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# 68 Highgate Road London NW5 1PA

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TITLE:  
Heritage Statement

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## 68 HIGHGATE ROAD, LONDON NW5 1PA



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## 1.0

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## INTRODUCTION

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- 1.1 This Heritage Statement has been produced to accompany part retrospective applications for planning permission and listed building consent at 68 Highgate Road, London .
- 1.2 No.68 Highgate Road is located in the Dartmouth Park Conservation Area and is Grade II listed. In line with paragraph 189 of the National Planning Policy Framework, the purpose of this statement is to define the significance of the listed building and its contribution to the conservation area. It will describe the proposals for the building as well as the works that have already been undertaken and assess their impact on the special architectural and historic interest of the listed building and the character and appearance of the surrounding conservation area. If harm is identified, the statement will identify any required mitigation works.
- 1.3 This statement has been produced using desk based, online and archive research, combined with a visual inspection of the site and wider area. Consideration has been given to the relevant national and local planning policy framework as well as an analysis of the building, site and surrounding context.
- 1.4 The proposed works to the building consist of:
- Construction of a single storey rear addition at ground floor level;
  - Installation of Crittal glazing to the apertures in the rear ground floor elevation;
  - Replacement of the existing concrete roof tiles with slates;
  - Replacement of existing fascia boards on a like for like basis and installation of black metal guttering and downpipes.

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## 1.0

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## INTRODUCTION

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### 1.5

A series of internal and external works have been undertaken to the building without the benefit of listed building consent. The scope of these works is laid out in detail at section 7 of this Statement. A site visit by Camden Council's Enforcement Officer Hardev Singh took place on 26 June 2018, followed by a site visit on 2 August by Alfie Stround and Alyce Keen and then a further site visit on 24 September undertaken by Charlotte Meynell and Colette Hatton. The work has now ceased on site.

## 2.0

## SITE AND SURROUNDINGS

### 2.1

The following section provides an overview of the location and context of no.68 Highgate Road and an outline description of the exterior and interior parts of the building that have been, and will be affected by the proposals.

### 2.2

The application site is a three storey single family dwelling house and forms part of a small group of mid 19<sup>th</sup> century houses on the eastern side of Highgate Road. This is a main arterial route which runs in a north westerly direction from Kentish Town towards Highgate, terminating at the junction of Swains Lane and Highgate West Hill.

### 2.3

Nos.68 and 70 Highgate Road were Grade II listed on 14 May 1974. The description indicates that the buildings were listed for group value and reads as follows:

*"2 semi-detached houses. Early C19. Yellow stock brick with rusticated stucco ground floors. Hipped roofs with projecting eaves, No.68 tiled, No.70 slated. Central slab chimney-stack. 3 storeys. Each with 1 window and 1 window recessed entrance bay. Square-headed doorways with overlights and C20 panelled doors; No.68 with prostyle portico. Architraved sashes, 1st floors with console bracketed cornices; No.70 with glazing bars. Both with recessed rectangular panel at 2nd floor level on entrance bays. INTERIORS: not inspected."*

### 2.4

To the south are a further pair of Grade II listed semi-detached houses at nos.64 and 66 Highgate Road. These buildings were listed on 14 May 1974 and the description reads as follows:

*"2 semi-detached houses. Early C19. Yellow stock brick, No.66 with stucco dado. Slated roofs with projecting eaves. 3 storeys. No.64, double fronted with 3 windows (central windows blind); No.66 with single window projecting bay and single window entrance bay to left. No.64: round-arched doorway with patterned fanlight and panelled door. Gauged brick flat arches to recessed sashes. SUBSIDIARY FEATURES: attached cast-iron railings with urn finials. No.66: square-headed doorway with overlight and panelled door. Ground floor sash round-arched; upper floors, gauged brick flat arches. INTERIORS: not inspected."*

## 2.0

## SITE AND SURROUNDINGS

## 2.5

The listing description is not intended to provide an inventory of all of the features of interest within the building nor does it define its architectural or historic significance. A key factor in the listing of buildings of this age and type is their external architectural composition and role in the development and history of an area. It will be demonstrated that in this case the architectural value of the terrace's front facade and its contribution to the overall townscape of Highgate Road and the surrounding conservation area are some of its most significant features. The listing description makes no explicit reference to the interior of the building or to any significant internal features.

## 2.6

The application site is located in the Dartmouth Park Conservation Area which was first designated on 4 February 1992. This part of Highgate Road was originally designated as part of the Highgate Village Conservation Area on 1 November 1985 but was transferred to the Dartmouth Park Conservation Area in 1992.

## 2.7

The Dartmouth Park Conservation Area Appraisal and Management Strategy was adopted by the Council on 22 January 2009 and provides a description of the character and appearance of the area. Highgate Road is situated in sub area 1. The appraisal describes the area at paragraphs 7.3 and 7.4:

*"Undoubtedly Highgate Road dominates this sub area's character and appearance with its mix of uses and building types. Unlike other parts of the conservation area there is more of a commercial feel to the sub area due to the ground floor shops and other commercial activities. This leads to much more activity during the day and to a lesser extent in the evening."*

*"As the Highgate Road is one of the oldest streets in the area this is reflected in the built form which features many fine 18th Century Georgian terrace houses. Development took place in an ad hoc manner and this is clearly seen in the age and styles of building that have sprung up along the road. Although differing in terms of their design the buildings are linked by many common themes such as materials and plot width which gives the street an informal character."*

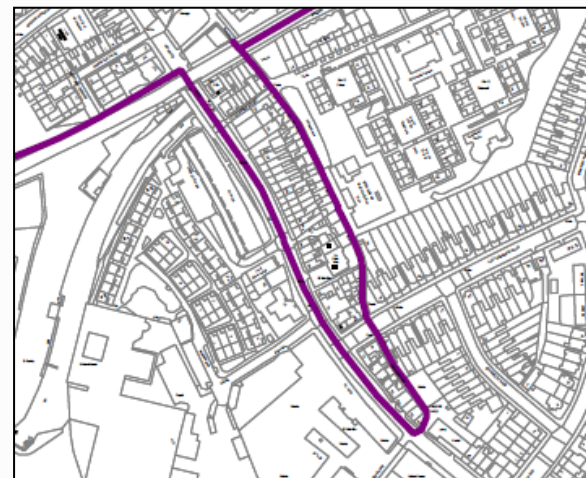


Fig 1 The southern section of the Dartmouth Park Conservation Area..

## 2.0

## SITE AND SURROUNDINGS

## 2.8

Highgate Road is a busy and often traffic dominated arterial route. The east side of the road is lined with two and three storey buildings dating from the mid to late 19<sup>th</sup> century, largely in residential use but with a smattering of retail units and The Vine public house to the north of Lady Somerset Road. The only notable 20<sup>th</sup> century additions are the residential blocks at nos.54-58 (evens) and no.62a. The buildings are largely situated at the back of pavement, or with relatively shallow front lightwells, giving way to deeper and more verdant front gardens from no.98 running northwards.

## 2.9

The western side of the road is entirely different in character, lined with substantial former industrial buildings which are now in a mixture of residential and commercial use. These rise from three up to six storeys in height and date from the late 19<sup>th</sup> and early 20<sup>th</sup> centuries, characterised by their flat roofs, horizontal proportions and bands of aligned fenestration, constructed in either red or yellow brickwork.

## 2.10

In combination, the height and scale of the former industrial buildings on the west side of the road, and the position and fine grain of the historic buildings on the east side provides a distinctly urban character and strong sense of enclosure to Highgate Road, reinforced by a lack of soft landscaping or street trees.



Fig 2 Aerial view of the site looking east.

## 2.0

## SITE AND SURROUNDINGS



Fig s 3, 4, 5 and 6 (clockwise) Nos.39-51 (odd) Highgate Road; Nos. 45-55 (odd) Lady Somerset road; Nos. 60-72 (evens) Highgate Road looking north; Highgate Road looking south.

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## 2.0

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## SITE AND SURROUNDINGS

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### 2.11

To the east of the application site College Lane separates the houses fronting Highgate Road from the residential hinterland beyond. Here there are long, wide tree lined roads with speculative housing from the later part of the 19<sup>th</sup> century. These buildings are generally two or three storeys in height, often with a semi-basement, and are set well back from the pavement behind deep front gardens. The houses share the same general palette of materials as the properties which line the east side of Highgate Road – yellow stock brick, stucco decoration, slate roofs – however the character of these side roads is far greener and more spacious.

### 2.12

Views travelling both north and south along Highgate Road are enclosed, with its slightly snaking layout creating a series of changing vistas, closed by the former industrial buildings on the west side of the road looking north and the five storey Tally Ho Apartments on Fortess Road looking south.

