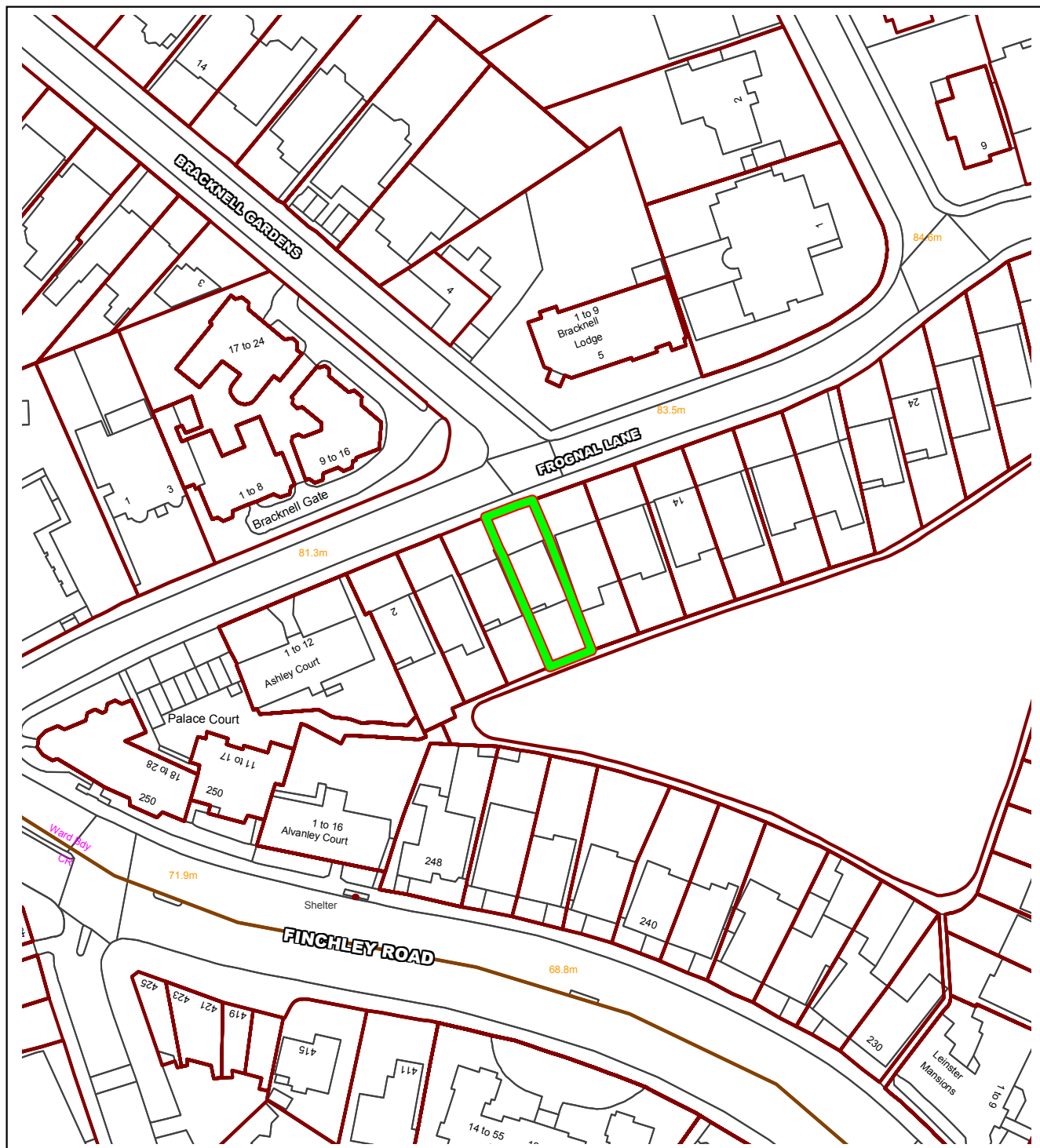


Flat A, Lower Ground Floor, 8 Frognal Lane, NW3 7DU



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1. Rear Elevation



2. Rear Elevation facing 6 Frogmal Lane



3. Rear Elevation facing 10 Froggnal Lane

Delegated Report (Members Briefing)		Analysis sheet		Expiry Date:	05/04/2019
		N/A		Consultation Expiry Date:	10/03/2019
Officer			Application Number(s)		
Alyce Keen			2019/0485/P		
Application Address			Drawing Numbers		
Flat A, Lower Ground Floor 8 Frognal Lane London NW3 7DU			Refer to decision notice.		
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature		
Proposal(s) Erection of a single storey rear extension with raised timber deck terrace to the lower ground floor flat (Class C3).					
Recommendation(s):		Granted planning permission			
Application Type:		Full Planning Permission			

