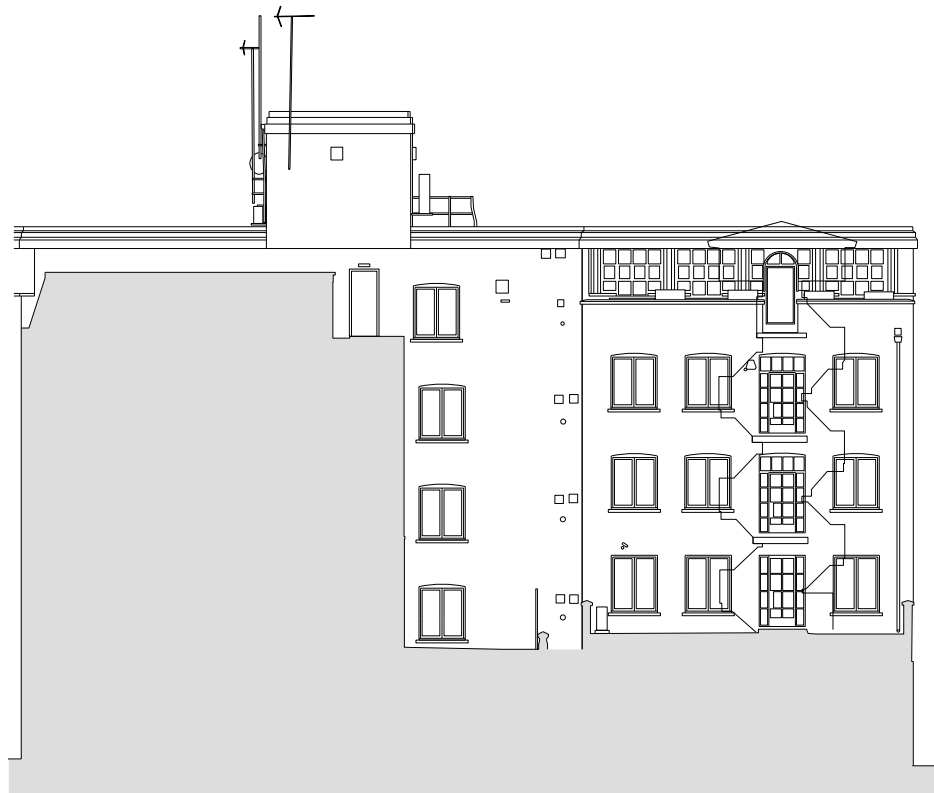
# As Existing

*Streetscape & Fire Escape*

An oversized fire escape stair climbs the rear elevation, from a first floor roof terrace (above the ground floor rear extrusion) to a fourth floor terrace, at the rear of the building. The external stair provides a secondary means of escape but has a significant impact on the perceived mass, as well as daylight levels in the shared courtyard.