## 3.0

## RELEVANT PLANNING HISTORY

### 3.1

The following applications have affected no.68 Highgate Road:

- Planning application (2018/2820/P) for *"Single storey rear extension at ground level with green roof. Replace metal frame windows with timber sash windows on front and rear elevation. Replace concrete tiles with slate at roof level. Replace external railings with black painted period railings. Replace ground floor rear windows with black painted crittall frame windows"* was withdrawn on 15 October 2018.
- Listed building consent application (2018/3385/L) for *"Single storey rear extension at ground level with green roof. Replace metal frame windows with timber sash windows on front and rear elevation. Replace concrete tiles with slate at roof level. Replace external railings with black painted period railings. Replace ground floor rear windows with black painted crittall frame windows. Replace fascia & gutter with like for like materials at roof level. Brickwork to be repaired. Internal staircase to be replaced with like for like design & materials"* was withdrawn on 16 October 2018.
- Listed building consent (2005/0126/L) was granted on 22 March 2005 for *"Internal alterations including the removal of internal stud wall, relocation of internal door and replacement of false ceiling to create a bathroom at ground floor level."*

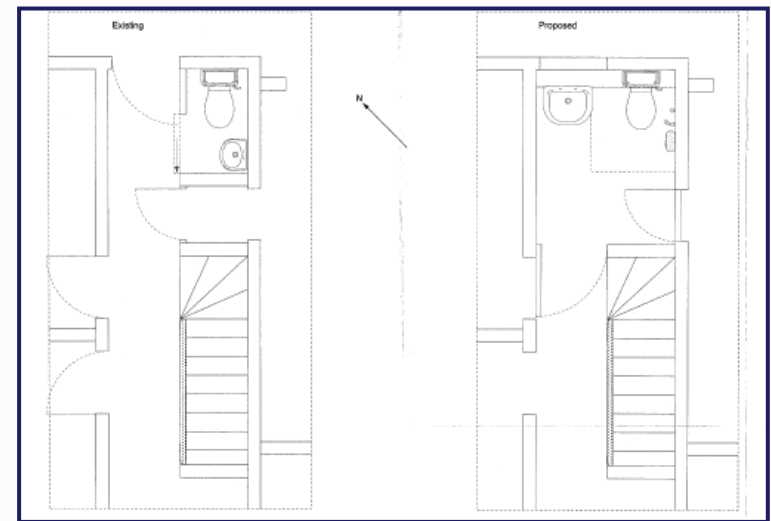


Fig 7 Consented layout at ground floor level from 2005.

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## 4.0 HISTORICAL DEVELOPMENT OF THE SITE AND AREA

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- 4.1 The ancient parish of St Pancras belonged to the Canons of the Cathedral Church of St Paul, London, likely acquired before the Norman Conquest, and stretched from Tottenham Court Road in the south to Highgate in the north. The application site is located in the historic Manor of Cantlowes.
- 4.2 For centuries the area had been a rural district of open fields with dispersed farms and cottages and distinct nuclear settlements at Hampstead and Highgate. In common with many areas that would become London suburbs, food was increasingly produced for the ever growing capital, such as milk, meat and fruit and vegetables from its market gardens and nurseries and hay production from the surrounding fields.
- 4.3 Rocque's map of 1790 clearly depicts the extent of central London at the time, which ended rather abruptly at Euston Road, known during this period as the New Road. Kentish Town is shown as a linear development strung out along the road to Highgate, extending northwards from the junction of St Pancras Way and Kentish Town Road. Dartmouth Park to the north of the application site began to be incrementally developed from the 17<sup>th</sup> century but was separated from Kentish Town by fields and meadows.
- 4.4 Highgate Road, originally known as Green Road, was an important route north from the city to Highgate and beyond and the area had several inns to serve travellers. These included the Bull and Last at the junction of Woodsome Road and The Castle on the corner of Kentish Town Road and Castle Road which had associated pleasure gardens that were popular with day visitors, as well as The Assembly Rooms which hosted balls during the mid 18<sup>th</sup> century and which were *"sufficiently attractive to draw persons from all parts of the neighbourhood of London...."*

## 4.0 HISTORICAL DEVELOPMENT OF THE SITE AND AREA



Fig 8 Rocque's map of London of 1790.

## 4.0 HISTORICAL DEVELOPMENT OF THE SITE AND AREA

- 4.5 To the north of the application site Lord Dartmouth enclosed part of the common around Highgate Road in 1772 and began to release land for development, which included the houses on Grove Terrace, constructed incrementally between 1777 and 1824. On the west side of Highgate Road, Lord Mansfield owned the land which was developed with a series of grand villas and houses setback from the road with extensive gardens. Development continued in a piecemeal manner after 1830 as private estate bills allowed for the granting of building leases and speculative housing gradually filled both sides of Highgate Road.

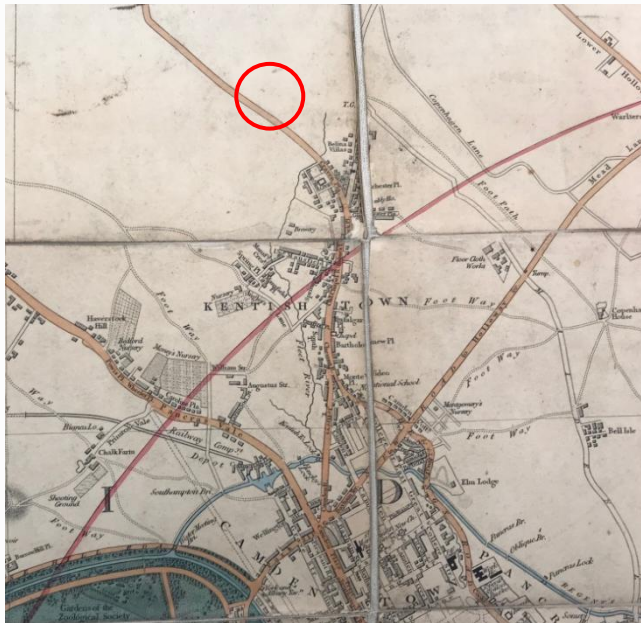


Fig 9 Cary's map of 1835.

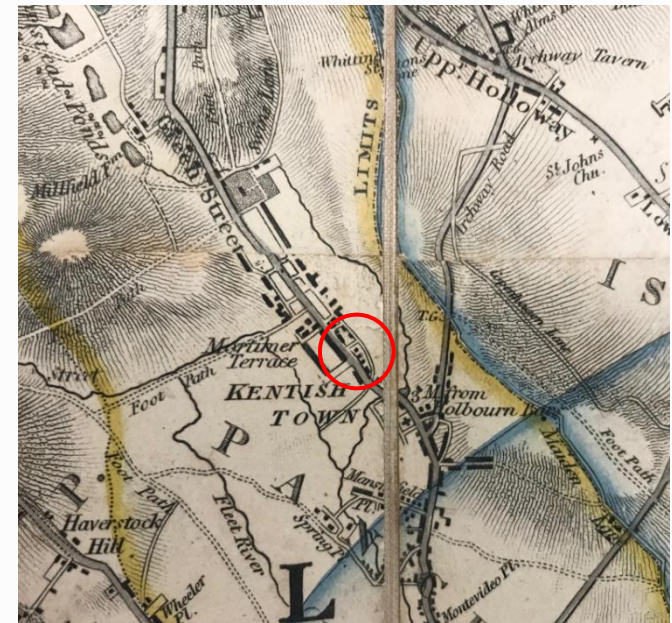


Fig 10 Wylde's map of 1844.

## 4.0 HISTORICAL DEVELOPMENT OF THE SITE AND AREA

- 4.6 The arrival of the railways in the mid 19<sup>th</sup> century had a significant impact upon the development and appearance of the area. The Midland Railway's station at Kentish Town, Gospel Oak station on the Hampstead Junction line and Highgate Road station on the Tottenham and Hampstead Railway provided greater accessibility to central London for commuters and precipitated demand for new housing. Transport connections continued to improve, with the opening of the Charing Cross, Euston & Hampstead Railway, later the Northern Line, including stations at South Kentish Town (now closed) and Kentish Town in 1907.
- 4.7 The second half of the 19<sup>th</sup> century saw the fields to the east and west of Highgate Road filled with new roads of speculative housing. The 1873 Ordnance Survey map still shows open fields running north and east from the application site towards the railway lines with the western curved section of Burghley Road in place and lined with large semi-detached houses. On the west side of Highgate Road terraced houses with long rear gardens back on to the sprawl of railway lines and sidings, and the Kentish town train sheds. These open areas and pockets of undeveloped land are in sharp contrast to the dense development of Camden Town and Kentish Town to the south.
- 4.8 Booth's poverty map of 1889 shows the site marked in a mixture of red denoting *'Middle class. Well-to-do'* and hatched pink denoting *'Fairly comfortable. Good ordinary earnings'* in common with many of the surrounding roads. To the rear of the site the short terrace accessed from College Lane is marked as *'Poor. 18s to 21s a week for a moderate family.'*
- 4.9 The Ordnance Survey map of 1895 shows how the area had continued to develop rapidly during the later part of the 19<sup>th</sup> century, with land to the rear of the application site fully covered with speculatively developed housing. The western side of Highgate Road was becoming increasingly industrial in character during this period, with bottling stores shown to the rear of the houses on its western side and an expansion of the railway sidings and associated coal stores and cattle pens.
- 4.10 By the 1915-16 Ordnance Survey map the houses opposite the application site and south of Carker's Lane had been replaced with a single large building and an expansion of the scale of the bottling stores to the rear. By the 1936 Ordnance Survey map the terrace of houses directly opposite the application site had also been demolished and replaced with a large wallpaper factory. To the east of the application site the buildings that surrounded College Yard were replaced in the mid 20<sup>th</sup> century by a new large building annotated 'College Works'.



Fig 11 Ordnance Survey map of 1873.



Fig 12 Ordnance Survey map 1895.

