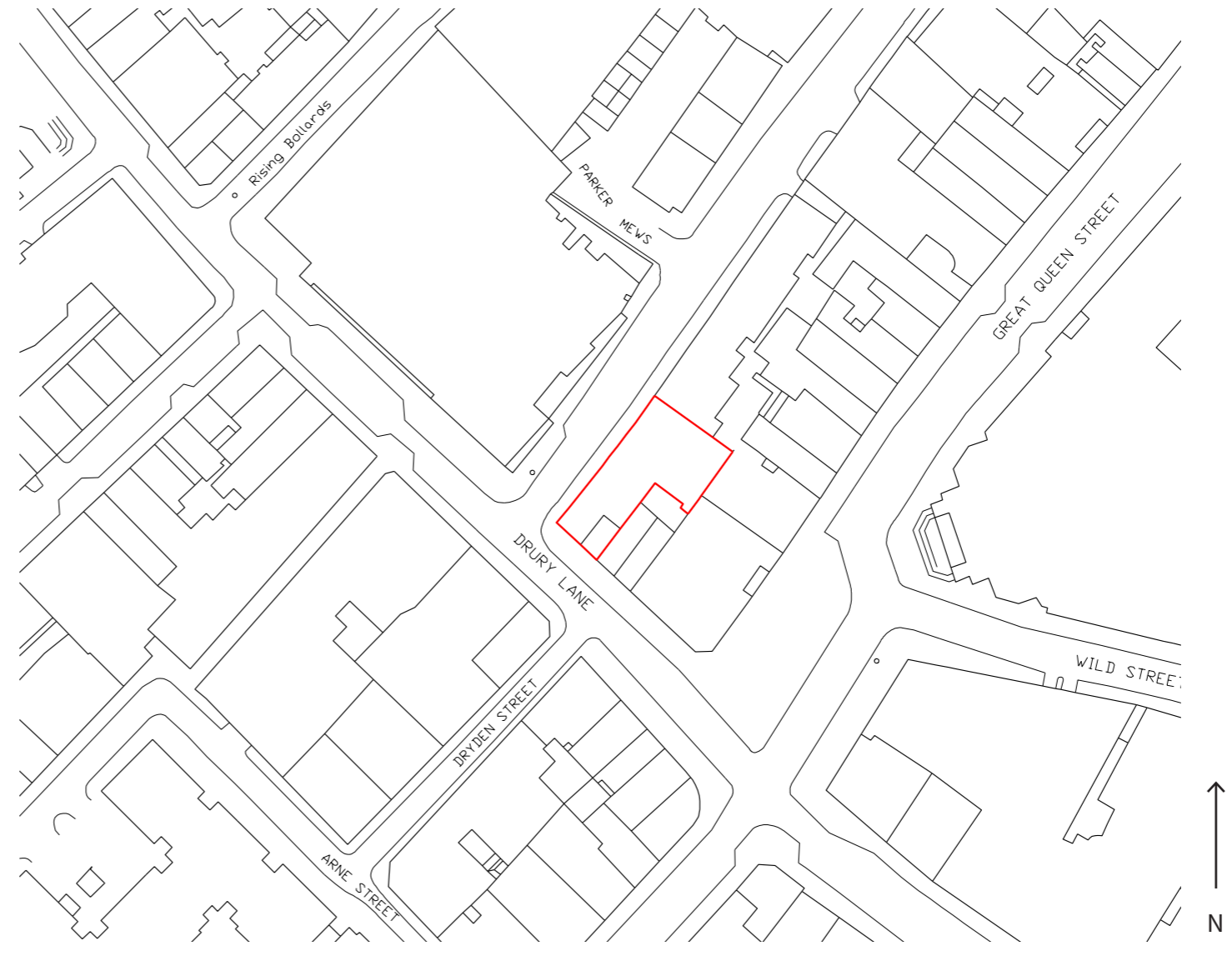




**160-161 Drury Lane**  
Design & Access Statement  
*March 2019*

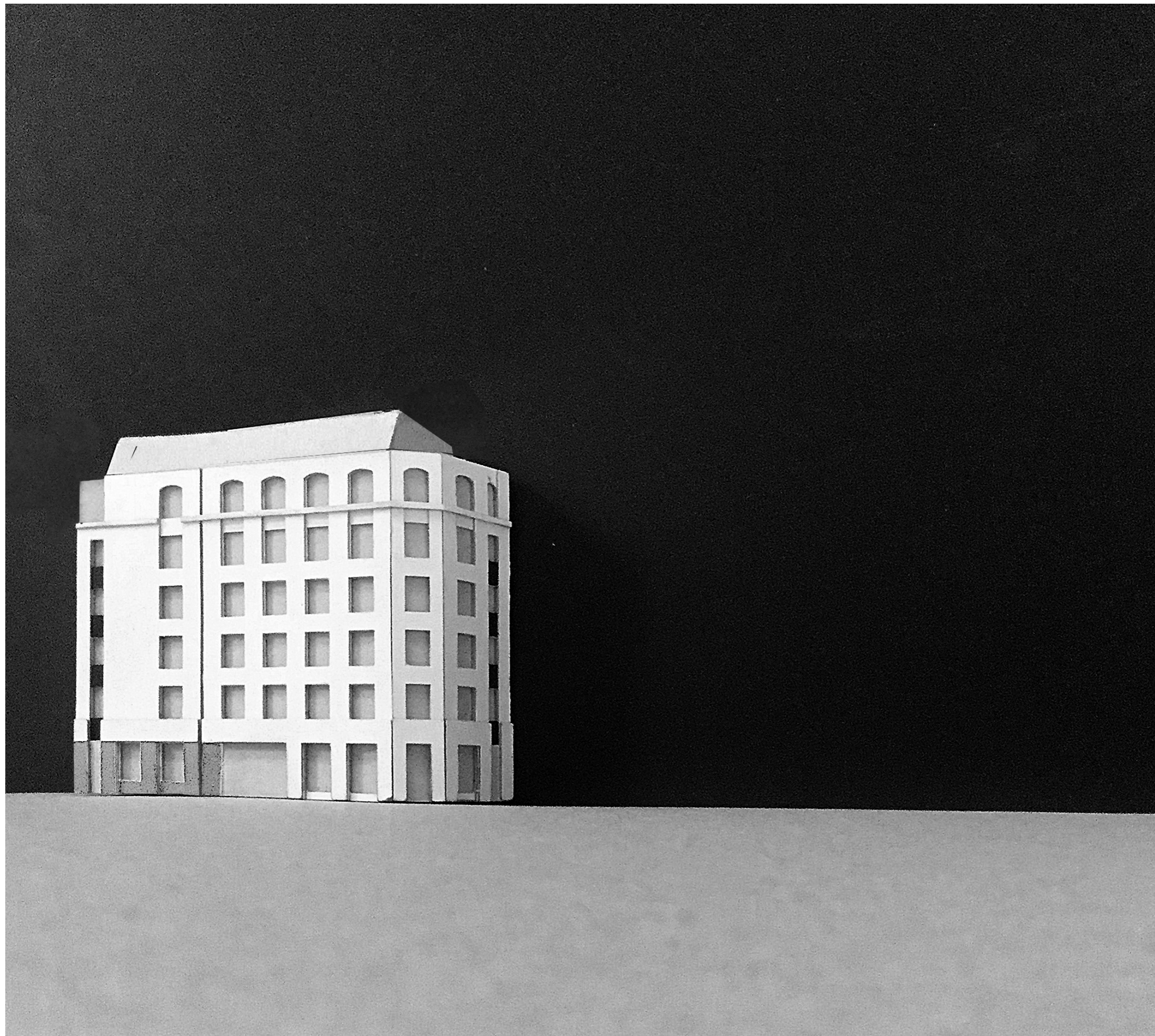
# *CONTENTS*

- Executive Summary
- Existing Site & Context
- Existing Building
- Pre Application Discussions
- Design Proposals
- Drawings



Site Location Plan

*EXECUTIVE SUMMARY*



This Design and Access Statement has been prepared in support of an application for planning permission at 160-161 Drury Lane ("The Site")

Proposed works are for the demolition of existing fourth floor, replacement of fourth floor and erection of additional two storeys to the site, full re-skinning of the facades, ground floor alterations including new entrances, single storey extension to existing rear closet wing, reconfiguration of existing external fire escape stair to the rear, reconfiguration of existing external roof plant and introduction of additional plant contained within the volume of the proposed sixth storey extension and all other enabling works in connection with the use of the building as offices (Class B1) at part ground floor and first to sixth floor levels and flexible B1/A1/A3 floorspace at basement and part ground floor level.

The proposal described in the following document stems from a thorough and investigative design process that has been refined through consultations with the London Borough of Camden and local neighbourhood groups and neighbours.

Taking cues from the existing building, its context and the history of the wider area, the proposals are a respectful reimagining of Covent Garden's varied typologies and heritage.

Contextual references appear throughout the scheme: the rhythm of the facade inspired by historic plot widths; the ground floor depth and reading by local 'shopfronts of merit'; the brick detailing by the expressive and varied facades of Parker Street and Drury Lane; the overall weight and composition by the industrial history and the warehouses that remain.

The design intent, development and drawings of the proposal are covered in the following report.

*EXISTING SITE & CONTEXT*



The existing building sits on the junction between Drury Lane and Parker Street, two streets that embody the variety of the Covent Garden area in the London Borough of Camden. From this aerial view the mix of typologies, scales, uses, eras, forms and finishes is instantly apparent.

Studying our Covent Garden context formed the basis of future design decisions. There is similarity within the variety, such as how heavily brick features throughout the many eras and styles of development throughout the Seven Dials conservation area. We sought to respond positively and sensitively to the existing context and integrate well with the existing character of the Seven Dials Conservation Area.