Escape stair structure that climbs the rear elevation



Existing Courtyard Elevation

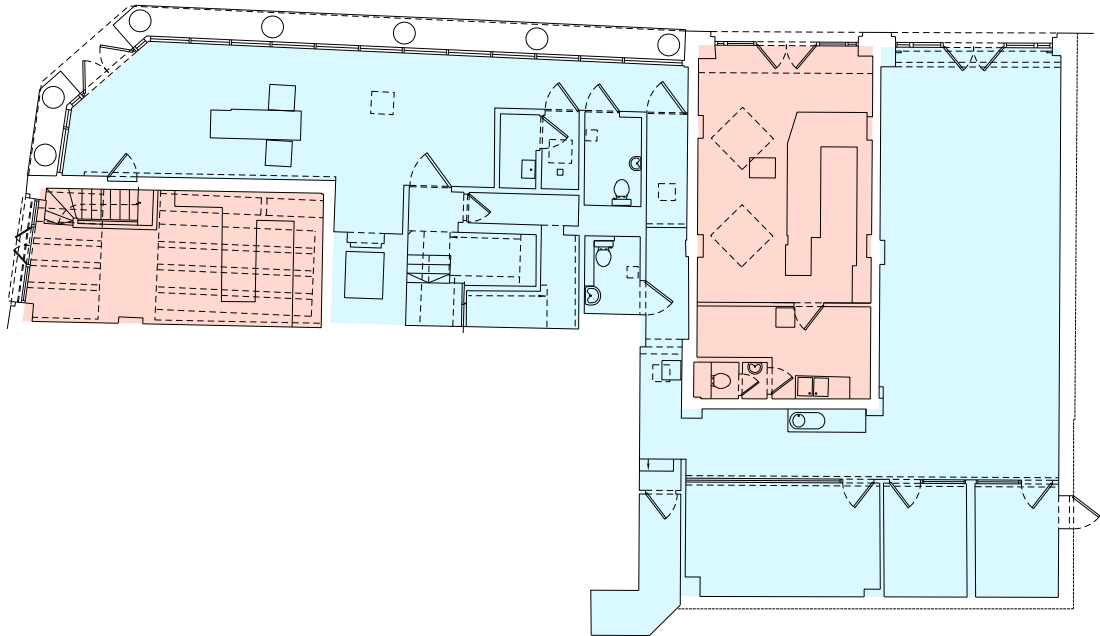
# Existing Uses

Office & Retail

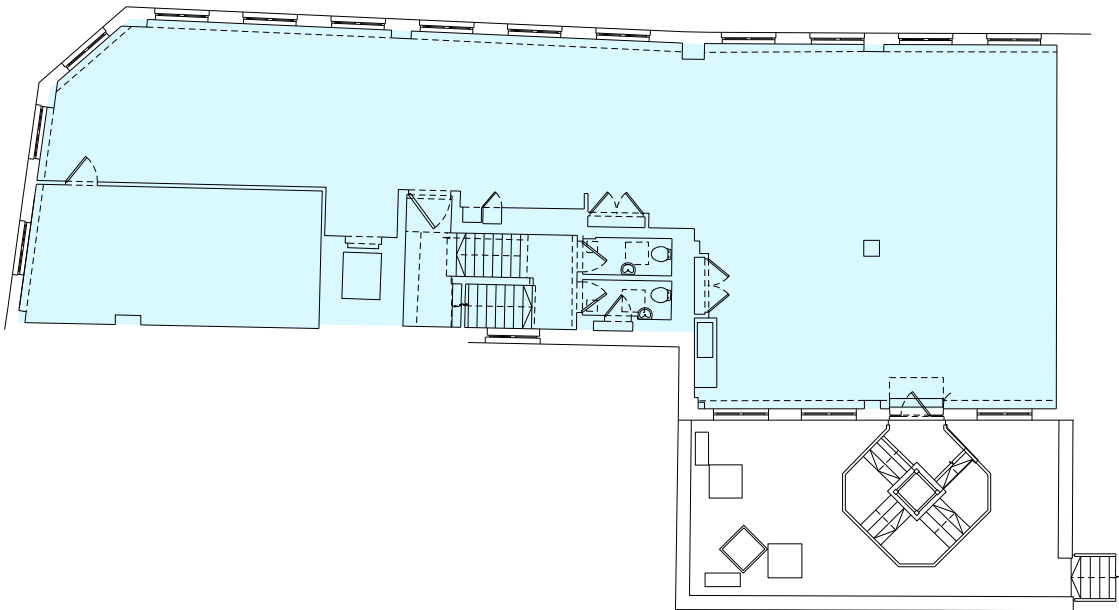
Key:

Retail

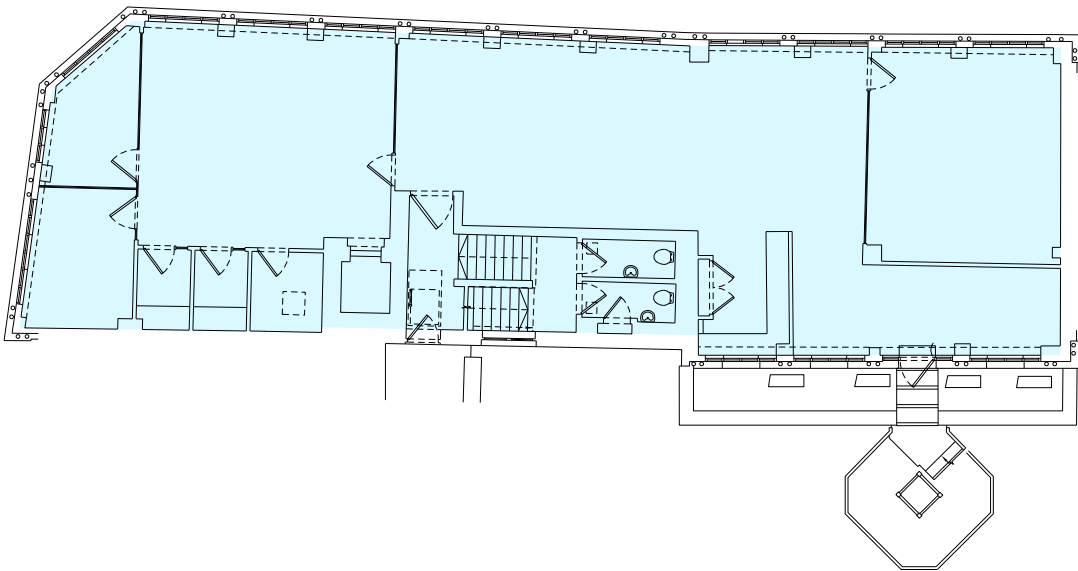
Offices



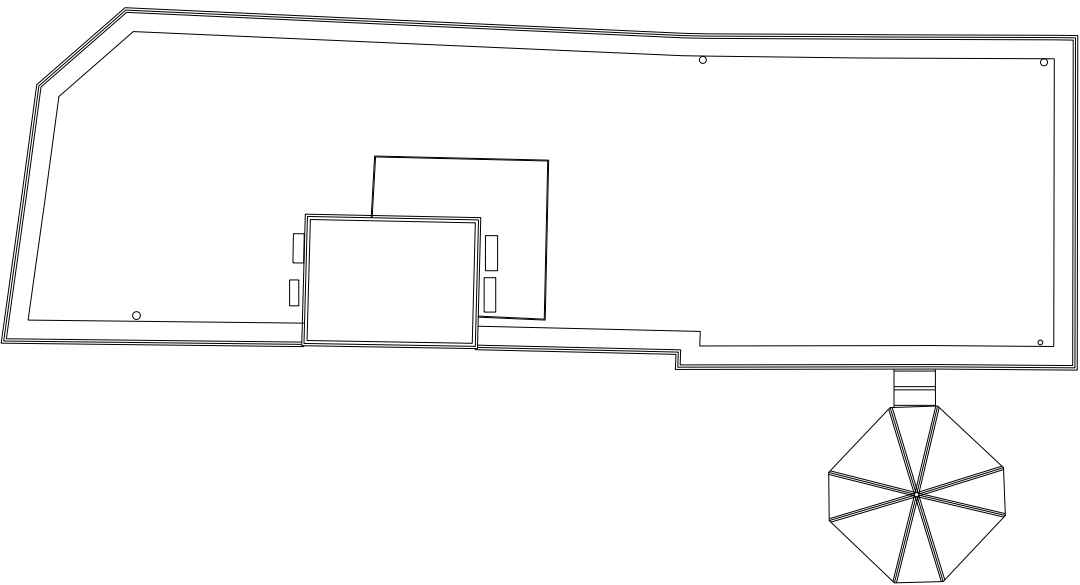
Ground Floor Plan - Survey Drawing by Point 2 Surveyors - 1:200 @ A3



First Floor (Typical) Plan - Survey Drawing by Point 2 Surveyors - 1:200 @ A3



Fourth Floor Plan - Survey Drawing by Point 2 Surveyors - 1:200 @ A3



Roof Plan (For Maintenance Access Only) - Survey Drawing by Point 2 Surveyors - 1:200 @ A3



# Ground Floor

*Opportunity for Active Frontages*

Given the site's location on Drury Lane, an important route in Central London, there is significant opportunity to provide a vibrant active frontage, which positively engages with the public realm.

The existing facade is dated and generally inconsistent with the quality of shop and ground floor frontage throughout the Seven Dials conservation area.

The frequency of tiled columns does not align with the rhythm of the facade on the upper floors. The deeply recessed glazing to the main office creates a void in the public realm.

Overall, the existing frontage is of poor architectural quality, uninviting and inactive. As a corner site opening onto the vibrant Drury Lane, there is opportunity to provide a mix of uses that will create a vibrant and active frontage that adds to the life of the street.



B1 stand alone office unit      A1 retail unit



B1 office entrance lobby



A3 retail unit



lack of clarity to the facade pattern and materiality

deeply recessed frontage inconsistent with the character area

proportions of glazing inconsistent with the character of the conservation area

lack of depth and character to the spandrel inconsistent with the character area

columns misaligned with the fenestration above resulting in a lack of clarity to the facade

frequency of column and facade obstructs prime frontage onto Drury Lane

lack of depth to the signage inconsistent with signage throughout the conservation area

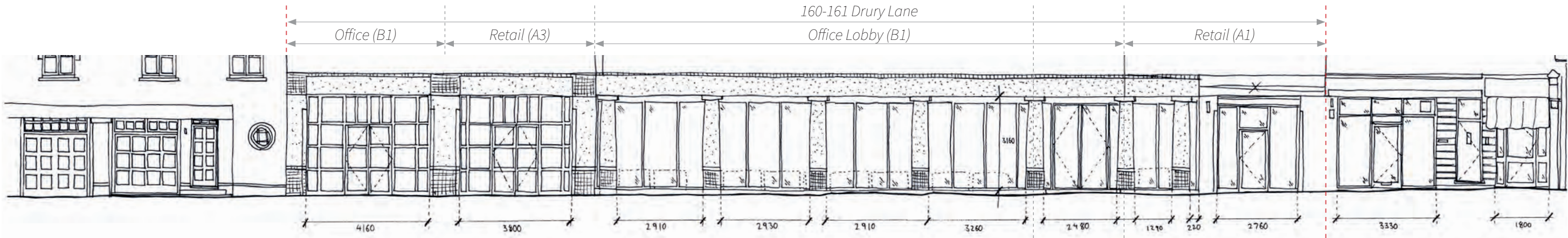


# Ground Floor as Existing

*Unfolded Elevation Study*

The existing ground floor elevation lacks clarity and unity. Multiple architectural features such as wharf columns, small tiled sections, patches of render and heavily subdivide glazing all clash with each other without consistency in form, style or aperture. A similar material palette across the elevation makes a gestural attempt to unite the various ground floor uses, but the 1980s mosaic patterning to the existing columns and render panels are not in keeping with the quality of shop frontages identified throughout the conservation area.

This development provides the opportunity to address the issues with the existing frontage and improve the building’s street presence and contribution to the activity and function of the area.