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## 4.0 HISTORICAL DEVELOPMENT OF THE SITE AND AREA

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### 4.11 Development of the site

The Ordnance Survey map of 1873 shows the application site in place with a long projection to the rear, which is mirrored at no.70 to the north. The 1895 Ordnance Survey map shows the house in the same configuration, with College Lane now more clearly depicted to the rear of the site.

4.12 The general layout of the site does not appear to alter over time, with the same 'L' shape arrangement surviving today. However, the single storey rear projection is likely to have been replaced – see section 5 for further assessment of its significance.

## 5.0

## SIGNIFICANCE OF THE SITE

- 5.1 The National Planning Policy Framework Annex 2 defines significance as *"The value of a heritage asset to this and future generations because of its heritage interest. That interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset's physical presence, but also from its setting."* A heritage asset is defined as *"A building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its heritage interest. Heritage asset includes designated heritage assets and assets identified by the local planning authority (including local listing)."* In this case the heritage assets are the statutorily listed no.68 Highgate Road and the Dartmouth Park Conservation Area.
- 5.2 The application site consists of a semi-detached single family dwelling house, which is set at the back of pavement with no front lightwell or garden.
- 5.3 The building is constructed of yellow stock brick laid in Flemish bond, which has darkened with age, with subtle Italianate detailing such as the stucco architraves and bracketed hoods to the 1<sup>st</sup> and 2<sup>nd</sup> floor windows and the recessed porch supported by square classical columns. The building is topped with deep plain projecting eaves and a shallow concrete tile clad hipped roof. Above the entrance bay is a mono pitch roof falling towards the boundary. Due to its style and form the roofscape is a recessive feature within the overall composition of the building, although its original chimneystacks and tall chimney pots are prominent and attractive features, punctuating the skyline.
- 5.4 The front façade is divided into two separate sections – a wide bay with centrally positioned fenestration lighting the main front ground and 1<sup>st</sup> floor rooms and a narrower recessed bay containing the front door, with a small window at 1<sup>st</sup> floor level with a stucco surround and a square blind recessed panel in the brickwork above that. To the south of the main house is a single storey side wing which is concealed from the street behind a plain brickwork wall. A sense of traditional hierarchy is created to the main façade through the diminishing height of the fenestration as it rises over the façade and the incised stucco facing at ground floor level which provides a base to the overall composition. The building's historic windows had previously been replaced in the 1970s with metal framed units, consisting of a large fixed pane with a shallow louvred panel above. These were replaced as part of the current works with painted timber double glazed sliding sashes in a 6 over 6 configuration. The main entrance into the building is reached via a shallow flight of steps from pavement level with a small enclosed area to the south, set behind a low stucco faced wall and modern painted metal railings.

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5.0

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SIGNIFICANCE OF THE SITE

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## 5.5

The building forms a pair with no.70 to the north which was originally symmetrical, however a number of alterations have detracted from the overall architectural composition. This includes the loss of the entrance porch to no.70 and the different coloured paint scheme to the stucco areas of the building. More notably however, the previous replacement of the historic windows with metal louvred units detracted to a significant degree from the uniformity and balance of the pair due to their highly unsympathetic configuration, materials, finish and detailed design.



Fig 13 The front elevation of the building prior to the current works showing the previous modern metal louvred units.

## 5.0

## SIGNIFICANCE OF THE SITE

## 5.6

The exterior of the building has suffered from a long period of benign neglect, with little in the way of regular maintenance, repair or redecoration of finishes and consequently the stucco faced areas, particularly the moulded detailing to the porch and the low front wall to the south are in poor condition with flaking paintwork and areas of decay.

## 5.7

The building forms part of a group of mid 19<sup>th</sup> century buildings at nos.64-70 (evens) Highgate Road which share the same general height and scale, as well as a palette of materials, which includes yellow stock brick, stucco embellishment and slate roof coverings. A further important factor is the use of classical proportion and vertically orientated diminishing fenestration which provides a visually pleasing sense of rhythm and balance to the facades. The Italianate detailing to nos.68 and 70 is reflected in the architectural design of nos.72 and 74 which flank the junction of Highgate Road and Lady Somerset Road, albeit that these were built a decade or so later, providing coherence to the streetscene.



Fig 14 View along Highgate Road looking south with the application building and early to mid 19<sup>th</sup> century group on the left.



Fig 15 The lower part of the front facade showing deterioration of finishes.

## 5.0

## SIGNIFICANCE OF THE SITE

## 5.8

The rear of the building has an 'L' shaped plan with a deep projecting single storey addition situated adjacent to the northern boundary of the site and filling its full depth. The 1871 Ordnance Survey map shows a projecting wing in the same position demonstrating that the building had an 'L' shaped plan form early in its history. However, it is clear that the building has been significantly altered if not entirely rebuilt. The southern wall of the extension, facing into the garden is constructed in stretcher bond which indicates a single skin of brickwork which would be unusual for original mid 19<sup>th</sup> century construction to a habitable part of the building. The small window in this facade has a timber frame with a louvred panel above it and the adjacent door is of flush construction with a square vision panel in the upper section, both of which appear to date from the mid 20<sup>th</sup> century. The roof has a shallow pitch and is clad in profiled concrete tiles with a modern pale grey plastic downpipe and guttering. Overall this part of the building has no aesthetic value and retains little, if any, historic fabric. Consequently it is not considered to contribute to the special architectural or historic interest of the listed building.

## 5.9

The main rear facade of the building is of darkened yellow stock brick laid in Flemish bond with far less embellishment than the front elevation. Whereas the side bay to the front elevation is recessed here the facade is flat and arranged with two vertically aligned windows bay, with fenestration set beneath simple arched heads. The shallow hipped roof lacks the attractive projecting eaves of the front elevation and the facade is topped with a flat timber fascia board and modern plastic guttering, with a rather crude cement fillet visible beneath the tiles that roof the side bay. In common with the front elevation, the metal louvred window units have been replaced at 1<sup>st</sup> and 2<sup>nd</sup> floor level with painted timber double glazed units in a 6 over 6 configuration to the main rooms and a 4 over 4 configuration to the side bay.

## 5.10

Although the main rear elevation has a simple, balanced appearance, it is clearly of far less significance than the front elevation, lacking its articulation, variety of materials and architectural detailing. The single storey projecting addition to the rear is of no demonstrable significance and due to its painted brickwork, modern fenestration and unsympathetic roofing materials detracts from the setting of the main portion of the listed building.

## 5.11

Beyond the house is a relatively small rear garden area, surrounded by tall brick boundary walls. The garden is fully paved with little in the way of soft landscaping. The upper floors of the building are visible from College Lane, which runs immediately to the rear of the site, however the ground floor facade and rear garden are concealed behind its existing tall eastern boundary.

## 5.0

## SIGNIFICANCE OF THE SITE

**Interior**

- 5.12 The 1974 statutory listing description for the building is relatively brief and makes no reference to internal features. This brevity is common with earlier listings and does not imply that the interior is of no significance. In this case the interior had retained some simple historic fabric but had also been subject to a number of alterations that detracted from its architectural coherence.
- 5.13 Internally no.68 Highgate Road was originally laid out with a typical two room deep plan form arranged off a stair compartment situated adjacent to the party wall, with the principal spaces at ground and 1<sup>st</sup> floor levels. At 1<sup>st</sup> and 2<sup>nd</sup> floor levels there are two smaller rooms in the rear SE corner of the house. What is unusual however is the position of the staircase which rises from the rear of the house towards the front. Consequently the main staircase does not feature so prominently in views upon entering the house compared with where a staircase rises more conventionally at the rear of the stair compartment. Here, the main staircase has a more cramped layout and discrete presence within the building.
- 5.14 An original opening exists between the front and rear rooms at 1<sup>st</sup> floor level and retains its substantial pair of historic panelled doors which are stored on the site. The internal doors within the building previously consisted of painted timber four panelled doors with a simple moulding pattern to the panels as well as some examples with simple recessed panels with no mouldings. However, at ground floor level these had been replaced with part glazed doors, most likely during the mid 20<sup>th</sup> century. The door within the consented partition that formed the downstairs bathroom and that to the area in the side addition were of a flush, modern variety. Consequently at ground floor level in particular the architectural uniformity of the fabric had been undermined.
- 5.15 Elsewhere the building had a wide variety of skirting patterns and a number of different types of architrave. A simple cornice was in situ at 1<sup>st</sup> floor level. Original fire surrounds with cast iron inserts survived to the front rooms at 1<sup>st</sup> and 2<sup>nd</sup> floor level but elsewhere fireplaces had been removed and a mid 20<sup>th</sup> century gas fire and tiled surround had been installed to the front ground floor room.

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## 5.0

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## SIGNIFICANCE OF THE SITE

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- 5.16 Listed Building Consent was granted in 2005 for an enlarged shower room created from the former toilet at the base of the main staircase. A new door was inserted into the partition at the base of the staircase, truncating the depth of the ground floor hallway, compromising its appearance and spatial quality as well as internalising the route through to the side wing within the new shower room.
- 5.17 Overall, whilst the building did retain a range of historic features, these were varied in terms of their appearance and style and were in a poor and deteriorated condition due to the long period of neglect by the previous owners of the building.
- 5.18 Further information about condition and extent of works undertaken will be considered at section 7 of this Statement.
- 5.19 In this case the key significance of the building derives from its historic and architectural contribution to the development of Kentish Town in the mid 19<sup>th</sup> century, reflecting to a small degree its rapid transformation from open fields and its emergence as an established middle and working class inner London suburb by the end of the century. The building has a modest degree of architectural value to its front facade and makes an aesthetic contribution to the townscape along Highgate Road and to the character and appearance of the wider Dartmouth Park Conservation Area. It shares common characteristics of scale, form, materials and detailed design with the flanking early to mid Victorian buildings and contributes to and reinforces their setting. However, this contribution is diluted to a degree by the currently poor condition of the building and the evident decay to its external finishes.