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
Consultations						
Adjoining Occupiers:	No. notified	00	No. of responses	05	No. of objections	05
Summary of consultation responses:	<p>Site Notice – 13/02/19 – 09/03/19. Press Advert – 14/02/19 – 10/03/19.</p> <p>Five objections have been received from local residents and their comments are summarised below:</p> <ul style="list-style-type: none">• The extension would have an adverse effect on the visual amenity of the area as a whole.• The visual impact of the proposed built will affect the character of the conservation area.• The proposed extension would be facing at a very close distance my kitchen window to obstruct the quantity of daylight entering into the room and sunlight and daylight are valued elements in a good quality living environment. <p><u>Officers Response:</u> <i>The proposed extension is considered acceptable in terms of design and amenity which is detailed in the assessment section below. For further details, please refer to paragraphs 2.5 and 2.10 below.</i></p>					
CAAC/Local groups comments: - Redington/Frognal CAAC	The Redington/Frognal CAAC was consulted however no comments was received.					

Site Description

The site is located on the southern side of Frogna Lane and contains a three-storey detached property. The property has four flats. Access to the lower ground floor flat is via the steep steps on the side of the property. There is a significant drop between the front garden level and the rear garden level of the property.

The dwelling is not a listed building however it is identified as making a positive contribution in the Redington and Frogna conservation area.

Relevant History

2011/0165/P - Renewal of planning permission granted on 26 February 2008 (ref:2007/6036/P) for (Additions and alterations including excavation of front lightwell, new stairs and porch, part excavation of lower ground floor level, and rear single storey extension, all in connection with the creation of additional residential accommodation to lower ground floor flat). Renewal of planning permission granted 01/06/2011.

2007/6036/P - Additions and alterations including excavation of front lightwell, new stairs and porch, part excavation of lower ground floor level, and rear single storey extension, all in connection with the creation of additional residential accommodation to lower ground floor flat. Planning permission granted 26/02/2008.

P9601999R3 - Erection of rear addition at lower ground and ground floor level including the provision of balconies at the three upper levels, together with excavations and alterations to the front of the property to form a front basement area, and the alteration of a dormer window in the eastern roof slope. Grant planning permission 15/11/1996.

8600928 - Installation of a new window at second floor level as shown on drawing nos. P2 3 3a. Granted planning permission 31/07/1986.

F5/9/28/28449 - Continued use as three self-contained flats and the retention of works. Granted planning permission 13/07/1979.

F5/9/28/32778 - Alterations to form additional bed-sit flat in the basement. Refused planning permission 19/10/1981.

Relevant policies

The National Planning Policy Framework (2019)
The London Plan (2016)

Camden Local Plan (2017)

D1 Design

D2 Heritage

A1 Managing the impact of development

Camden Planning Guidance

CPG Design (2019)

CPG Amenity (2018)

Redington and Frogna conservation area appraisal and management strategy 2000

Assessment

1. Proposal

1.1. The proposal is for the erection of a single storey rear extension with raised timber deck terrace to the lower ground floor flat (Class C3). The extension would be full width (9.14m), have a depth of approximately 3.5m and height of 3.2m (5m in height from natural ground level). The raised deck area would have a height of approximately 1.9m above natural ground level.

1.2. The main issues are:

- Design and Heritage
- Amenity

2. Assessment

2.1. *Design and Heritage*

2.2. The Council's design policies are aimed at achieving the highest standard of design in all developments, including where alterations and extensions are proposed. The Local Plan policy D1 (Design) requires development to be of the highest architectural and urban design quality which improves the function, appearance and character of the area. Policy D2 (Heritage) states that the Council will preserve, and where appropriate, enhance Camden's rich and diverse heritage assets and their settings, including conservation areas. Camden's Local Plan Document is supported by CPG1 (Design).