Unwrapped existing frontage elevation

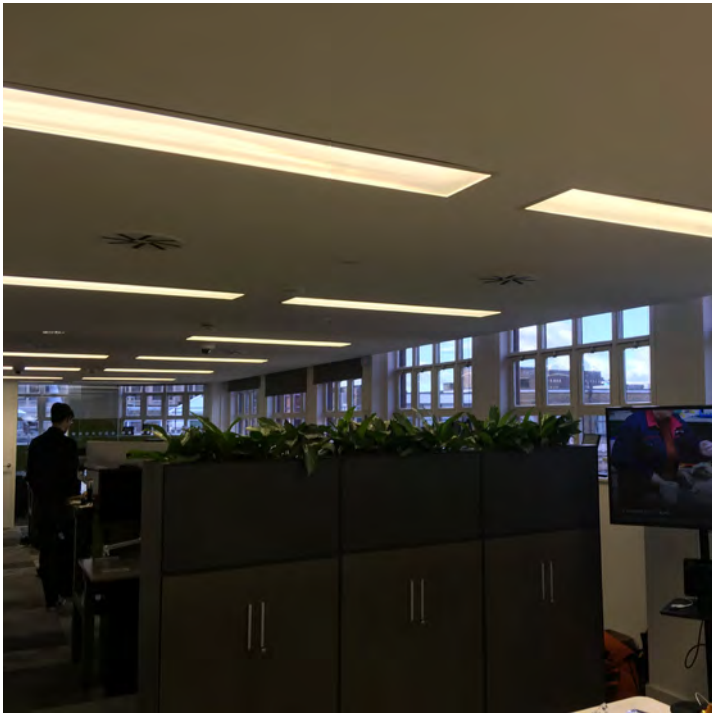


# The Site's Existing Character

*An Atypical Warehouse*

The current cavity-wall facade sits on top of out-of-keeping wharf style columns that clash with their context. Stuck on details, poor modern alterations and a top storey that doesn't speak of the warehouse character below further disrupt the elevation.

Internally, dropped ceilings strip the office spaces of the floor to ceiling heights generally afforded within warehouse buildings. Site investigations revealed a concrete rib deck above the dropped ceilings, revealing them would create a large floor to ceiling spcae suited to the typology and use.

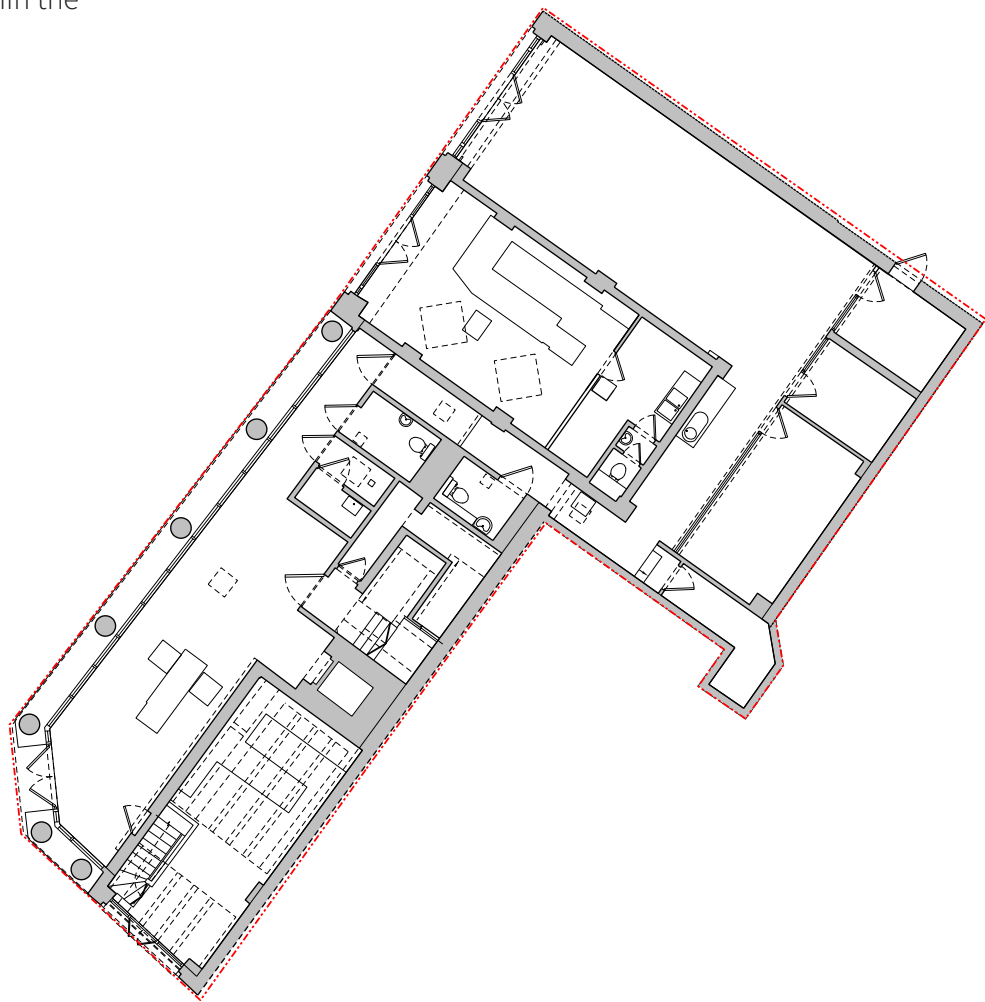


Elevations showing poor modern alterations to the elevation and the poor entrance way arrangement