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## 6.0

## PLANNING POLICY CONTEXT

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### 6.1

#### **National Planning Policy & Legislation**

Section 16 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires:

*"In considering whether to grant listed building consent for any works the local planning authority or the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses."*

### 6.2

Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires:

*"...special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area."*

### 6.3

The National Planning Policy Framework 2019 (NPPF) sets out the Government's planning policies and how these are expected to be applied. There is a general presumption in favour of sustainable development within national planning policy guidance. Paragraphs 189, 190, 192 and 193 are relevant to this application.

#### **Paragraph 189**

In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary.

#### **Paragraph 190**

Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this into account when considering the impact of a proposal on a heritage asset, to avoid or minimise any conflict between the heritage asset's conservation and any aspect of the proposal.

## 6.0

## PLANNING POLICY CONTEXT

### 6.3 cont'd

#### Paragraph 192

In determining planning applications, local planning authorities should take account of:  
the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;  
the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and  
the desirability of new development making a positive contribution to local character and distinctiveness.

#### Paragraph 193

When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.

### 6.4

Historic England published 'Historic Environment Good Practice Advice in Planning: Note 2 – Managing Significance in Decision-Taking in March 2015. When considering the listed building consent regime, paragraph 29 is clear that:

*"Change to heritage assets is inevitable but it is only harmful when significance is damaged. The nature and importance of the significance that is affected will dictate the proportionate response to assessing that change, its justification, mitigation and any recording which may be needed if it is to go ahead. In the case of listed buildings, the need for owners to receive listed building consent in advance of works which affect special interest is a simple mechanism but it is not always clear which kinds of works would require consent."*

## 6.0

## PLANNING POLICY CONTEXT

## 6.5

Historic England published 'Making Changes to Heritage Assets – Historic England Advice Note 2' in February 2016. Section 3 covers additions and alterations and states at paragraph 41 that:

*"The main issues to consider in proposals for additions to heritage assets, including new development in conservation areas, aside from NPPF requirements such as social and economic activity and sustainability, are proportion, height, massing, bulk, use of materials, durability and adaptability, use, enclosure, relationship with adjacent assets and definition of spaces and streets, alignment, active frontages, permeability and treatment of setting. Replicating a particular style may be less important, though there are circumstances when it may be appropriate. It would not normally be good practice for new work to dominate the original asset or its setting in either scale, material or as a result of its siting. Assessment of an asset's significance and its relationship to its setting will usually suggest the forms of extension that might be appropriate."*

## 6.6

**Local Planning Policy**

Camden's Local Plan was adopted on 3 July 2017 and sets out the Council's planning policies, replacing the Core Strategy and Development Policies planning documents that were adopted in 2010. The Local Plan will cover the period 2016-2031 and will play an essential role in the delivery of the Camden Plan, which sets out the Council's vision for the borough.

## 6.7

**Policy D1 – Design** is a key policy and has various parts that are relevant to the proposed development in heritage terms;

*"The Council will seek to secure high quality design in development. The Council will require that development:*

- a. respects local context and character;*
- b. preserves or enhances the historic environment and heritage assets in accordance with "Policy D2 Heritage";*
- e. comprises details and materials that are of high quality and complement the local character;*
- j. responds to natural features and preserves gardens and other open space; and*
- m. preserves strategic and local views.*

*The Council will resist development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions.*

**Excellence in design**

*The Council expects excellence in architecture and design. We will seek to ensure that the significant growth planned for under "Policy G1 Delivery and location of growth" will be provided through high quality contextual design."*

## 6.0

## PLANNING POLICY CONTEXT

## 6.8

**Policy D2 – Heritage** has relevant parts and is clear that:

*“The Council will preserve and, where appropriate, enhance Camden’s rich and diverse heritage assets and their settings, including conservation areas, listed buildings, archaeological remains, scheduled ancient monuments and historic parks and gardens and locally listed heritage assets.*

**Designated heritage assets**

*The Council will not permit development that results in harm that is less than substantial to the significance of a designated heritage asset unless the public benefits of the proposal convincingly outweigh that harm.*

**Conservation areas**

*Conservation areas are designated heritage assets and this section should be read in conjunction with the section above headed ‘designated heritage assets’. In order to maintain the character of Camden’s conservation areas, the Council will take account of conservation area statements, appraisals and management strategies when assessing applications within conservation areas. The Council will:*

- e. require that development within conservation areas preserves or, where possible, enhances the character or appearance of the area;*
- f. resist the total or substantial demolition of an unlisted building that makes a positive contribution to the character or appearance of a conservation area;*
- g. resist development outside of a conservation area that causes harm to the character or appearance of that conservation area; and*
- h. preserve trees and garden spaces which contribute to the character and appearance of a conservation area or which provide a setting for Camden’s architectural heritage.*

**Listed Buildings**

*Listed buildings are designated heritage assets and this section should be read in conjunction with the section above headed ‘designated heritage assets’. To preserve or enhance the borough’s listed buildings, the Council will:*

- i. resist the total or substantial demolition of a listed building;*
- j. resist proposals for a change of use or alterations and extensions to a listed building where this would cause harm to the special architectural and historic interest of the building; and*
- k. resist development that would cause harm to significance of a listed building through an effect on its setting.”*

## 6.0

## PLANNING POLICY CONTEXT

## 6.9

Camden's Planning Guidance CPG1 is a comprehensive document which supports the policies in the Local Plan and is a material consideration in planning decisions. Several of the sections on rear extensions are relevant to this application:

*"4.10 Rear extensions should be designed to:*

- be secondary to the building being extended, in terms of location, form, scale, proportions, dimensions and detailing;*
- respect and preserve the original design and proportions of the building, including its architectural period and style;*
- respect and preserve existing architectural features, such as projecting bays, decorative balconies or chimney stacks;*
- respect and preserve the historic pattern and established townscape of the surrounding area, including the ratio of built to unbuilt space;*
- not cause a loss of amenity to adjacent properties with regard to sunlight, daylight, outlook, overshadowing, light pollution/spillage, privacy/overlooking, and sense of enclosure;*
- allow for the retention of a reasonable sized garden; and*
- retain the open character of existing natural landscaping and garden amenity, including that of neighbouring properties, proportionate to that of the surrounding area.*

*4.11 Materials should be chosen that are sympathetic to the existing building wherever possible (see also CPG3 Sustainability on Sustainable use of materials).*

*Height of rear extensions*

*4.12 In order for new extensions to be subordinate to the original building, their heights should respect the existing pattern of rear extensions, where they exist. Ground floor extensions are generally considered preferable to those at higher levels. The maximum acceptable height of an extension should be determined in relation to the points outlined in paragraph 4.10 above. In cases where a higher extension is appropriate, a smaller footprint will generally be preferable to compensate for any increase in visual mass and bulk, overshadowing and overlooking that would be caused by the additional height.*

*4.14 The width of rear extensions should be designed so that they are not visible from the street and should respect the rhythm of existing rear extensions."*

## 6.0

## PLANNING POLICY CONTEXT

## 6.10

The Dartmouth Park Conservation Area Appraisal and Management Statement has guidance on works to buildings within conservation areas and with regard to rear extensions states that:

*"Within the conservation area there are many interesting examples of historic rear elevations, many of which are exposed to public views from the surrounding streets. The original historic pattern of rear elevations within a street or group of buildings is an integral part of the character of the area and as such rear extensions will not be acceptable where they would diverge significantly from the historic pattern."*

## 6.11

**The London Plan**

The London Plan is the overall strategic plan for London, and it sets out a fully integrated economic, environmental, transport and social framework for the development of the capital to 2036. It forms part of the development plan for Greater London. London boroughs' local plans need to be in general conformity with the London Plan, and its policies guide decisions on planning applications by councils and the Mayor.

## 6.12

In July 2011 the Mayor published the London Plan. This has since been updated to include the Revised Early Minor Alterations to the London Plan (REMA) in October 2013 and the Further Alterations to the London Plan (FALP) on 10 May 2015.

**Policy 7.8 Heritage Assets and Archaeology** applies to this application and the relevant sections are as follows:

**"Strategic**

**A** London's heritage assets and historic environment, including listed buildings, registered historic parks and gardens and other natural and historic landscapes, conservation areas, World Heritage Sites, registered battlefields, scheduled monuments, archaeological remains and memorials should be identified, so that the desirability of sustaining and enhancing their significance and of utilising their positive role in place shaping can be taken into account.

**B** Development should incorporate measures that identify, record, interpret, protect and, where appropriate, present the site's archaeology.

