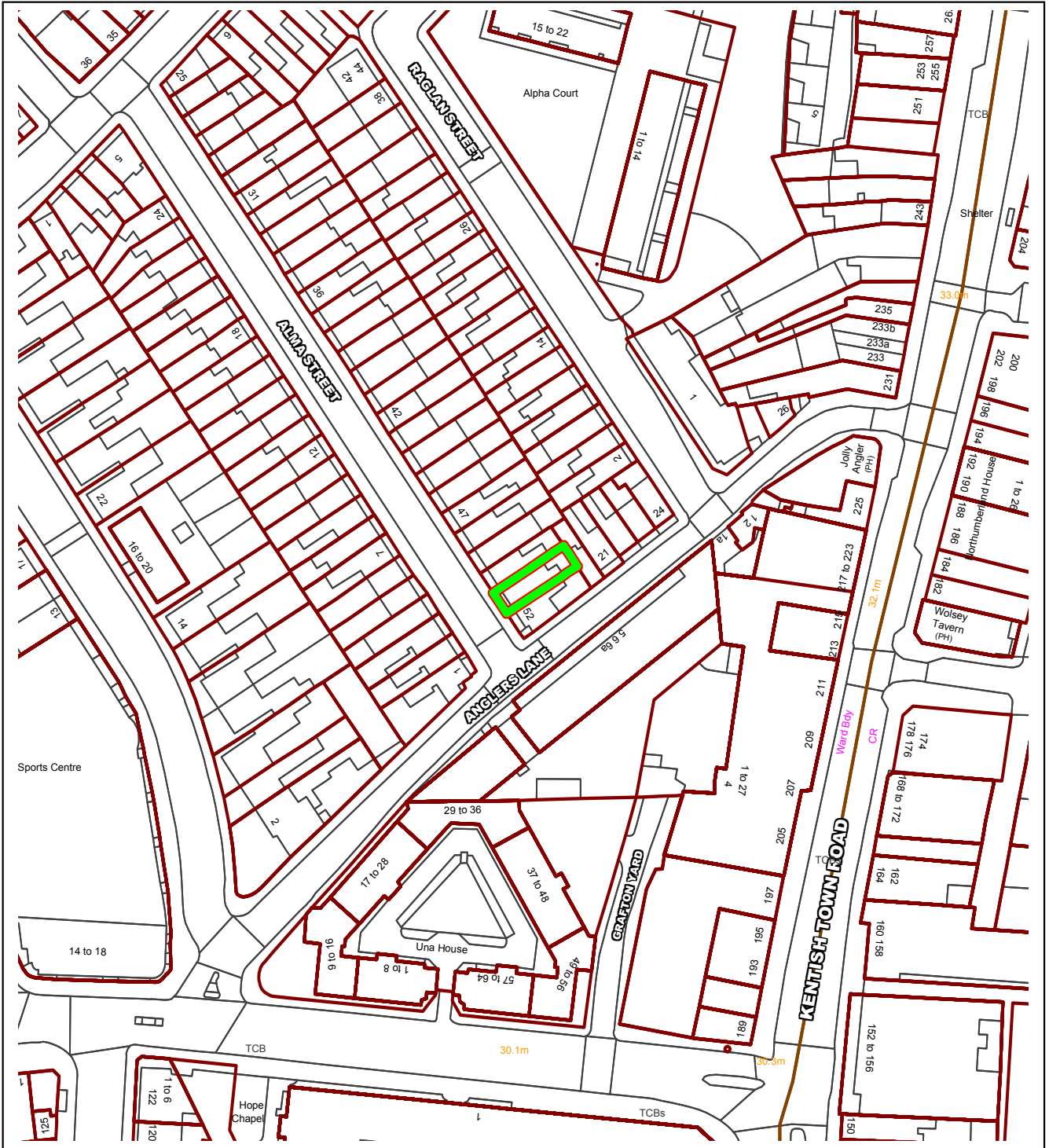


51 Alma Street, London, NW5 3DH



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1. Rear Elevation view from Anglers Lane



2. Rear Elevation



3. View from existing first floor terrace to Anglers Lane



4. View from existing first floor terrace to Alma Cottage



5. View from existing first floor terrace to 50 Alma Street

Delegated Report		Analysis sheet		Expiry Date:		04/04/2019	
(Members Briefing)		N/A		Consultation Expiry Date:		07/04/2019	
Officer				Application Number(s)			
Alyce Keen				2019/0756/P			
Application Address				Drawing Numbers			
51 Alma Street London NW5 3DH				Refer to draft decision notice.			
PO 3/4		Area Team Signature		C&UD		Authorised Officer Signature	
Proposal(s)							
Erection of ground and first floor extensions to the rear.							
Recommendation(s):		Grant planning permission					
Application Type:		Householder Application					