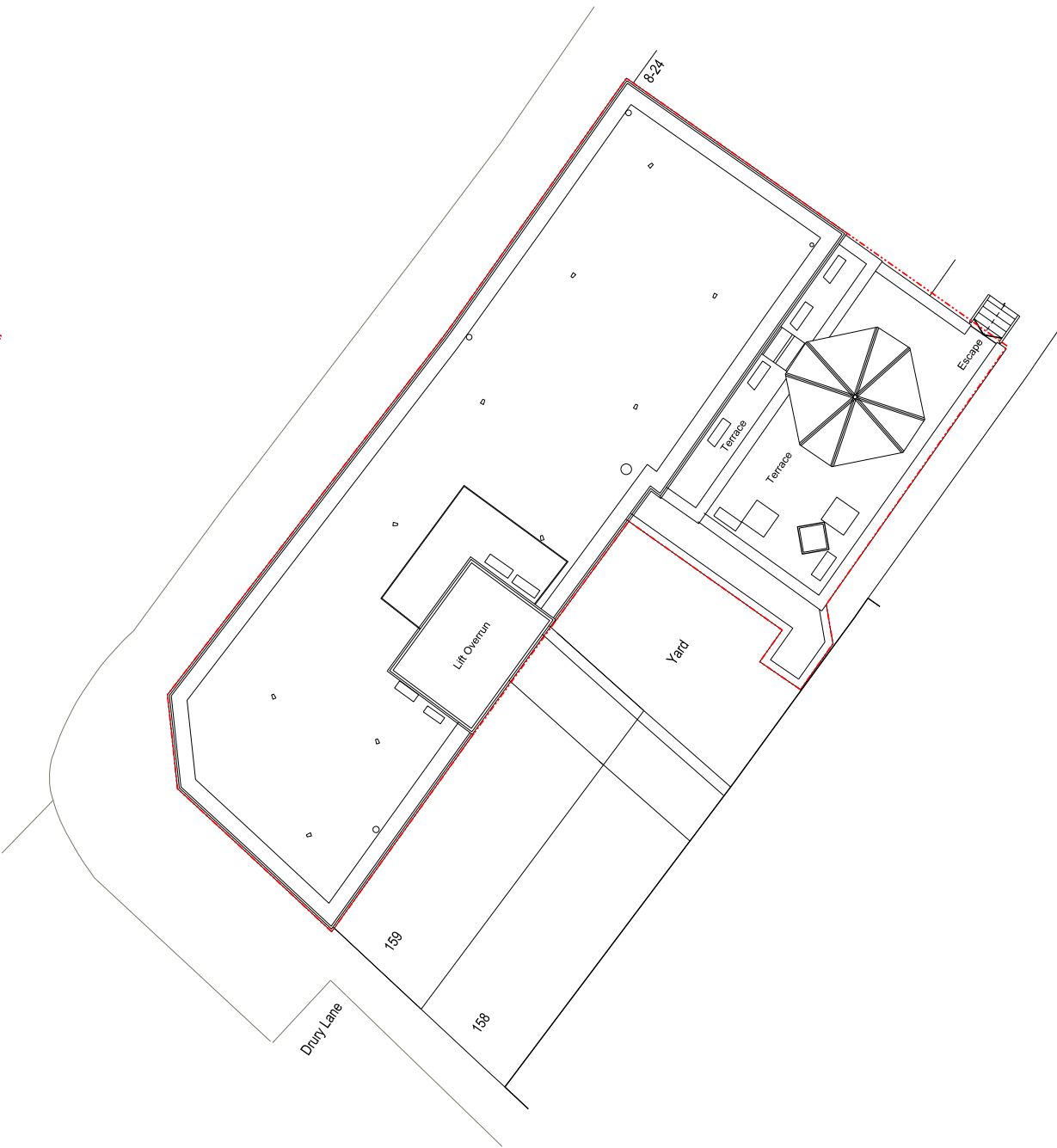
# Ground & Roof

*An Atypical Warehouse*

A number of modifications to the ground floor have left an inconsistent street frontage and overly subdivided floor plan. At roof level, the modifications mean that the large lift overrun and escape stair are both surrounded by additional plant that would be better incorporated within the volume of the building.



Ground Floor Plan



Roof Plan



## *PRE APPLICATION DISCUSSIONS*



During the course of the pre-application, the design has been developed in direct response to input from Camden's officers. The height, massing, materiality and visual impact of the proposal on the streetscape have been tested iteratively, through different medium, leading to a scheme both informed by the local context and respectful of it.

This section of the Design & Access Statement summarises our proposals, Camden's feedback and our design responses. While the fundamental ideas behind the scheme remained much the same, its articulation and appearance have developed significantly following the conversations had with Camden.