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## 6.0

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## PLANNING POLICY CONTEXT

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### 6.12 cont'd

#### ***Planning decisions***

*C Development should identify, value, conserve, restore, re-use and incorporate heritage assets, where appropriate.*

*D Development affecting heritage assets and their settings should conserve their significance, by being sympathetic to their form, scale, materials and architectural detail.*

*E New development should make provision for the protection of archaeological resources, landscapes and significant memorials. The physical assets should, where possible, be made available to the public on-site. Where the archaeological asset or memorial cannot be preserved or managed on-site, provision must be made for the investigation, understanding, recording, dissemination and archiving of that asset."*

## 7.0

## IMPACT ASSESSMENT

## 7.1

This section sets out a thematic summary of the unauthorised works and recommendations to mitigate and address these. Please see the Schedule of Internal Features for a detailed review of the works on a room by room basis and for full details of recommendations, as well as the specification sheets for flooring, doors and sash windows. This section also assesses the impact of the works that have been undertaken, taking account of the statutory duties to preserve the special architectural and historic interest of the listed building and to preserve or enhance the character or appearance of the Dartmouth Park Conservation Area.

Unauthorised works	
Floors	<p><b>Ground Floor</b></p> <ul style="list-style-type: none"> <li>The floor has been replaced with a new insulated concrete slab. The previous floor also consisted of a concrete slab which was damaged and which had inadequate insulation beneath it., as well as significant damp problems evidenced by wet patches and the wet rot and decay of the small amount of surviving historic skirting. A softwood floor existed in the hallway.</li> <li>The deteriorated condition of the pre-existing slab and timber flooring was a result of its poor construction, the absence of a damp proof membrane or damp proof course throughout and a leaking water main in the hallway under the stairs.</li> </ul> <p><b>1<sup>st</sup> and 2<sup>nd</sup> Floors</b></p> <ul style="list-style-type: none"> <li>The previously existing floor finishes have been removed and new sheets of plywood have been installed onto the retained historic floor joists. The previously existing floors were a mixture of traditional floorboards and plywood. The joists themselves were treated with an insecticide. A number of the floorboards were badly damaged and had woodworm infestation. Modern chipboard within the bathroom was replaced with new chipboard.</li> </ul>

Unauthorised works	
Walls and ceilings	<ul style="list-style-type: none"> <li>The previously existing wall plaster has been removed throughout the building and the walls and ceilings have been re-plastered with sand and cement with a waterproof additive. This has then been skimmed with a gypsum based plaster. The plasterboard ceilings have been replaced.</li> <li>The walls of the building had significant rising damp (average reading of 80%+) and salt contamination throughout. The existing sand and cement render was old and poorly batched and had deteriorated significantly in places due to water penetration.</li> <li>The cornice at 1<sup>st</sup> floor level has been removed.</li> </ul>
Skirtings	<ul style="list-style-type: none"> <li>The previously existing skirtings have been removed throughout the building. New skirting has been installed over the upper floors but not yet at ground floor level. This is of timber with a moulded detail and is intended to have a painted finish.</li> <li>The previously existing skirting was in poor condition, missing in areas and had been poorly fitted.</li> </ul>
Architraves	<ul style="list-style-type: none"> <li>The previously existing timber architraves to windows and doors have been removed throughout the building, with the exception of the rear ground floor window and the window to the rear ground floor addition. New timber architraves have been installed throughout.</li> </ul>

Unauthorised works	
Internal doors	<p><b>Ground Floor</b></p> <ul style="list-style-type: none"> <li>• Mid 20<sup>th</sup> century part glazed doors have been removed from the door openings into the front and rear rooms from the hallway.</li> <li>• The modern flush doors within the partition that previously formed the downstairs bathroom and into the utility room have been removed.</li> <li>• New FD30 timber four panelled doors have been installed.</li> </ul> <p><b>1<sup>st</sup> and 2<sup>nd</sup> Floor</b></p> <ul style="list-style-type: none"> <li>• The previously existing painted timber four panelled doors have been removed from all door openings.</li> <li>• New FD30 timber four panelled doors have been installed.</li> </ul>
Windows	<ul style="list-style-type: none"> <li>• The previously existing metal window units with a louvred top panel have been removed with the exception of the ground floor rear room.</li> <li>• These have been replaced with painted timber double hung sliding sashes with double glazed sealed units and applied glazing bars.</li> <li>• The existing window in the side elevation of the single storey rear addition has been retained.</li> </ul>

## IMPACT ASSESSMENT

Unauthorised works	
Fireplaces	<ul style="list-style-type: none"> <li>A mid 20<sup>th</sup> century glazed tiled fireplace to the front ground floor room has been removed and the stone fire surround and cast iron insert from the front room at 2<sup>nd</sup> floor level has been relocated here.</li> <li>The existing fire surround and cast iron insert to the front 1<sup>st</sup> floor room has been retained in situ.</li> </ul>
Main staircase	<ul style="list-style-type: none"> <li>The main staircase from ground to 2<sup>nd</sup> floor level has been replaced due to its poor condition. This included the effects of woodworm and a longstanding mains water leak on the ground floor which had caused extensive damage to the timber and the adjacent wall on the ground floor.</li> <li>The bowing of the exterior wall of the house had resulted in the stairs becoming detached from the wall at 2<sup>nd</sup> floor level.</li> <li>The staircase has been partially reinstated on a like for like basis, in timber. It is intended to reinstate further elements such as the balusters, newel post, handrail and skirting on a like for like basis.</li> </ul>
Internal partitions	<ul style="list-style-type: none"> <li>A double door width opening has been created through the spine wall at ground floor level.</li> <li>The partition at the base of the staircase has been removed. A new partition has been installed further to the east so as to allow for access to the side addition from the main hallway. This has a new timber panelled door to match the others installed into the property.</li> </ul>

## IMPACT ASSESSMENT

Unauthorised works	
Rooflight	<ul style="list-style-type: none"> <li>• The previously existing rooflight within the pitched roof element to the side of the building has been removed. This had a wooden frame and wire mesh glass known as Georgian wired glass, indicating a mid 20<sup>th</sup> century date.</li> <li>• A new Velux rooflight has been installed into the same aperture.</li> </ul>
Servicing	<ul style="list-style-type: none"> <li>• 20<sup>th</sup> century surface mounted pipework and cabling has been removed.</li> <li>• The building has been re-wired and the plumbing and the heating system renewed to modern requirements.</li> </ul>
Utility room roof	<ul style="list-style-type: none"> <li>• The pre existing corrugated plastic roof has been removed and a new flat roof construction with timber joists and a waterproof membrane roof covering. New plasterboard and skim has been used to create the internal ceiling.</li> </ul>



Fig 16 Significant damage to plaster finishes due to water penetration.



Fig 17 Damage to wall and plaster finishes at 2<sup>nd</sup> floor level.



Fig 18 Plasterboard and modern insulation to ceiling joists.

Fig 19 The rear ground floor room showing the absence of cornice, the mid 20<sup>th</sup> century inserted door from the hallway and the surface mounted pipework to the skirting boards.





Fig 20 Damaged and mismatched skirtings.

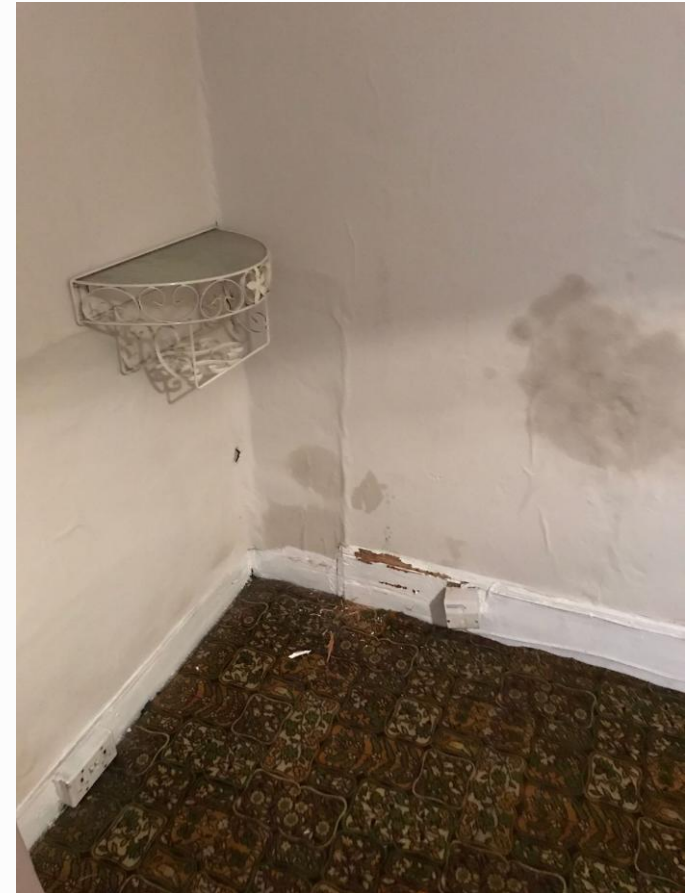


Fig 21 Significant water penetration and decay to timber skirting boards.



Fig 22 The newel post and balusters at ground floor level.



Fig 23 The newel post and balusters at 1<sup>st</sup> floor landing level.



Fig 24 A historic four panelled door at 1<sup>st</sup> floor level.



Fig 25 The door from the hallway into the front ground floor room.



Fig 26 The 20<sup>th</sup> century part glazed door into the rear ground floor room. The architrave here was used as the pattern for the installed architraves.