 Seven Dials Conservation Area

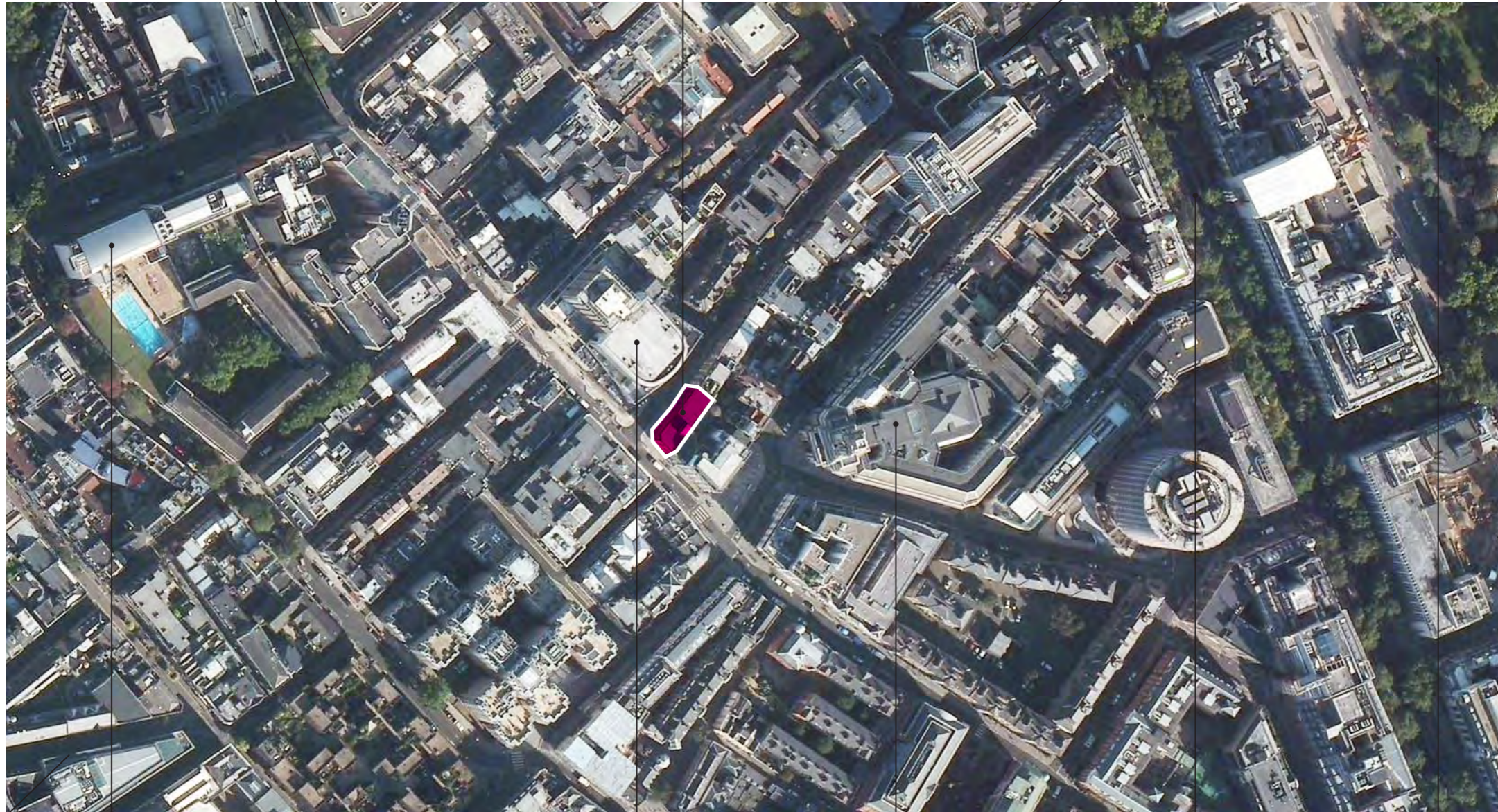
# Location

## Central London Context

"The Site"  
160-161 Drury Lane

to Oxford Street

to Holborn



