

99 Priory Road

Basement Impact Assessment_ Addendum November 2018

Ref: 925/01

GL & SS Ltd
Consulting Structural Engineers
19 Britton Street
London
EC1M 5NZ
020 7490 3446

Contents

- 1. Introduction 3**
- 2. Architects Proposal 4**
- 3. Engineering Proposal 6**

1. Introduction

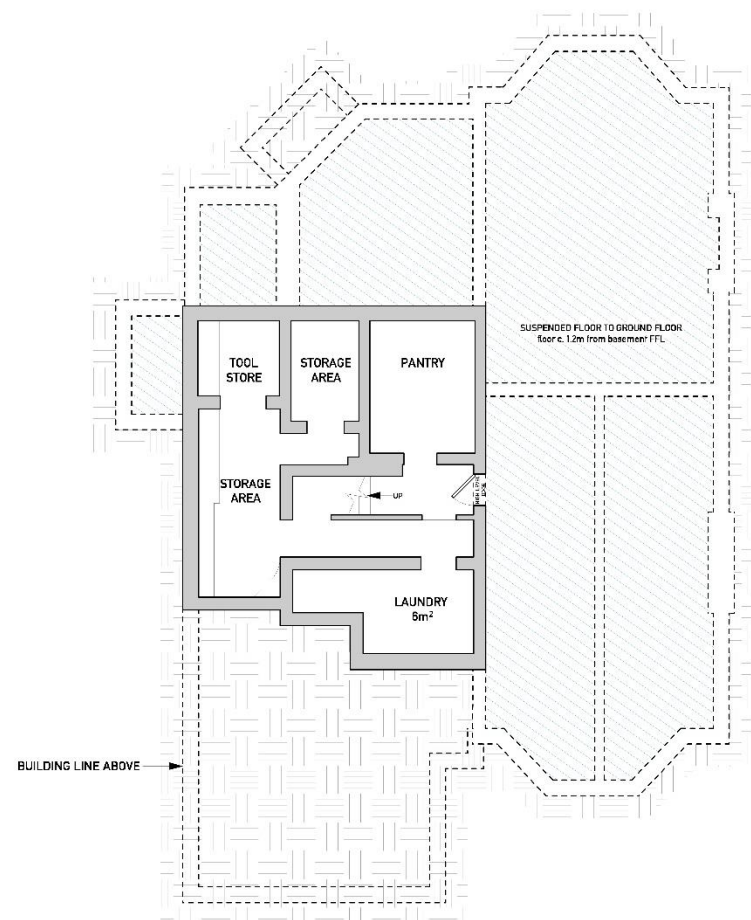
A Basement Impact Assessment BIA (prepared by Barratt Mahoney Engineers BME) was submitted on the site for an earlier planning application in 2016 (BME reference L14802-RP-01) and is referenced here.

The BME BIA supported a substantial basement construction of approximately 250 m². Full Site Screening, Site Investigations and Temporary Works Proposals were presented in accordance with the detail recommendations of the ARUP Camden Guidance for Subterranean Development (2015).

A revised basement proposal of approximately 10m² is now proposed. This revised proposal is single level and over 3m from the site boundary.

This document serves as an addendum to the BME report L14802-RP-01 and demonstrates how the revised basement proposal can be erected without compromising adjoining owner stability.

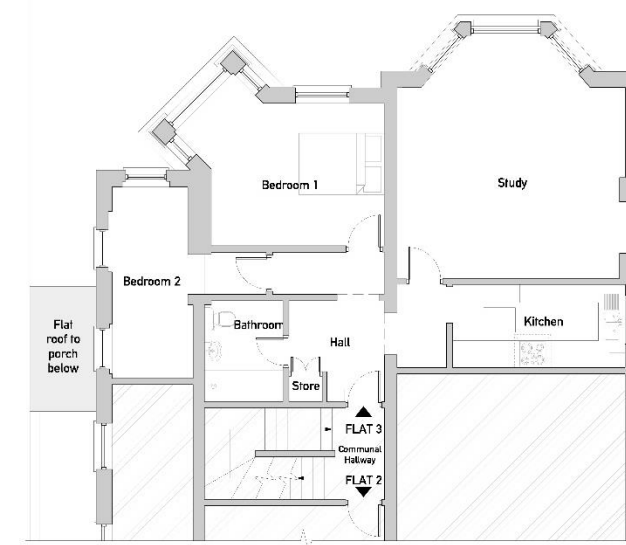
2. Architects Proposal



-1 EXISTING BASEMENT PLAN
Scale: 1:100



0 EXISTING GROUND FLOOR PLAN
Scale: 1:100



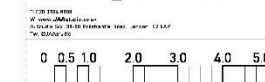
1 EXISTING FIRST FLOOR PLAN
Scale: 1:100

PLANNING

General Notes
1. Do not use orange
2. All dimensions are in millimetres unless otherwise stated
3. All dimensions shall be taken as shown on drawings with such
4. For reasons of safety and security, all doors shall be fire rated
5. All doors shall be self-closing
6. All doors shall be fire rated
7. All doors shall be fire rated
8. All doors shall be fire rated
9. All doors shall be fire rated
10. All doors shall be fire rated