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
Consultations						
Adjoining Occupiers:	No. notified	00	No. of responses	03	No. of objections	03
Summary of consultation responses:	<p>Site Notice – 08/03/2019 – 01/04/2019. Press Advert – 14/03/2019 – 07/04/2019.</p> <p>Three objections were received from local residents on the grounds outlined below:</p> <ul style="list-style-type: none"> - The size and proximity to Alma Cottage of the proposed 1st floor window which will overlook the Cottage’s unique private garden as it will be closer to the boundary wall with Alma Cottage. - The colour and material proposed for the cladding which gives the appearance of a ‘black box’ which is unsympathetic to the existing rear London Stock brickwork of the terrace and therefore stands out as dominant and obtrusive. - The extension threatens that privacy in nature and design being that much closer to the boundary wall and impacting both the garden and views from Alma Cottage’s 1st and 2nd floors. - Overlooking and whether sunlight will be blocked or time restricted by proposed extension. - Damage to party walls as the ground floor extension is built. - Construction period, hours and noise. <p><u>Officers Response:</u> <i>The grounds raised above are addressed in the assessment section below, 2.6 and 2.10.</i></p>					
CAAC/Local groups comments: - Kentish Town Neighbourhood Forum	Kentish Town Neighbourhood Forum was consulted for this application however they advised they do not have any comments in response to the proposal.					

Site Description

The application property is a two storey terraced house with a historic roof extension on the eastern side of Alma Street.

The building is identified as making a positive contribution within the Inkerman Conservation Area.

Relevant History

8802042 – Erection of roof extension with roof terrace in front for residential purposes as shown on drawing no.A04A. Granted planning permission 27/04/1988.

Neighbouring properties

No. 38 - PEX0100219 - The erection of a single storey ground floor rear glazed extension and a part two storey part single storey rear extension – granted - 29/05/2001

No. 39 - 2011/6201/P - Erection of a two storey rear extension to existing dwelling house (Class C3) – granted - 26/03/2012.

No. 44 - 2008/2702/P - Erection of a two storey rear extension to single family dwellinghouse – granted - 09/09/2008

No. 49 - 2010/0734/P - Alterations and extensions including erection of a part single, part two storey rear extension to existing dwelling (Class C3) – allowed on appeal - 23/09/2010

Relevant policies

The National Planning Policy Framework (2019)

The London Plan (2016)

Camden Local Plan (2017)

D1 Design

D2 Heritage

A1 Managing the impact of development

Camden Planning Guidance

CPG Design (2019)

CPG Amenity (2018)

Inkerman Conservation Area Statement 2001

Assessment

1. Proposal

1.1. The proposal is for the erection of ground and first floor extensions to the rear of the single family dwellinghouse. The ground floor extension is full width, a depth of 5m and height of 3.08m. The first floor extension has a width of 2m, depth of 4m and height of 5.73m. The first floor extensions also contains a green roof.

1.2. The main issues are:

- Design and Heritage
- Amenity

2. Assessment

2.1. *Design and Heritage*

2.2. The Council's design policies are aimed at achieving the highest standard of design in all developments, including where alterations and extensions are proposed. The Local Plan policy D1 (Design) requires development to be of the highest architectural and urban design quality which improves the function, appearance and character of the area. Policy D2 (Heritage) states that the Council will preserve, and where appropriate, enhance Camden's rich and diverse heritage assets and their settings, including conservation areas. Camden's Local Plan Document is supported by CPG1 (Design).

2.3. The property forms part of a long terrace of two storey mid-19th Century stock brick cottages with deep stucco parapets situated in the Inkerman Conservation Area. This Conservation Area forms a dense and homogenous environment in the heart of Kentish Town. The prevailing character is residential and the majority of the buildings were built in the 1850s and 1860s.

2.4. The application seeks to remove the existing rear ground floor extension and erect a rear ground and first floor extensions with two obscured rooflights. At ground floor, the materials proposed are facing brick and glazing and at first floor, it is proposed to clad the extension in charred timber.