# Summary of Pre-App Discussions

March 2018 - July 2018

**Iteration 01**

Arched window heads and raised parapet detail with mansard sprung from it

**Iteration 02**

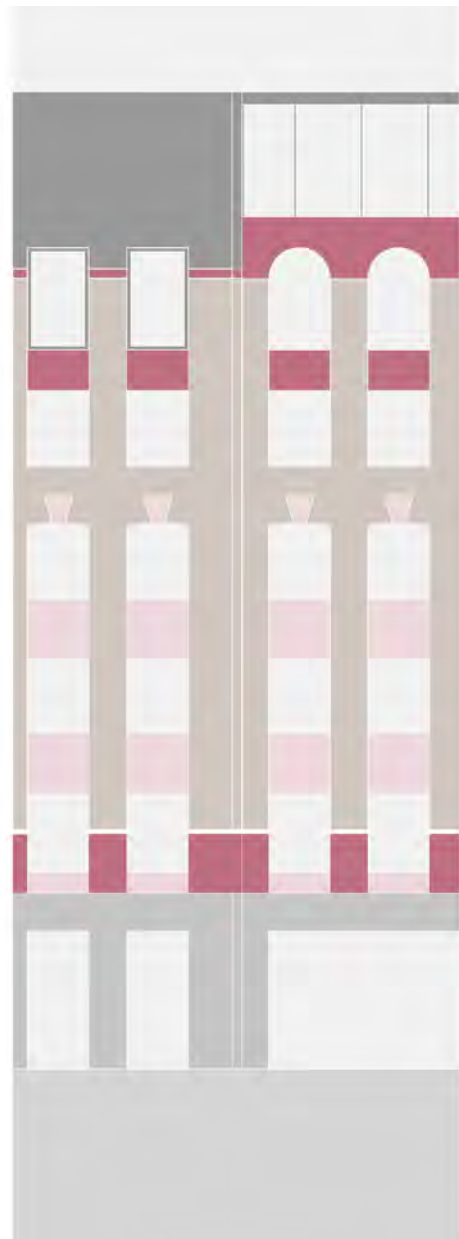
Lowered shoulder height with dormers breaking the line on one side and an arched window head detail on the other

**Iteration 03A**

Shoulder height dropped further and dormer detail extended across each facade

**Iteration 03B**

Window, shoulder and parapet heights reduced further. Arches above set back from the facade and finished to read with the roof, or a set-back brickwork detail



**Pre Application Meeting Comments  
(March 2018)**

Introduced the revised proposals which have:

- Adjusted the parapet weight
- Set-back the top floor
- Uses the existing structural line to deliver more character and visual richness to the Parker Street roofline whilst allowing the building to be read compositionally as one building

Height

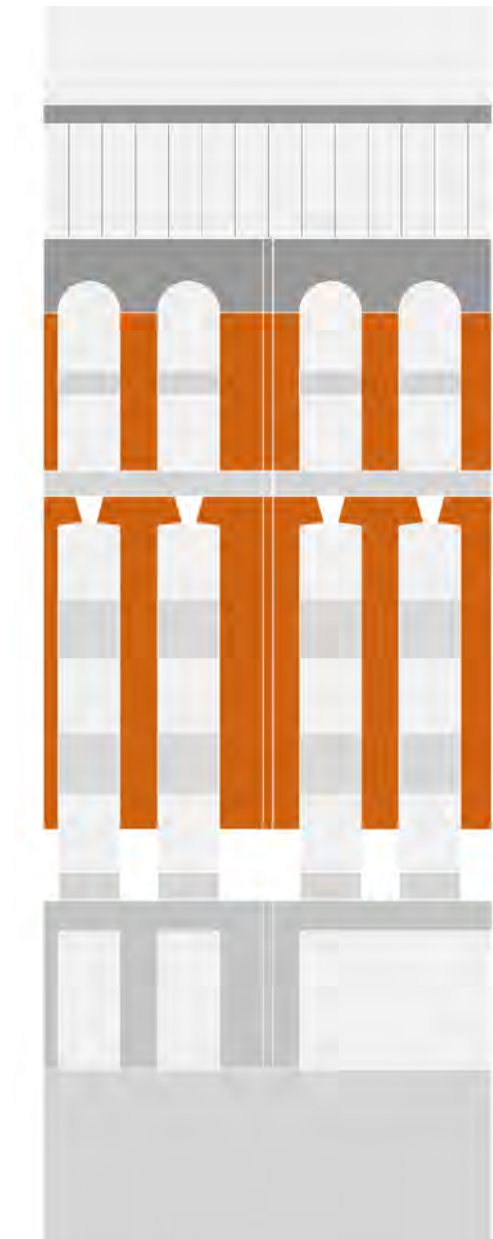
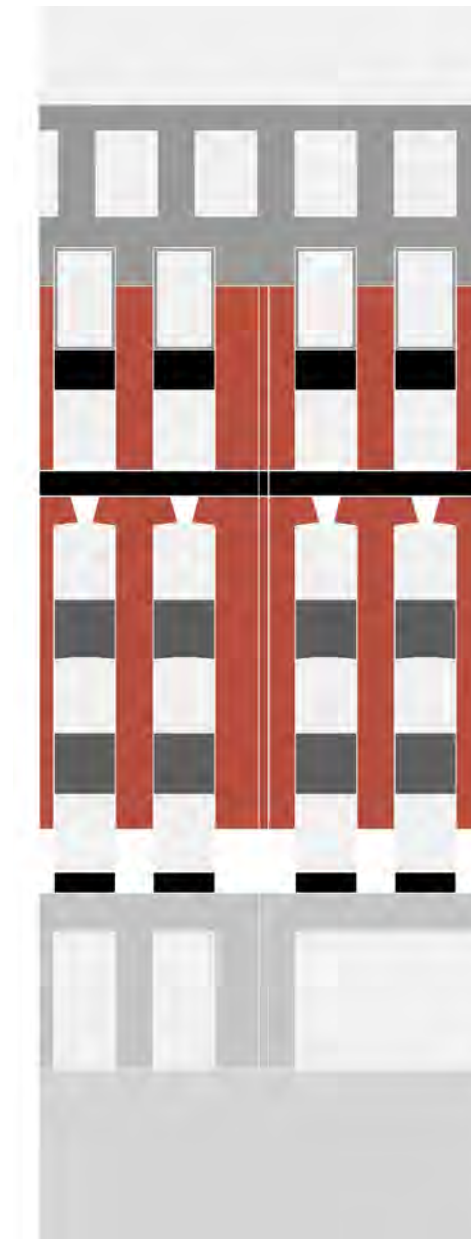
The height of the two storey extension was acceptable in principle.