to Covent Garden

Oasis Sports Centre

New London Theatre

Freemason's Hall

Kingsway

Lincoln's Inn Fields

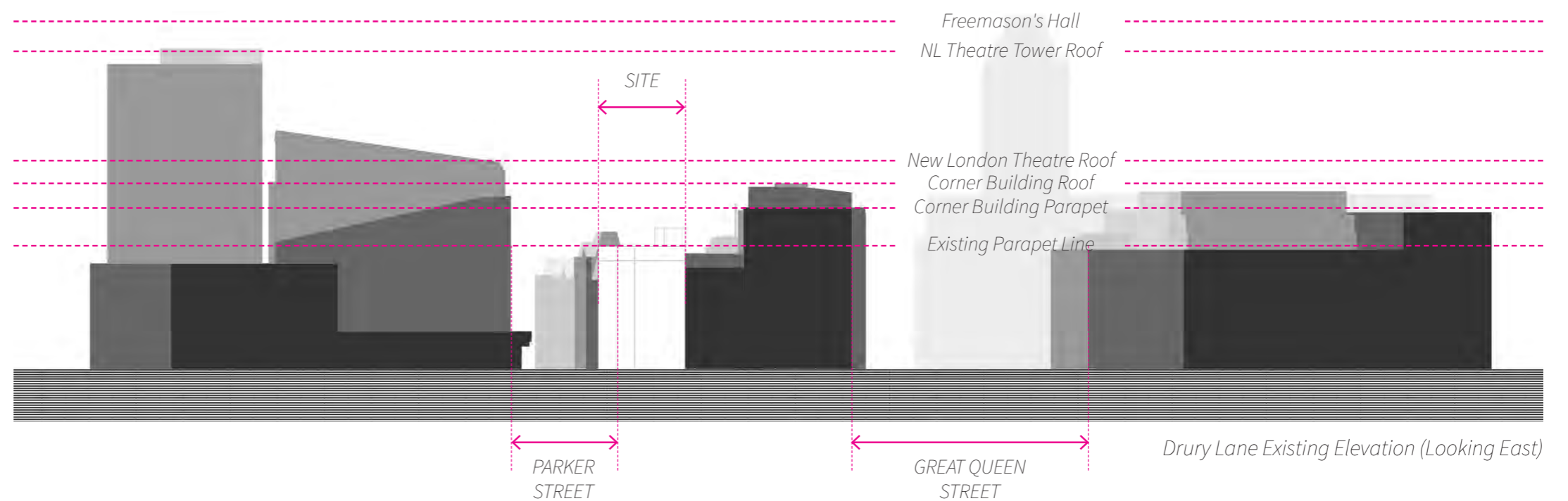
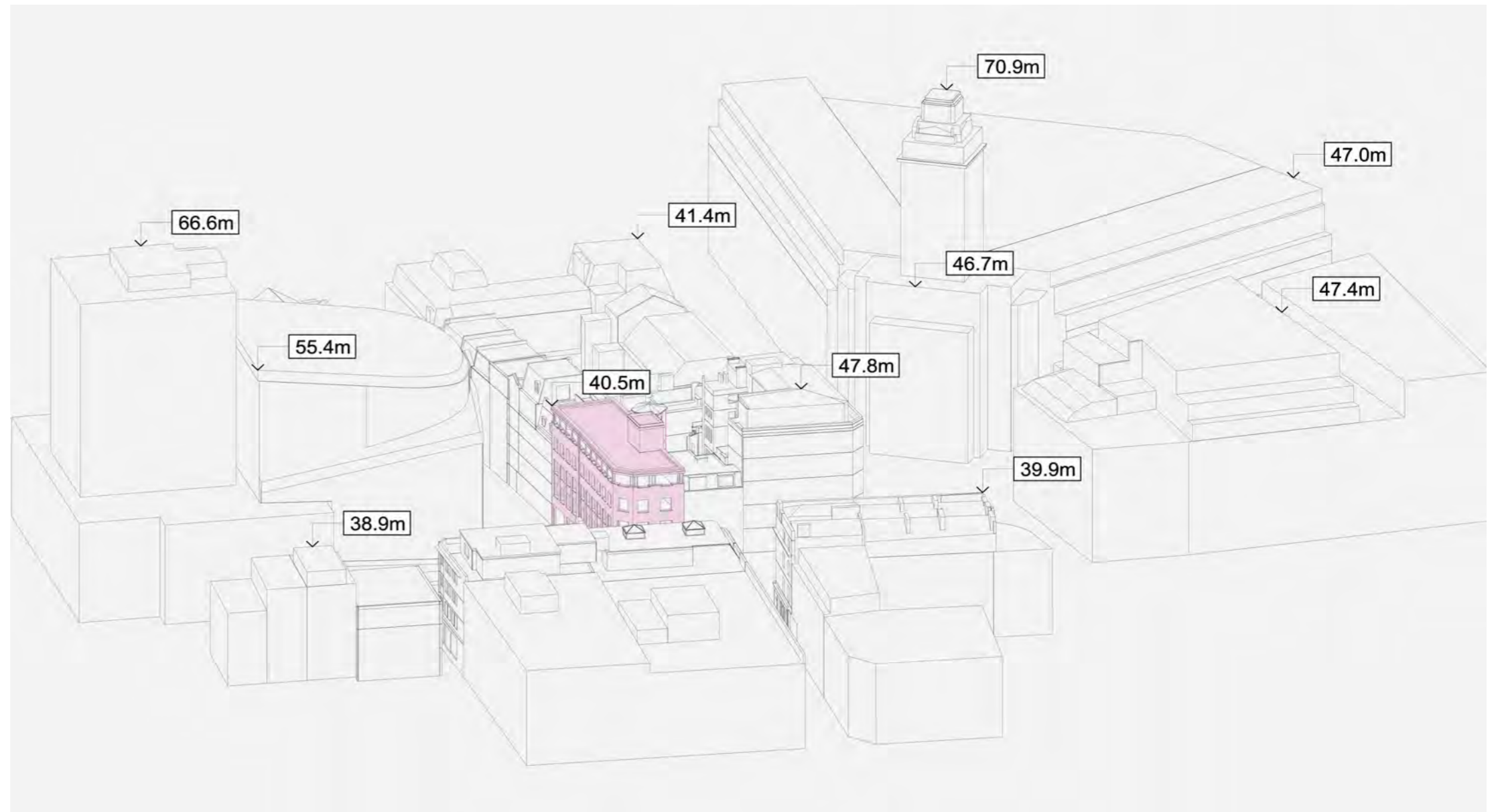