Fig 27 The architrave to the 1<sup>st</sup> floor bathroom door.



Fig 28 The original four panelled doors that were installed within the spine wall at 1<sup>st</sup> floor level.

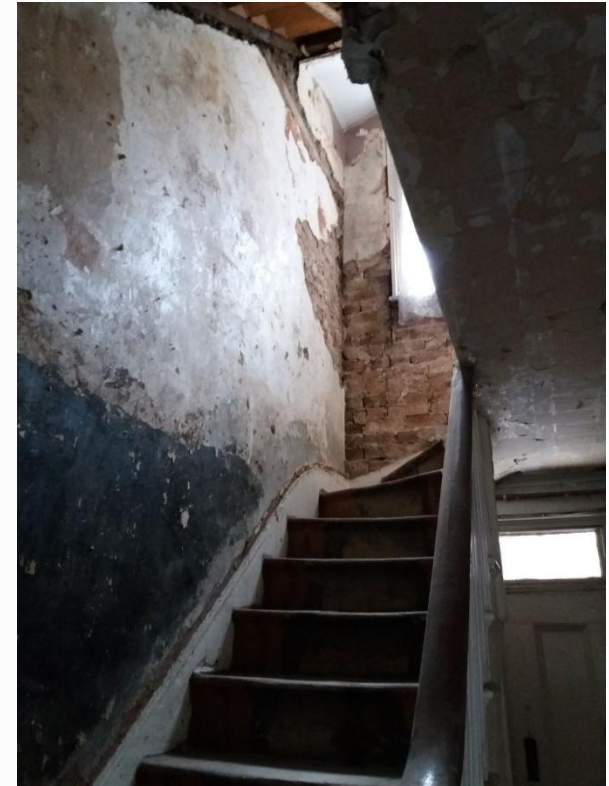


Fig 29 Mismatched and damaged plaster to the wall of the stair compartment.



Fig 30 Badly damaged floorboards and evidence of decay from woodworm.

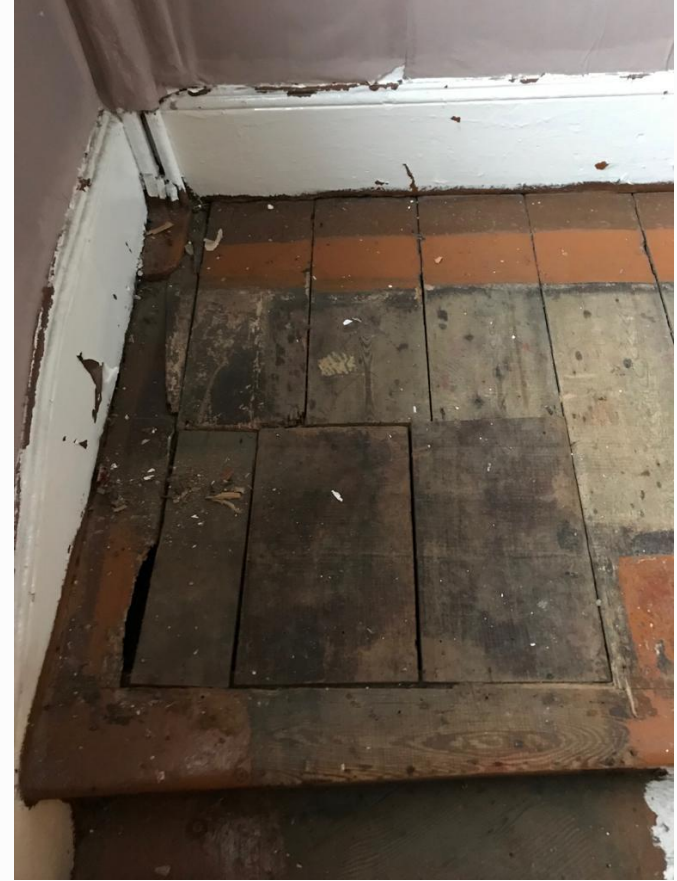


Fig 31 Patched and damaged floorboards at 1<sup>st</sup> floor landing level.



Fig 32 Surface mounted piping at high level to the ground floor rear room.



Fig 33 Existing architrave to the retained rear ground floor window.



Fig 34 Mid 20<sup>th</sup> century fireplace to the front ground floor room which has been removed.



Figs 35, 36 and 37. Mismatched skirting of different heights and profiles, showing significant damage, wear and tear and distortion. Fig 35 shows where timber skirting had been replaced with painted cement.

## IMPACT ASSESSMENT

Impact on significance	
Floors	<p data-bbox="774 279 929 304"><b>Ground Floor</b></p> <ul data-bbox="774 322 1812 861" style="list-style-type: none"> <li data-bbox="774 322 1812 518">• The previously existing concrete floor was not original and was of low significance. Its replacement has resulted in a minor change to the listed building but has had no harmful impact, as a modern feature has simply been replaced with similarly modern materials. The damp proofing works will prolong the life of the listed building and preserve its fabric.</li> <li data-bbox="774 536 1812 689">• The incorporation of insulation beneath the floor in a manner that causes no harm to the significance of the listed building strikes an appropriate balance between improving its environmental performance and the preservation of its special interest.</li> <li data-bbox="774 708 1812 861">• The replacement of the previously existing timber floorboards has resulted in the loss of some historic fabric which is regrettable and a minor impact upon the special interest of the listed building, however this fabric was damaged and in poor condition.</li> </ul> <p data-bbox="774 922 973 946"><b>1<sup>st</sup> and 2<sup>nd</sup> Floors</b></p> <ul data-bbox="774 965 1812 1118" style="list-style-type: none"> <li data-bbox="774 965 1812 1118">• The original timber joists have been retained over the upper floors and essential repairs and strengthening works undertaken. The replacement of the previously existing timber floorboards has resulted in the loss of some historic fabric which is regrettable and a minor impact upon the special interest of the listed building.</li> </ul>

Impact upon significance	
Walls and ceilings	<ul style="list-style-type: none"> <li>• The existing finishes were in very poor condition and had suffered from decades of neglect and deterioration, with extensive evidence of modern repairs and replacement. Water penetration had caused the plaster to fail in several locations and the surfaces were friable, such that their retention was not possible once wallpaper was removed and repairs began. The removed materials consisted of sand and cement render, bonding, plaster and plasterboard.</li> <li>• The repairs have utilised modern materials however once the finished plaster is painted these will not be readily discernible. The repaired walls and damp proofing works will ensure the ongoing preservation of the listed building.</li> <li>• The loss of the cornice has caused minor harm to the interior of the listed building but is easily replicable.</li> </ul>
Skirtings	<ul style="list-style-type: none"> <li>• The skirtings are of timber and will have a painted finish which is appropriate.</li> <li>• At ground floor level the installed skirtings are deeper whilst those over the upper floors are a simplified and shallower version. This reflects the hierarchy of status in a building of this age and character.</li> <li>• The previously existing skirting was a mixture of various height and profiles and was generally in very poor condition. In some cases the skirtings were of concrete, there were no skirtings, or 6 inch x 1 inch floorboards had been used instead. The skirting that has been installed follows attractive and decorative examples from within the building, for example that shown at Fig 28.</li> <li>• The installed skirting provides a coherent appearance throughout the building, replaces damaged fabric of negligible significance and take appropriate account of the hierarchy of the building.</li> </ul>

Architraves	<ul style="list-style-type: none"> <li>The new architraves are timber and will have a painted finish. Their detailed design has been based upon surviving architraves to the rear ground floor window and door from the hallway.</li> </ul>
Internal doors	<ul style="list-style-type: none"> <li>The replacement of the doors has had a minor impact upon the special interest of the listed building due to the loss of historic fabric at 1<sup>st</sup> and 2<sup>nd</sup> floor level.</li> <li>The replacement of the mid 20<sup>th</sup> century glazed doors at ground floor level has removed incongruous features and replaced them with more traditional timber panelled doors.</li> </ul>
Windows	<ul style="list-style-type: none"> <li>The removal of the previously existing metal framed units with louvred upper panes has enhanced the external appearance of the listed building as these were incongruous features which had a significant detrimental impact upon the special architectural and historic interest of the listed building.</li> <li>The reinstatement of painted timber sash boxes with double hung sliding sashes into the building's window apertures has enhanced the special architectural and historic interest of the listed building.</li> <li>The double glazed sealed units have been incorporated in order to address the noise nuisance from Highgate Road which is a busy arterial route and it is not considered that the double glazing causes demonstrable harm to the external appearance of the listed building.</li> </ul>

	<ul style="list-style-type: none"> <li>The double glazed sealed units must be considered within the context of other changes to fenestration within the group of listed buildings. The attractive arched window with a gothic glazing pattern to the ground floor of no.66 (Grade II listed) has been replaced with double glazing. To the north the ground floor window of no.70, which forms part of the semi-detached pair with no.68 (Grade II listed) has been replaced with a PVCu double glazed sash. These units appear to have been in situ for some time and enforcement action has not been initiated in order to have them removed</li> </ul>
Utility room roof	<ul style="list-style-type: none"> <li>The pre existing corrugated plastic roof was in poor condition and unattractive. The removal of this feature, which is of no inherent architectural or historic interest has resulted in no impact upon the listed building. The installed roof will ensure that the building remains watertight and will prevent any further deterioration of its fabric.</li> </ul>



Fig 38 The double glazed decorative window to the ground floor of no.66 Highgate Road.