Agreed that the proposed design must remain subordinate to the corner building

LBC stated that their main concern regarding the scheme was the parapet line

Ground Floor

Current proposal to push out the building line at the ground floor and the removal of the columns would be acceptable in principle



# Summary of Pre-App Discussions

## Current Proposal in Response to August 2018 DRP Feedback

### Design Review Panel Comments (August 2018)

The following excerpts are from the DRP feedback issued on 3rd August 2018. This was the first DRP the scheme was heard by.

#### Roof Form

"Opportunities to set the roof back and extend the roof terrace could also be explored, with reference to the neighbouring roof gardens on Parker Street"  
*The warehouse roof sits back from the parapet line, and terraces feature at either end of the scheme.*

#### Ground Floor

"The characteristics of depth and detail [at the] ground floor should be retained"  
*More piers sit at ground level, and the depth and detail of the reveals has increased.*

#### Facade

"The panel also thinks that the proportions of the elevation could be refined to simplify and clarify the design"  
*Using the historic structural grid has calmed the elevation through creating a smaller number of larger bays. Simpler openings and fewer elements add greater simplicity and clarity.*

"There is a case for a more muted approach to the tone of materials, in greater sympathy to surrounding facades"  
*The facade uses fewer materials and the ones that feature are more muted, referencing the many warehouses of the Seven Dials conservation area.*

"The panel endorses the decision to design a single building rather than breaking the site into two along the existing structural line"  
*The new proposal reinforces the idea of appearing as a single building, the structural line creates relief in the facade but everything reads as a whole*

"Current elevations are too over complicated and include too many different elements"  
*A full reclad of the existing structure removed the need to retain any of the existing details. Now, the facade is made of a uniform brick surface, with the metal of the window frames and balustrades being a consistent, quieter colour*

"The initial design approach took a simpler approach, which the panel considers could be revisited"  
*Like 'Iteration 1', the proposal references its warehouse context materially and formally. The simplified design sits more comfortably within its Seven Dials context*

#### Materials

"The panel feels the retention of the concrete frame is the right approach"  
*The frame is still retained, but the cavity wall is removed in its entirety*

"Brightly coloured glazed brick will stand out in relation to the surrounding area, regardless of the colour chosen. This approach should be carefully considered, as a more muted palette may be better suited to the conservation area and to the materials used in neighbouring buildings"  
*A more muted bespoke brick will be used throughout*

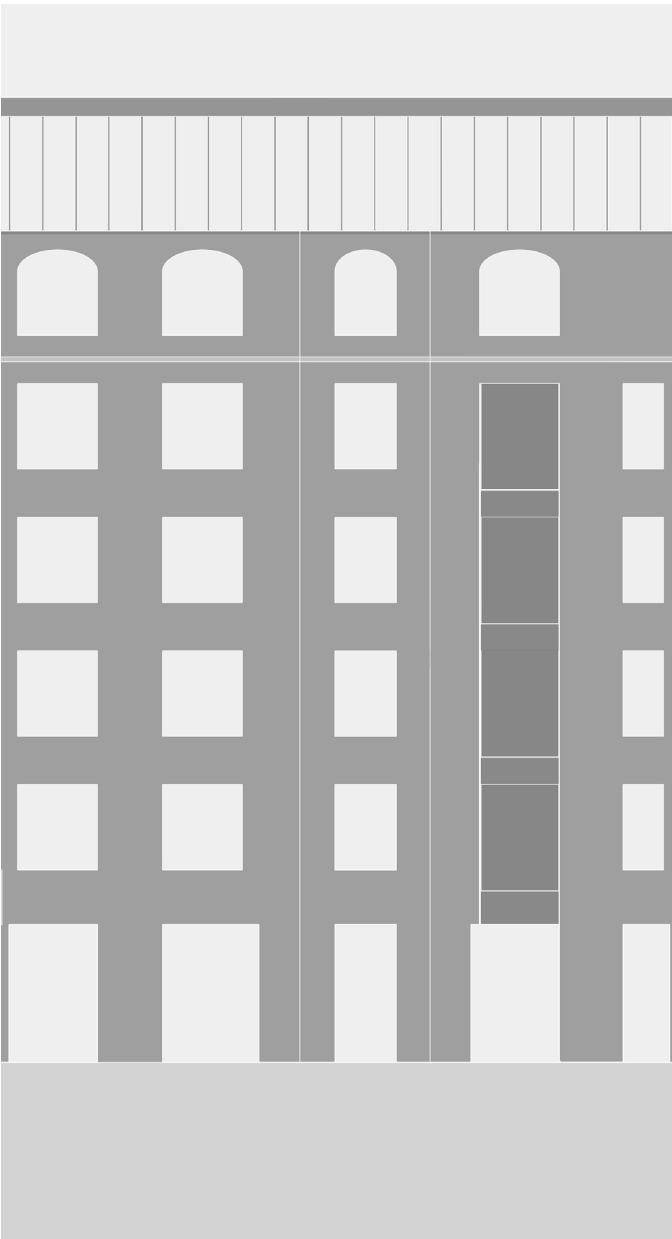
"If glazed brick is used, it should be of a very high quality to ensure a textured non reflective surface suited to use on an entire facade"