# Immediate Context

## Drury Lane Roofscape

The roofscape studies show two key things. The first is the incredibly rich and varied context the site finds itself within, it's character and variety extends beyond just street frontages and includes roof forms, urban grain and building heights.

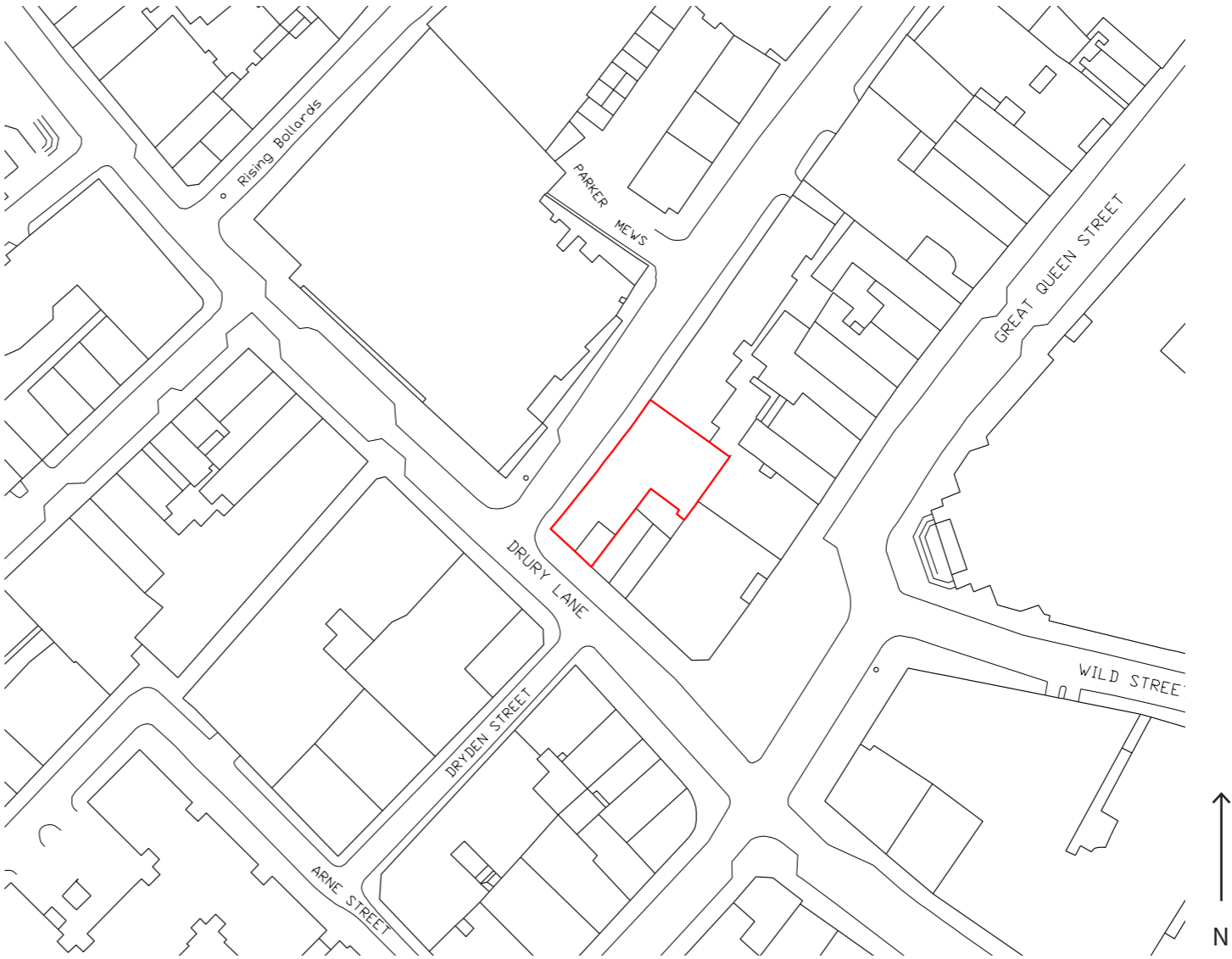
The second, affiliated point, is the lack of character that the current building provides to the context - particularly when viewed along Drury Lane. The expressive facades and forms of the neighbouring buildings only make the 1980s office block appear even more flat by comparison.