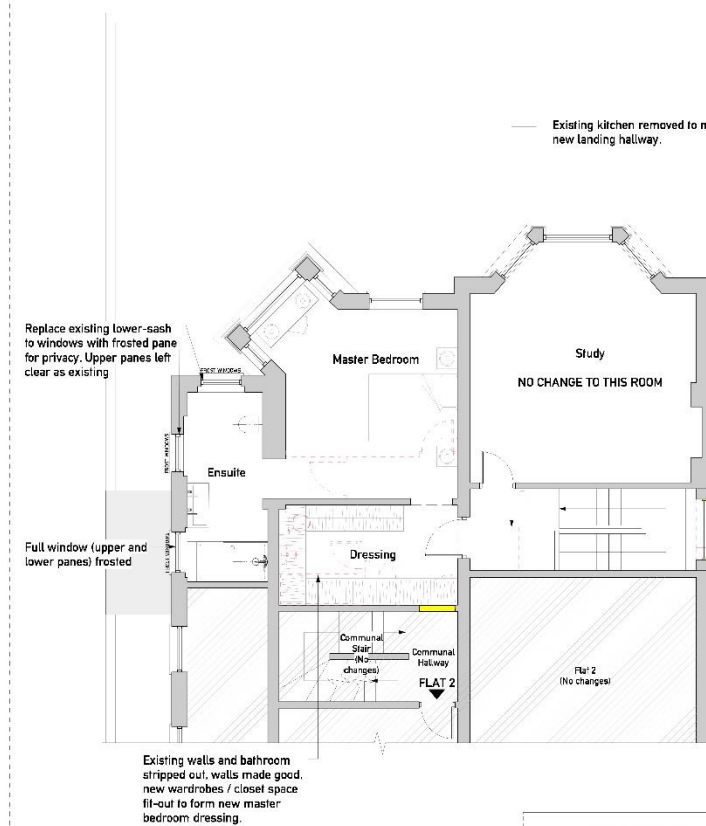
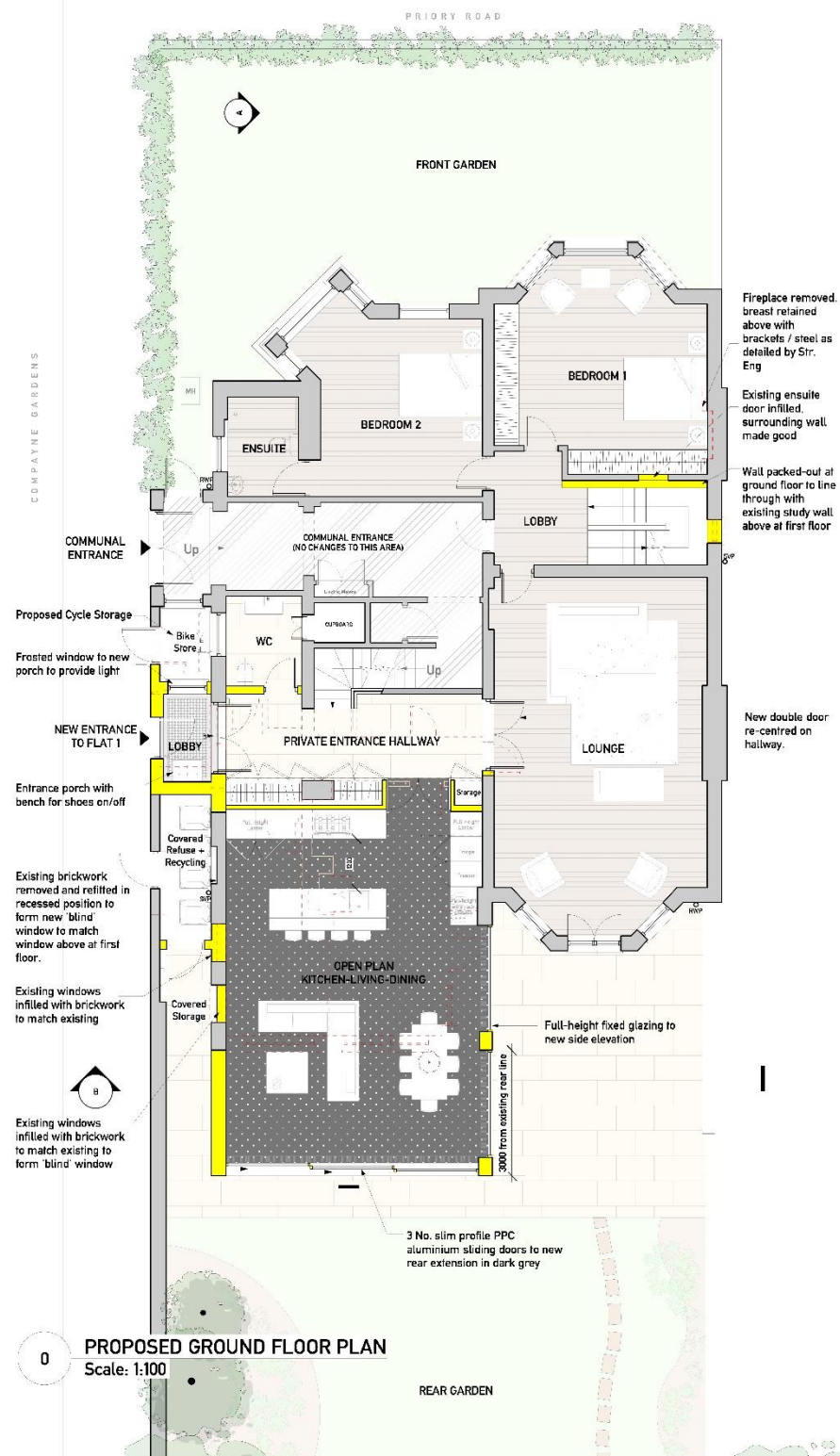
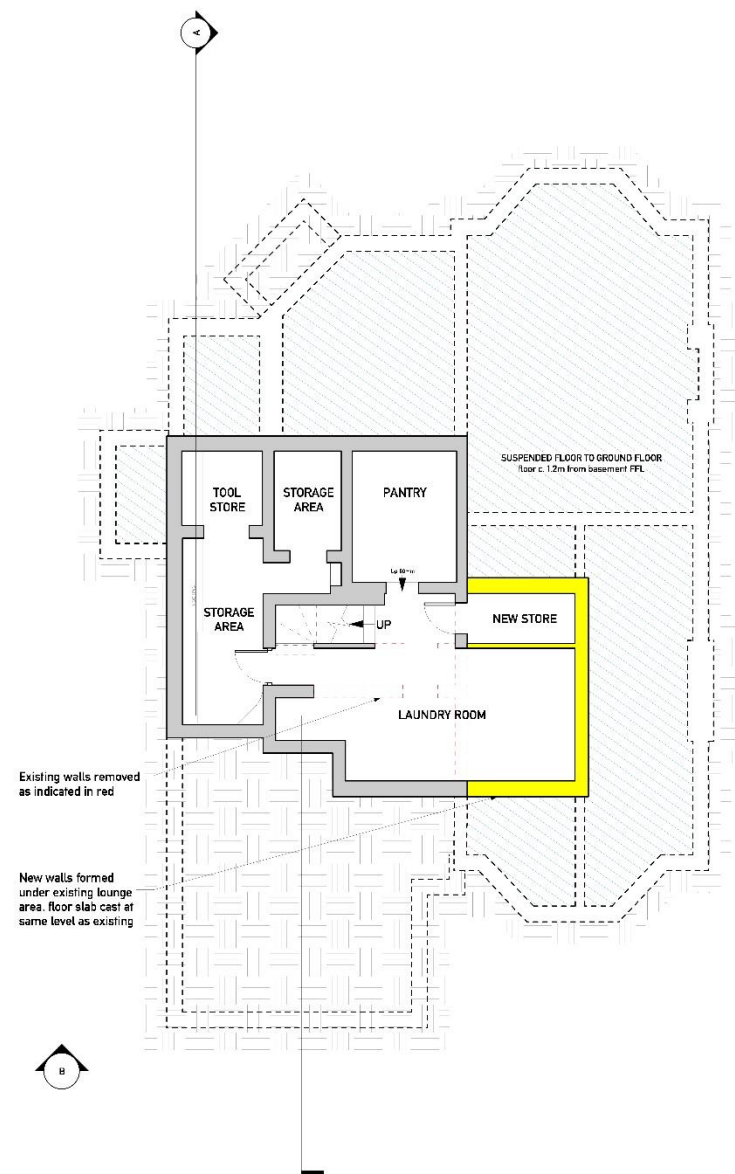
Rev	Description	Date
A	Issued for Planning	16.09.18
1	Client approval	26.07.18

JAA



Drawing: EXISTING BASEMENT, GROUND & FIRST FLOOR PLANS

Project No. 115	Project Title 99 PRIORY ROAD	Scale 1:100 @ A2	Drawing No. 2001	Rev A
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PLANNING

General Notes:
1. All work shall comply with the Building Regulations.
2. All work shall be carried out in accordance with the Building Regulations.
3. All work shall be carried out in accordance with the Building Regulations.
4. All work shall be carried out in accordance with the Building Regulations.
5. All work shall be carried out in accordance with the Building Regulations.
6. All work shall be carried out in accordance with the Building Regulations.
7. All work shall be carried out in accordance with the Building Regulations.
8. All work shall be carried out in accordance with the Building Regulations.

Rev	Description	Date
B	Issued for planning	14.09.18
A	Revised location of Open Store	23.07.18
1	Issued for discussion	10.07.18

JAA

0 0.5 1.0 2.0 3.0 4.0 5.0m

Drawing: PROPOSED BASEMENT, GROUND & FIRST FLOOR PLANS

Project No. 115	Project Title 99 PRIORY ROAD	Scale 1:100 @ A2	Drawing No. 2002	Rev B
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3. Engineering Proposal