2.3. The property forms part of a group of detached red brick houses with gables, dating from the late 19th Century and situated in the Redington and Frognal Conservation area. This conservation area occupies an area of sloping land to the west and south west of the historic centre of Hampstead village. It forms a well-preserved example of a prosperous late 19th Century and Edwardian residential suburb. The houses are predominantly large detached and semi-detached and display a range of formal and free architectural styles typical of the last years of the 19th Century and early years of the 20th Century.

2.4. The application seeks to erect a single storey rear extension with raised timber deck terrace to the lower ground floor flat and follows the footprint of a historical permission from 2007 (2007/6036/P), which was not implemented.

2.5. It is noted that there is little uniformity to the rear of the group. The proposed extension would be subordinate to the main house, set at lower ground floor level and constructed in red brick with timber framed doors to match the host building. It would serve to preserve the character and appearance of the conservation area, in compliance with Local Plan Policy D2.

2.6. Special regard has been attached to the desirability of preserving or enhancing the conservation area, under s.72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013.

2.7. The proposed development is in general accordance with policies D1 and D2 of the Camden Local Plan 2017.

2.8. *Amenity*

2.9. Policy A1 of the Local Plan seeks to ensure that development protects the quality of life of occupiers and neighbours by only granting permission to development that would not harm the amenity of neighbouring residents. This includes privacy, outlook, noise and impact on daylight and sunlight. Camden's Local Plan is supported by CPG (Amenity).

2.10. The proposed rear extension would have a maximum depth of 3.5m and would span the rear of the building. While the height of the extension is 3.2m, as the ground behind the house falls away, the roof of the extension would be 5m above garden level. The proposed rear extension would project 2.6m beyond the rear of no.6 and would be set approximately 1m away from that property. Therefore, it would unlikely to have a significant impact on the residential amenities of that property resulting in loss of daylight and outlook. The proposed rear extension would be in line and setback by 2 metres with the existing rear extension of no.10. No windows are proposed on the side elevation of the extension. The proposed extension would have a marginal impact on the daylight reaching the side window of the extension at no.10 Frognal Lane. This is considered acceptable as it is not the sole window that serves this habitable room.

2.11. The raised deck area is 1.9m above natural ground level and would be accessible from the rear garden and within the proposed rear extension. Many of neighbouring properties have raised deck areas, terraces or

balconies at the rear. The flat above (at ground floor level) has a terrace and the property currently has an existing raised terrace at lower ground floor level. The rear of the properties in this part of Frognal Lane generally have high boundary treatments therefore the proposed deck area is not likely to harm the privacy currently enjoyed by the occupiers of the neighbouring properties.

3. Conclusion

Given the design, size and siting of the proposed rear extension and the design pattern of the existing rear extensions at the neighbouring properties, the proposal would not likely to have a harmful impact on the character of the Conservation Area or the amenities of the neighbouring properties.

3.1. **Recommendation:** Grant conditional Planning Permission

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 15th April 2019, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2019/0485/P
Contact: Alyce Keen
Tel: 020 7974 1400
Date: 9 April 2019

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE

Phone: 020 7974 4444

planning@camden.gov.uk
www.camden.gov.uk

Mr Andrew Kirk
51 Cranley Gardens
Muswell Hill
London
N10 3AG

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:

Flat A
Lower Ground Floor
8 Frognal Lane
London
NW3 7DU

DECISION

Proposal:

Erection of a single storey rear extension with raised timber deck terrace to the lower ground floor flat (Class C3).

Drawing Nos: 7395 / 100 A; 7395 / 101 A; Design & Access Statement prepared by MDC dated January 2019.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans:
7395 / 100 A; 7395 / 101 A; Design & Access Statement prepared by MDC dated January 2019.

Reason: For the avoidance of doubt and in the interest of proper planning.

- 4 All new materials associated with this proposal shall be in accordance with the below:
 - brickwork shall match the brickwork of the main house
 - fenestration shall be timber; and
 - the new balustrades and railings are to be metal, painted black

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Noise and Licensing Enforcement Team, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (Tel. No. 020 7974 4444 or search for 'environmental health' on the Camden website or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2019.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Director of Regeneration and Planning

DRAFT

DECISION