*Using a bespoke brick will allow us to specify the level of reflection and ensure a high quality finish*

"The proposed metal band capping the sixth floor adds complication to the elevation, and to the materiality of the building as a whole. Consideration could be given to removing this and simplify the range of materials"  
*The metal capping is on of many details removed from the proposal. Now the interest is achieved now through large palette of materials, but subtle details within the uniform brick facade*

### Full Reclad Proposal

Removing the existing cladding and starting again from the structure freed up the proposal from the pattern of the existing 80s building. A weightier warehouse facade developed from greater reference to the buildings context and site history.





# Summary of Pre-App Discussions

## DRP Proposal and Response (Iteration 04)

### Design Team's Proposal (October 2018)

The proposal sought to take on board comments received in both Pre-Application Feedback (ref:2018/0593/PRE) and those of the notes issued following the Chair's Review, dated 3 August 2018.

The principles of the scheme were supported, and comments received from the LBC planning, design & conservation and design review panel have been taken into consideration when adding greater refinement and clarity to particular aspects of the proposal.

While remaining heavily influenced by its context, and buildings of its era, this design iteration for the site adopted a simpler, quieter approach that is more harmonious with the surrounding architecture.

The scale, proportion, finish, colour, depth and balance of the facade were revised to achieve something with a greater clarity and weight.



### Design Review Panel Comments (November 2018)

The following excerpts are from the DRP feedback issued on 11 Nov 2018. This was the second DRP the scheme was heard by.

#### Height

"Since the last review , the proposals have developed considerably. Camden accepts the potential for additional height, particularly in combination with the revised facade designs, and also feels the shoulder height is acceptable."

#### Roof

"The roof profile at the corner and the design of the glazed mansard would also benefit from further thought, to achieve an elegant, well-resolved roofscape"

"The panel suggests further thought is needed on how the mansard roof and this corner are treated. Options could include using solid materials instead of glazing at the corner, and/or setting the upper level volume back from the parapet. Again, the panel suggests this is explored through larger scale models."

#### Views

"The picture window in in the rear elevation, facing

south, risks overlooking neighbours and could be reduced in size while still framing a view of Great Queen Street."

#### Ground Floor

" The ground floor treatment could be refined, with different treatments expressing the restaurant and office uses, and might include slightly raised ground floor window sills."

#### Facade

"The panel welcomes the way in which the designs have evolved since the previous review, and thinks that with some detailed refinements, the proposals will result in a high quality building."

" The introduction of a blank window above the cornice line on the party wall on Drury Lane helps to add variety but this would be more effective as a genuine window, which would also mitigate against future development and retain the varied, characterful building heights in the block."

"The panel feels the simplified elevational treatment is successful, as is the scale and disposition of the large scale windows in the facade."

"The loading bay-style windows on both Parker Street and Drury Lane are an important element of

the elevations. They help mediate between the scale of the new façade and the neighbouring finer grained elevations. Their design should be developed in greater detail. Their location and proportion on both elevations, and their relation to the office windows below on Parker Street. require refinement."

"The concrete surround to the Parker Street entrance currently appears disconnected from the rest of the façade."

"The panel suggested raising the very low sills to sit a little above pavement level generally, they could perhaps sit on a plinth."

"The panel is confident that the design team, in collaboration with council officers, can ensure that its recommendations on design details are implemented."

# Summary of Pre-App Discussions

## DRP Proposal and Response

### Pre Application Proposal (December 2018)

Following the second DRP, the scheme was discussed with Camden officers in December 2018. The scheme discussed sought to address all the remaining points raised by the DRP and seek acceptability in the whole design so that the planning application could be prepared.

The revised proposal, outlined over the following pages, builds upon the positive aspects of the scheme while taking on board comments from both the LBC officers and the panel.

The facade, roof and rear of the building have been developed in line with panel feedback, further simplifying the design and giving the refined elements a greater clarity.

Setting the roof back at either end provides a terrace on Drury Lane and creates roof-top addition in keeping with the character of the proposal. Below this, subtle set backs and sills create variety and depth within the facade.

Removing concrete entirely, calms the elevation. The entirely brick elevation features a glazed ground floor and a colourful brick at announces the office entrance. The loading bay at the end of each elevation is entirely metal piece, inserted into the facade.