Fig 39 The PVCu double glazed window to the ground floor of no.70 Highgate Road.

## IMPACT ASSESSMENT

Fireplaces	<ul style="list-style-type: none"> <li>The removal of the mid 20<sup>th</sup> century fireplace from the front ground floor room and its replacement with the surround and insert from the 2<sup>nd</sup> floor has had a neutral impact upon the special interest of the listed building and has enhanced the appearance of this particular room.</li> <li>The retention of the fireplace to the 1<sup>st</sup> floor front room has preserved the special architectural and historic interest of the listed building.</li> </ul>
Main staircase	<ul style="list-style-type: none"> <li>The previously existing main staircase from ground to 2<sup>nd</sup> floor level has been replaced due to its poor condition and the effects of woodworm and a longstanding mains water leak on the ground floor. The staircase had also become detached at 2<sup>nd</sup> floor level due to the bowing of the exterior wall. The staircase was removed due to concerns about the safety of builders on site as they moved around the property. This has resulted in a loss of historic fabric which is regrettable. However, the staircase when completed will be a like for like replacement of the previously existing staircase, with decorative elements replicated on like for like basis. This will ensure that the internal appearance and character of the listed building will be preserved.</li> </ul>
Internal partitions	<ul style="list-style-type: none"> <li>The previously existing partition had been modified in order to create a larger bathroom following the granting of listed building consent in 2005. The relocation of the partition has created a more open and spacious hallway that had been truncated by the new door as part of the 2005 works. The works are considered to have had only a minor impact upon the internal appearance of the listed building.</li> </ul>

Internal partitions cont'd	<ul style="list-style-type: none"> <li>The new opening within the ground floor spine wall is modestly scaled and retains ribs and a downstand. There is already a similar opening at 1<sup>st</sup> floor level and an opening within the spine wall at principal floor level is a common feature on buildings of this age and character. The intention is to insert painted timber doors to match the detailed design of the original doors that are to be reinstated at 1<sup>st</sup> floor level, albeit with a hinged design so as to minimise their projection into the room when open. The new opening does not harm the spatial quality of the listed building and will retain the sense of a cellular floor plan.</li> </ul>
Rooflight	<ul style="list-style-type: none"> <li>The previously existing rooflight was in a very poor condition and dated from the mid 20th century. It has been replaced within the same aperture with a new rooflight. This has not resulted in the loss of any fabric of demonstrable architectural or historic value. The sloping roof to the side bay of the house has a low pitch and is not visible from street level. The newly inserted rooflight has therefore had no impact upon the external appearance of the listed building and does not detract from its architectural composition or character in any way.</li> </ul>
Servicing	<ul style="list-style-type: none"> <li>The previous servicing to the property was of some significant age and in many cases was surface mounted across walls. The replacement of electrics and the installation of a new heating system were a necessary upgrade of the property to modern requirements and safety standards. The removal of disjointed and unattractive surface mounted servicing has enhanced the internal appearance of the listed building</li> </ul>



Fig 40 The newly inserted timber sash window to the front ground floor room.



Fig 41 An internal view of the same window showing the glazing bar moulding.



Fig 42 The inserted four panelled doors and new architrave.



Fig 43 The reinstated fire surround and cast iron insert to the front ground floor room.



Figs 44, 45 and 46. Newly installed timber skirting and the accurate like for like detail to the tread ends of the newly installed staircase.

Recommendations	
Floors	<p><b>Ground Floor</b></p> <ul style="list-style-type: none"> <li>Retain new insulated concrete floor slab at ground floor level in order to provide a continuity of floor level and finish throughout.</li> <li>New timber flooring will be installed above the concrete slab with tiled finishes to the bathroom and utility room.</li> </ul> <p><b>1<sup>st</sup> and 2<sup>nd</sup> Floors</b></p> <ul style="list-style-type: none"> <li>Replace the plywood panels with timber floorboards to the bedroom and landing areas.</li> </ul>
Walls and ceilings	<ul style="list-style-type: none"> <li>Retain existing wall and ceiling finishes. The previous finishes have been lost but were of variable significance and seriously damaged due to a long period of neglect at the property and the effects of moisture penetration.</li> </ul>
Skirtings	<ul style="list-style-type: none"> <li>Retain installed skirtings throughout.</li> </ul>
Architraves	<ul style="list-style-type: none"> <li>Modify the installed window and door architraves to match the pre existing examples to each location.</li> </ul>
Internal doors	<ul style="list-style-type: none"> <li>Replace the inserted doors with painted timber four panelled doors to match the doors that were removed and to enhance the appearance and design of the part glazed doors that were removed at ground floor level.</li> <li>The two large four panelled doors from the spine wall opening at 1<sup>st</sup> floor level will be reinstated in the same position.</li> </ul>

Recommendations	
Windows	<ul style="list-style-type: none"> <li>The installed sash boxes will be retained. The sliding sash components will have the double glazed sealed units removed and modified so as to incorporate single glazing with integral glazing bars. The PVCu parting bead to the windows will be replaced with a timber parting bead.</li> </ul>
Fireplaces	<ul style="list-style-type: none"> <li>The relocated fire surround and cast iron insert will be retained to the ground floor front room.</li> <li>A new fire surround and cast iron insert will be inserted into the front room at 2<sup>nd</sup> floor level to replace the removed item.</li> </ul>
Main staircase	<ul style="list-style-type: none"> <li>The installed timber staircase will be retained from ground to 2<sup>nd</sup> floor level.</li> <li>Square section balusters, a moulded handrail and turned newel posts will be incorporated to match the former staircase. The skirting and string to the staircase will be completed with a moulding detail to match the removed staircase.</li> </ul>
Internal partitions	<ul style="list-style-type: none"> <li>The new partition that forms the downstairs bathroom will be retained in its new position.</li> <li>Retain the created opening between the front and rear rooms at ground floor level and install new painted timber doors.</li> </ul>
Rooflight	<ul style="list-style-type: none"> <li>At the Council's request the installed Velux window to the sloping section of the roof will be replaced with a conservation grade rooflight.</li> </ul>

## IMPACT ASSESSMENT

Recommendations	
Servicing	<ul style="list-style-type: none"><li>The modern servicing will be retained.</li></ul>
Utility room roof	<ul style="list-style-type: none"><li>Retain new roof construction.</li></ul>

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## 7.0

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## IMPACT ASSESSMENT

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### 7.2

This section will describe the proposed works to the property which are over and above the works that have already been carried out.

### 7.3

It is proposed to remove the existing single storey rear addition. As demonstrated at sections 4 and 5 of this Statement, the historic mapping suggests that the house was originally built with a projecting rear addition or that it was added early in the building's history. However, the fabric that survives on site suggests heavy remodelling or rebuilding during the mid 20<sup>th</sup> century. The structure that survives today has no intrinsic architectural or aesthetic merit and is not considered to contribute to the special interest of the listed building. Its materials include profiled concrete tiles and simple brickwork laid in stretcher bond which has been painted. The door and window to its only visible elevation are both from the mid to late 20<sup>th</sup> century and of no merit. Consequently, the loss of this structure is not considered to cause any harm to the special interest of the listed building and its removal offers the opportunity for a more attractive and appropriate extension.

### 7.4

A new single storey extension is proposed. This is constructed of yellow stock brick to match the main house with a green roof and rooflight. Its only visible elevation would face south and has a black painted Crittal screen with a pair of French doors set within it. The proposed extension is of a subtle and attractive design that complements the overall character of the listed building, with high quality brickwork and simple fenestration. The proposed extension is considered to be an appropriate height in relation to the overall scale of the main house, sitting comfortably at the base of this substantial three storey building. The extension is slightly wider than the existing rear addition but is only marginally wider than half the width of the original house.

### 7.5

Internally the proposed extension would connect through to the original rear ground floor room of the house. This would involve the removal of the masonry beneath the existing rear window in order to create a door opening. This modest opening would maintain a clear distinction between the original envelope of the listed building and the new extension and preserve its character as a series of cellular spaces.

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## 7.0

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## IMPACT ASSESSMENT

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### 7.6

It is also proposed to install black painted Crittal glazing into the three apertures at ground floor level within the rear elevation. The former door from the hallway to the rear garden was incorporated into the extended downstairs bathroom when modifications to its layout were consented in 2005. Access to the garden is now proposed to be through the large French doors in the side elevation of the proposed rear extension. Consequently it is proposed to install a fixed pane into the former door opening. Adjacent to this is a very small window which lights the bathroom and an opening which lights the rear part of the single storey side wing of the house. The proposed glazing is considered acceptable within the context of the subtle contemporary styling of the proposed extension and given their discrete position at the base of the building.

### 7.7

Areas of paintwork on the rear elevation are to be removed. The details of any brickwork cleaning, including methodology and details of materials can be dealt with by way of condition.