# Location Plan

## *Dense Covent Garden Streets*

This location plan demonstrates that the site is located in an area that has been densely developed. This dense development contributes to the character of the site and its immediate setting.



# Surrounding Streets

*Snapshot of Context*



Seven Dials     The wider area is characterised by brick buildings and warehouses



Drury Lane     The forms, colours and details become lighter and more playful along Drury Lane



Parker Street     A mix of restrained brick buildings run along the length Parker Street

# Conservation Area

## Seven Dials Sub-Area 2

The site is located in the Seven Dials (Covent Garden) Conservation Area, first designated by the London Borough of Camden (LBC) in 1971. The site is also opposite the Covent Garden Conservation Area located in the City of Westminster. The design proposals must therefore be sensitive to the character and appearance of both conservation areas.

The following pages identify key character attributes in the Seven Dials (Covent Garden) Conservation Area (LBC).

The site is located in sub-area 2, but has a primary frontage directly opposite sub-area 3.

There is little or no reference to the south side of Parker Street within the Conservation Area Statement (CAS).

The building **is not** identified as a positive contributor to the conservation area.



Sub Area 1

Sub Area 3

Sub Area 2

### SA1 / Seven Dials

By the 10th century the area north of the Strand and south of Holborn had become part of the Westminster Abbey estates. From the 11th century land to the west of Drury Lane was used as a garden for the Abbey while the area around the Seven Dials was owned by The Hospital of St Giles.

The distinct layout around the Seven Dials is the legacy of an ambitious building plan devised by Thomas Neale, a speculator and Master of the Mint, at the end of the 17th century. The plan was unique, the only one of the 17th and 18th century developments in the West End which departs from a grid plan. Instead a radiating plan of streets was formed around a small central polygonal circus with a Doric column at the centre surmounted by sundials.

### SA3 / Macklin Street

Running north to south is Drury Lane, one of the oldest roads in Covent Garden possibly dating back to the Saxon settlement of Lundenwic. On older maps it is known as Via de Aldwych and was a major route from what is now Aldwych to Holborn. The name is taken from Sir William Drury who built a house at the southern end of the road during the reign of Elizabeth I.




The latter part of the 19th century saw dramatic changes in the role of local government. In 1889 the London County Council (LCC) was created and was given the duty to rearrange and reconstruct streets and houses in unhealthy areas. The LCC 'saw that by the provision of a model lodging house, a great example would be set, and in 1890 it decided to erect the Parker Street lodging house on one of the sites cleared by the Board'.

### SA2 / Great Queen Street

Great Queen Street was built in the first half of the 17th century begun by the speculator William Newton with the adjacent Lincoln's Inn Fields. Named after James I's Queen, Ann of Denmark it has its origins in a royal private way to James I's favourite residence in Hertfordshire. Great Queen Street formed a continuation of the north side of Lincoln's Inn Fields until the construction of Kingsway opened in 1905.

The character and architecture of Great Queen Street was also shaped by the development of Freemason buildings. In 1774 the Moderns' Grand Lodge (founded in 1717) bought a house on the southern side of Great Queen Street where the original Temple was built in 1775, with the addition of the Freemason's Tavern in 1786. In 1815 two houses were acquired with the aid of Sir John Soane (£500), who later designed additional premises for the Masons that were completed in 1829.

Key:

-  The Site
-  Listed Building
-  Positive Contribution

# Heritage & Conservation

## *Covent Garden Character*

The building in the centre of the image adjacent - now an Urban Outfitters - typifies the character of Seven Dials warehouses. Weighty bases support substantial brick façades featuring punched windows and subtle details.

Our studies of the local heritage and the conservation area informed the design's scale, rhythm and appearance of the proposed facades. Referencing the historic plot widths of the site and the warehouses that surround it, the proposals have assumed a uniquely Covent Garden character.



# Relevant Policy

## *NPPF & Camden Local Plan*

### **Camden Local Plan (2017)**

The proposals have been developed in line with Camden Local Plan Policies.

#### ***Policy D1 (Design)***

***The Council will seek to secure high quality design in development***

To guarantee this in a conservation area, the Council will require that the development:

- respects local context and character
- preserves or enhances the historic environment and heritage assets in accordance with Policy D2 Heritage
- comprises details and materials that are of high quality and complement the local character

#### ***Policy D2 (Heritage)***

***The Council will preserve and, where appropriate, enhance Camden's rich and diverse heritage assets and their settings, including conservation areas, listed buildings, archaeological remains, scheduled ancient monuments and historic parks and gardens and locally listed heritage assets***

The council will require that development within conservation areas preserves or, where possible, enhances the character or appearance of the area

### **National Planning Policy Framework**

The design proposals have also had regard for Paragraphs 193-195 of the National Planning Policy Framework which set out the tests for acceptable development within conservation areas.

