

Application ref: 2018/1857/P
Contact: Samir Benmbarek
Tel: 020 7974 2534
Date: 7 September 2018

Development Management
Regeneration and Planning
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Town Hall
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Xeva Design Ltd
Studio 21
497 Sunleigh Road
Wembley
HA0 4LY

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:

**108 Gloucester Avenue
London
NW1 8HX**

Proposal:

Erection of extension to existing two storey rear extension on lower and upper ground floor levels to residential building

Drawing Nos: Unnumbered OS Extract; XEVA/108GA: 101A; 102A; 103A; 104A; 105A; 106A; 107A; 108A; 109A; 201A; 202A.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans: Unnumbered OS Extract, XEVA/108GA: 101A; 102A; 103A; 104A; 105A; 106A; 107A; 108A; 109A; 201A; 202A.

Reason: For the avoidance of doubt and in the interest of proper planning.

Informative(s):

- 1 Reasons for granting permission:

The proposed two storey rear extension (to an existing extension) is considered to be subordinate to the host building in terms of its form, size and proportions. It would extend the existing rear closet wing by a further 1.5m resulting in a total depth of 5.2m for the combined extensions from the original rear wall. The new terminating depth follows that of neighbouring rear extensions along the terrace, in which the depth of the host building's extension is considered modest.

The proposed extension would be constructed from stock brick with a flat roof. Its detailed design would be of the same manner as the neighbouring rear extensions (and the existing extension of the application building). Therefore, the overall design of the proposal is considered appropriate in relation to the host building and surrounding Primrose Hill Conservation Area.

Due to the extensions size, height, location and adjoining residential units being located on the upper floors of the application and neighbouring buildings, there would be negligible harm to the amenity of adjoining residential occupiers.

No objections were received prior to making this decision. The application site's planning history and relevant appeal decisions were taken into account when coming to this decision.

Considerable importance and weight has been paid to the desirability of preserving and enhancing the character and appearance of the conservation area under s.72 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013.

As such, the proposed development is in general accordance with policies A1, D1 and D2 of the London Borough of Camden Local Plan 2017. The proposed development also accords with the London Plan 2016 and the National Planning Policy Framework 2018.

- 2 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours

Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Noise and Licensing Enforcement Team, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (Tel. No. 020 7974 4444 or search for 'environmental health' on the Camden website or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

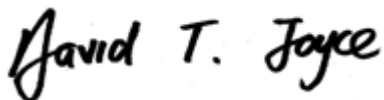
- 3 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

A handwritten signature in black ink that reads "David T. Joyce". The signature is written in a cursive, slightly slanted style.

David Joyce
Director of Regeneration and Planning