### 7.8

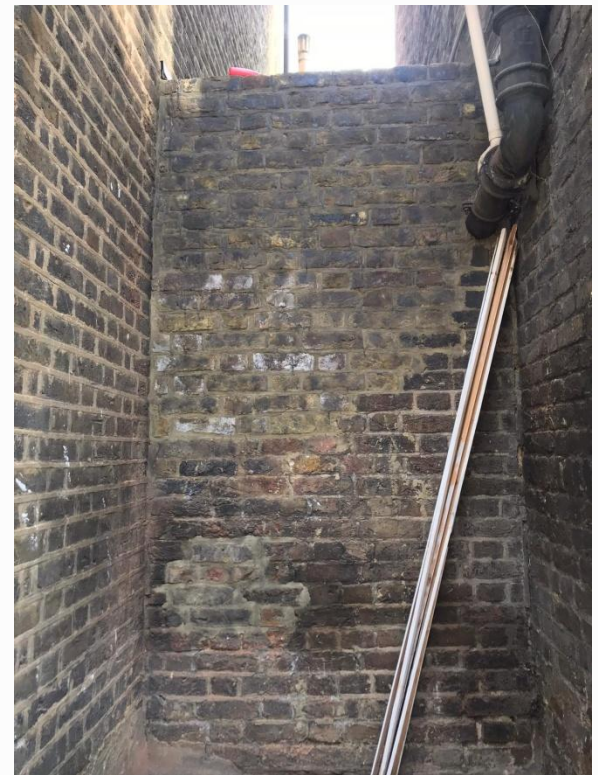
The existing roof is clad with concrete tiles which are a modern addition to the building and unsympathetic in terms of their materials, colour and finish, as well as adding excess weight to the historic roof timbers. It is proposed to replace the existing concrete tiles with new slate to match that of the neighbouring property at no.70. The existing guttering and downpipes are a mixture of materials, colours and profiles. These are to be replaced with black metal so as to ensure that the building is properly watertight and to ensure a smart, consistent appearance throughout. The existing soffits are of painted timber and will be replaced on a like for like basis. Areas of painted stucco will be repaired and re-decorated and the stone window architraves will be repaired as required. Given the level of deterioration and decay to the building's external finishes, these works of repair and refurbishment would demonstrably enhance the external appearance and the special architectural interest of the listed building.

## 7.0

## IMPACT ASSESSMENT

## 7.9

Small scale repair works have also taken place to the single storey brick wall which is set back from the front elevation. The modern incongruous red bricks were removed and replaced with brickwork to match the surrounding fabric. This has improved the appearance of this part of the front elevation of the listed building. The wall has been built slightly higher than the former wall and will be reduced in height to match its pre existing condition. These works are considered to be like for like repairs that do not require listed building consent but have been included within the Statement for completeness.



Figs 47 and 48. The modern section of brickwork shown above to the right of the property and the newly repaired area at Fig 48.

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## 7.0

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## IMPACT ASSESSMENT

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### 7.10

#### **Policy compliance**

Policy D1 (Design) of the Local Plan refers to general design principles and requires development to be of high quality, which respects local context and character and preserves or enhances heritage assets. Policy D2 (Heritage) relates specifically to proposals which affect listed buildings and conservation areas and requires that development preserves and where appropriate enhances these designated heritage assets. The Council will resist proposals that cause harm to the special architectural and historic interest of listed buildings or their settings. The proposed rear extension, ground floor rear fenestration, front railings, re-roofing and general works of repair, refurbishment and redecoration are considered to fully comply with policies D1 and D2.

### 7.11

The proposals have been sensitively conceived and formulated to be respectful to the character of the individual listed building and the wider context. The proposed ground floor extension will be situated largely in the position of the previous rear addition, albeit to a slightly wider footprint. Its sensitive design, half width massing and low level position will ensure that there is no visual harm to the rear elevation of the building and indeed, its improved aesthetics will enhance the listed building over and above the existing rather unattractive and degraded structure. The proposed extension is of modest scale and proportions and would be physically and visually subordinate to the host building. Its sympathetic form and materials would complement the character of the listed building whilst its simple contemporary design allows for a subtle juxtaposition between this new element and the original envelope of the listed building.

### 7.12

The proposals would not result in the loss of any historic fabric of demonstrable significance or value nor would any architectural features of note be affected. The replacement of the unsympathetic concrete roof tiles would enhance the external appearance of the listed building, whilst the overall programme of repair and refurbishment would address decades of neglect and lack of investment in the building's fabric.

## 7.0

## IMPACT ASSESSMENT

## 7.13

The character, setting and context of the listed building has been considered and the impact of the proposed extension is considered to be fully appropriate. The proposals are restricted to the rear of the property and views from the public realm are limited to the upper storeys of the rear façade as seen from College Lane. The proposed extension will replace an existing single storey addition and will have a minimal impact upon the character of the remaining garden space, which is currently in a derelict condition and which will be significantly enhanced through new hard landscaping and renovation. The key front elevation of the building will remain unaltered, besides for vital maintenance and repair work which will enhance its appearance, and its contribution to the significance of the wider group of early to mid 19<sup>th</sup> century buildings will be preserved. Thus the proposals are considered to preserve, and indeed enhance the external appearance and setting of the listed building and consequently the character and appearance of the Dartmouth Park Conservation Area.

## 7.14

The proposals are also considered to comply with the provisions of Camden's Planning Guidance CPG1 which has a number of relevant paragraphs relating to rear extensions. The key checklist points at paragraph 4.10 have been addressed below in turn:

Para 4.10 – Rear extensions should be designed to:

- be secondary to the building being extended, in terms of location, form, scale, proportions, dimensions and detailing;  
*Response – the proposed extension is appropriately scaled and proportioned and will have a simple, subtle contemporary design executed in complementary materials. The proposals will be fully subordinate to the overall listed building.*
- respect and preserve the original design and proportions of the building, including its architectural period and style;  
*Response – the upper floors of the listed building will remain unaltered and the extension will sit well below the 1<sup>st</sup> floor cill level. The proposal will have no impact upon the alignment or hierarchy of the windows above it or the overall proportions or character of the rear façade.*
- respect and preserve existing architectural features, such as projecting bays, decorative balconies or chimney stacks;  
*Response – the extension will avoid any conflict with the window which lights the 1<sup>st</sup> floor rear room. No other decorative or architectural features of note will be affected.*

## 7.0

## IMPACT ASSESSMENT

## 7.14 cont'd

- respect and preserve the historic pattern and established townscape of the surrounding area, including the ratio of built to unbuilt space;

*Response – the proposed extension will be on the site of the existing rear addition and will maintain the overall 'L' shaped plan of the house. The character to the rear of the group of early to mid 19<sup>th</sup> century buildings on this side of Highgate Road is heterogeneous and there is no consistent pattern of development. The proposed extension is a single storey structure at ground floor level only and will be minimally visible from the surrounding townscape, with a green roof which will provide an enhancement to the currently rather hard and built up character of the area.*

- allow for the retention of a reasonable sized garden; and

*Response – the proposed extension will only be slightly wider than the existing rear addition, the footprint of which can be seen as early as 1873. The rear garden is essentially a hard landscaped area and this character will remain, albeit with attractive improvements to the paving and planting scheme.*

- retain the open character of existing natural landscaping and garden amenity, including that of neighbouring properties, proportionate to that of the surrounding area.

*Response – as above, the existing character and openness of the garden will be maintained and it will maintain its current proportionate relationship to the original house.*

## 7.15

The Dartmouth Park Conservation Area Appraisal and Management Statement outlines that proposed rear extensions should not diverge significantly from the historic pattern. Here the semi-detached pair have historically had adjoining full depth rear additions which extend part of the width of the property. However that of no.70 was replaced during the 1970s with a wider and taller structure which has a flat roof and parapet. Thus there is no surviving symmetry between the two rear projections and the proposed extension at no.68 will maintain a balanced visual relationship with the neighbouring property.

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## 8.0

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## CONCLUSION

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- 8.1 The application is part retrospective for unauthorised works which have taken place at the property. It also includes a number of proposed works which have not yet been undertaken.
- 8.2 This Statement has provided an inventory of the unauthorised works which have taken place on site and has assessed their impact upon the significance and special interest of the listed building. The Statement should also be read in conjunction with the Schedule of Internal and External Features (February 2019). Recommendations for mitigation and remedial works have been made which are considered to address the concerns raised by the Council in regard to the nature and scope of the works and their impact. The works that have been undertaken were with the objective of repairing and refurbishing the house so as to secure its long term future as the applicant wishes to live in the house as a family home. The proposals for the house utilise its historic plan form and do not seek to modify its intrinsic layout or spatial quality, thus preserving its special interest in this respect.
- 8.3 The proposed rear extension is considered to respect the character, appearance, layout and setting of the listed building. There will be minimal alterations to its plan form and spatial quality and its historic integrity will be preserved, through the clear visual and physical distinction between the existing house and the proposed extension. The proposals have been designed so as to respond sensitively and contextually to the host building, preserving and in overall terms enhancing its special architectural and historic interest. The remainder of the proposals are minor alterations to the building or works of sensitive repair and reinstatement which will enhance its external appearance and special architectural and historic interest.
- 8.4 The proposed works are considered to fully comply with the requirements of the London Borough of Camden's Local Plan. They are considered to preserve, and indeed enhance the special architectural and historic interest of the listed building in line with the statutory duty. The works will preserve the character and appearance of the Dartmouth Park Conservation Area. The proposals also accord with the provisions of the National Planning Policy Framework, in particular ensuring that the significance of the listed building is sustained and enhanced.

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Thank you for viewing our Heritage Statement.

If you have any queries or would like to discuss anything further with us please don't hesitate to get in contact. Our details can be found below.