#### ***Considering potential impacts***

##### ***193.***

When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.

##### ***194.***

Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification. Substantial harm to or loss of:

- a) grade II listed buildings, or grade II registered parks or gardens, should be exceptional;
- b) assets of the highest significance, notably scheduled monuments, protected wreck sites, registered battlefields, grade I and II\* listed buildings, grade I and II\* registered parks and gardens, and World Heritage Sites, should be wholly exceptional

##### ***195.***

Where a proposed development will lead to substantial harm to (or total loss of significance of) a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or total loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply:

- a) the nature of the heritage asset prevents all reasonable uses of the site; and
- b) no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation; and
- c) conservation by grant-funding or some form of not for profit, charitable or public ownership is demonstrably not possible; and d) the harm or loss is outweighed by the benefit of bringing the site back into use.

# Historic Context

## *Terraces & Warehouses*

In order to ensure that the revised designs would enhance the character and appearance of the site's surrounding conservation area, historic context of warehouse development in the site's immediately surrounding area - in terms of scale, street pattern and materiality - was reviewed at an early stage of the design process.



1815  
The area develops a strong vernacular of terraced housing, establishing a rhythm of broadly consistent plot widths and facade proportions

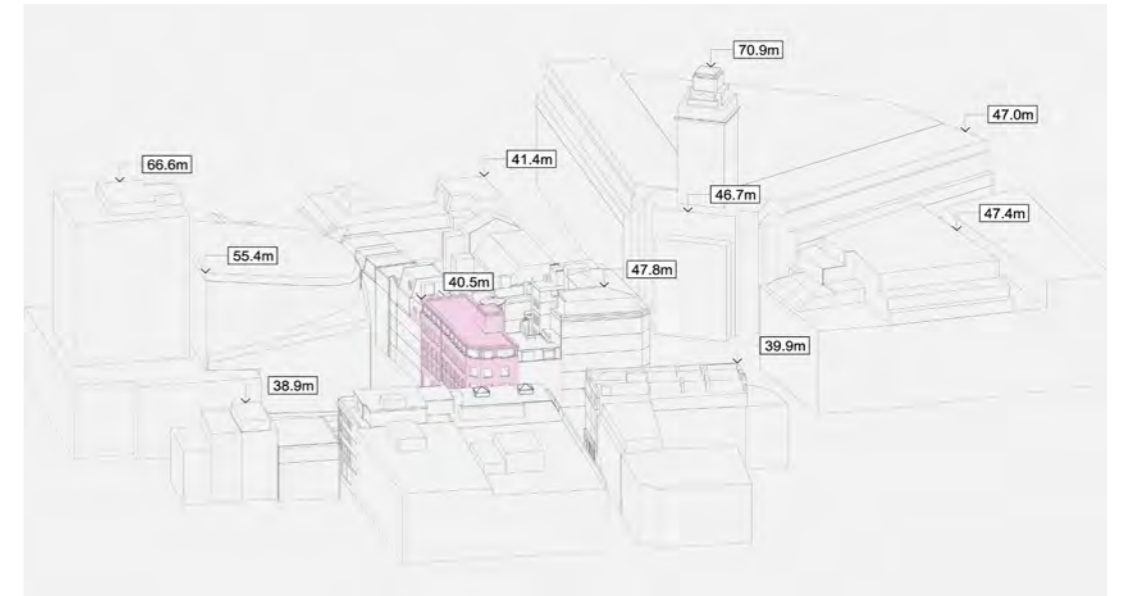


1910  
Smaller plots are replaced with factories, warehouses and lodging. The Freemasons Hall represents a significant redevelopment for the area and several warehouses are constructed serving the Covent Garden Market.

# Historic Images

## Drury Lane in the 1800s

Drury Lane has always enjoyed a dynamic and playful roofscape. From the beginning of the 19th century, articulation of the streetscape accentuated the importance of this historic north-south route.