2.5. It is noted that there is no uniformity to the rear elevations along Alma Street, and first floor extensions with wrap around elements at ground floor (as proposed in this application) are common. It is also noted that a very similar extension was granted approval at 15 Alma Street in 2014 (2014/6670/P). In the delegated report for that application, the case officer referred to consent being granted for very modern extensions of similar proportions at no.39 Alma Street (2011/6201/P), no.13 Alma Street (2012/6436/P) and no. 15 Alma Street (2013/1611/P). It was also noted that despite the proposed extension being of a more modern design than the host building, its size and mass were subordinate and because the bulk was confined to the lower level, the overall visual impact was minimal. An appeal at 49 Alma Street was also allowed for the erection of a part single, part two storey rear extension with the first floor extension being full width (2010/0734/P) in 2010. For the same reasons, and because of the altered character of the rear elevations of a large proportion of other buildings in the group, it is considered that the massing of the proposal would be in keeping with the surrounding context and would not cause harm to the character and appearance of the conservation area, as required by Local Plan Policy D2.

2.6. The contemporary design is complementary to the historic building and the wider built context. The first floor extension has been revised to be brought in slightly from the side of 52 Alma Street. The brickwork has also been conditioned to match the existing and full details of the fenestration to be provided. The details of the green roof would be secured by condition.

2.7. Special regard has been attached to the desirability of preserving or enhancing the conservation area, under s.72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013.

2.8. The proposed development is in general accordance with policies D1 and D2 of the Camden Local Plan 2017.

2.9. *Amenity*

2.10. Policy A1 of the Local Plan seeks to ensure that development protects the quality of life of occupiers and neighbours by only granting permission to development that would not harm the amenity of neighbouring residents. This includes privacy, outlook, noise and impact on daylight and sunlight. Camden's Local Plan is supported by CPG (Amenity).

2.11. Given that both adjoining properties have extensions at lower levels and given the modest size and depth of the upper floor extension, the proposal is not expected to result in any significant loss of amenity for neighbours in terms

of loss of light or increased sense of enclosure.

2.12. In terms of privacy, given that the proposed extension only features a window the rear elevation, it is considered the proposal would be of no greater detriment to the surrounding occupiers than the building's existing arrangement. The applicant has proposed that the window will be obscure glazed though for the privacy of the occupiers.

Recommendation: Grant conditional Planning Permission

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 15th April 2019, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2019/0756/P
Contact: Alyce Keen
Tel: 020 7974 1400
Date: 10 April 2019

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
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1A Muswell Hill
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LONDON
N10 3TH
United Kingdom

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Householder Application Granted

Address:
51 Alma Street
London
NW5 3DH

Proposal:
Erection of ground and first floor extensions to the rear.

DECISION

Drawing Nos: 01; 02; 100; 101; 102; 104; 105; 106; 200; 201; 202; 204; 205; 206; 207; 208;
209.

Design & Access Statement prepared by Crawford Partnership dated February 2019.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans:
01; 02; 100; 101; 102; 104; 105; 106; 200; 201; 202; 204; 205; 206; 207; 208; 209.
Design & Access Statement prepared by Crawford Partnership dated February 2019.

Reason: For the avoidance of doubt and in the interest of proper planning.

- 4 All new materials associated with this proposal shall be in accordance with the below:
- brickwork shall match the brickwork of the main house

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 5 Before the relevant part of the work is begun, detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority:

a) Details including sections at 1:10 of all windows (including jambs, head and cill);

b) Manufacturer's specification details of all fenestration (to be submitted to the Local Planning Authority) and samples of those materials (to be provided on site).

The relevant part of the works shall be carried out in accordance with the details thus approved and all approved samples shall be retained on site during the course of the works.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 6 Prior to commencement of development, full details in respect of the living roof in the area indicated on the approved roof plan shall be submitted to and approved by the local planning authority. The details shall include
- i. a detailed scheme of maintenance
 - ii. sections at a scale of 1:20 with manufacturers details demonstrating the construction and materials used [for large areas of green roof add in : and showing a variation of substrate depth with peaks and troughs]
 - iii. full details of planting species and density

The living roofs shall be fully provided in accordance with the approved details prior to first occupation and thereafter retained and maintained in accordance with the approved scheme.

Reason: In order to ensure the development undertakes reasonable measures to take account of biodiversity and the water environment in accordance with policies G1, CC1, CC2, CC3, D1, D2 and A3 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Noise and Licensing Enforcement Team, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (Tel. No. 020 7974 4444 or search for 'environmental health' on the Camden website or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2019.

You can find advice about your rights of appeal at:
<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Director of Regeneration and Planning