Existing Roofscape Study: The playful character of the facades and rooflines survive today and has been a key reference point for the proposed design



Little Drury Lane, London - 1833



Nell Gwynn's Lodging 1880



Drury Lane, London - 1884



Drury Lane, London - 1884

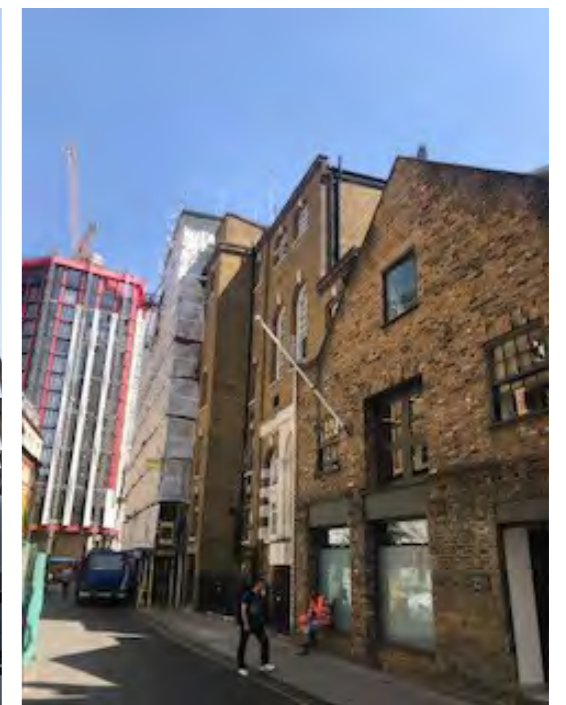


# Seven Dials Character

## *Brick Piers & Punched Openings*

When researching the scales of the façades of warehouse buildings within the Seven Dials Conservation Area it was found that they have a particular identity. They're characterised by robust brick surfaces with restrained openings that reveal the walls' depth and add to the industrial nature of the façades.

The brick piers are wide and the windows don't dominate the facade, creating a substantial feel and quality to the buildings. Arched windows often feature, with their gentle curves softening the otherwise austere buildings.



# Seven Dials Character

## *Chamfered Corners*

Given the site's location on a corner of two streets, it was important that the team reviewed how warehouse buildings in the Covent Garden / Seven Dials area "corner" on street junctions. The review has found that chamfered corners feature heavily in the area. The scale and simplicity of the proposed chamfer and openings continue a strong theme that runs throughout the Covent Garden and Seven Dials conservation areas.

A single facade wraps the junction, rarely deviating as it does so. No distinction is immediately made between two streets of different hierarchy and any change in the facade occurs at either end.



# Shopfronts of Merit

## Contrast & Sills

In order to ensure that the proposed design treated the site's ground floor streetscene appropriately a review of the shopfronts of merit throughout the local area was conducted. The Seven Dials Conservation Area is filled with high quality shop frontage which contributes to the character and vibrancy of the area. This page illustrates a selection of shop fronts which the Conservation Area Statement lists as 'shopfronts of merit' due to their historic or architectural contribution.

A refurbishment of the site provides an opportunity to enhance the shop frontage to provide a more engaging street presence. The shopfront design should include an appropriate mix of the qualities listed below to provide a positive contribution to the Conservation Area.

Identified common qualities of the 'shopfronts of merit' include but are not limited to:

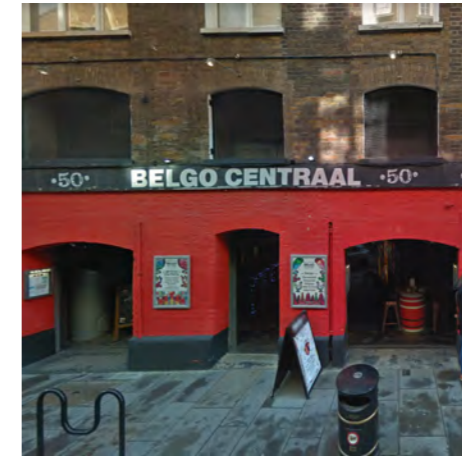
- Preference for well-proportioned glazing as opposed to full height glazing
- A mix of vibrant and traditional colours appropriate for the use, heritage or architectural style
- Planting or awnings/canopies above primary frontage to announce the start of the central portion of the building
- Clear banding at the top and bottom of the shopfront
- Subdivision of panels with glazing bars/mullions/transoms within banding zones to create a strong central portion to the shop front
- Preference for traditional timber panelling to form the lower band of shopfront



01 5 Earlham Street



02 24 Earlham Street



03 50 Earlham Street



04 33 - 34 Great Queen Street



05 14 Monmouth Street



06 61 - 65 Monmouth Street



07 49 Neal Street



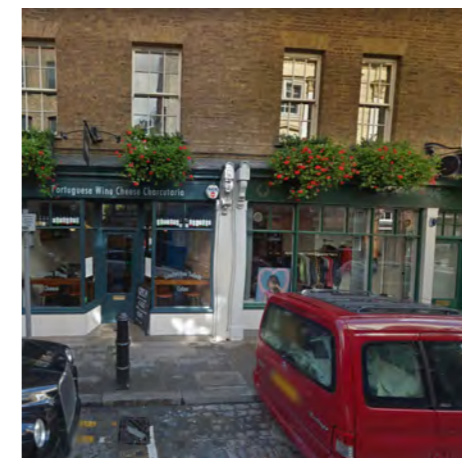
08 62 - 64 Neal Street



09 1 - 3 Shelton Street



10 11 - 15 Shelton Street



11 4 - 8 Shorts Gardens



12 41 Shorts Gardens