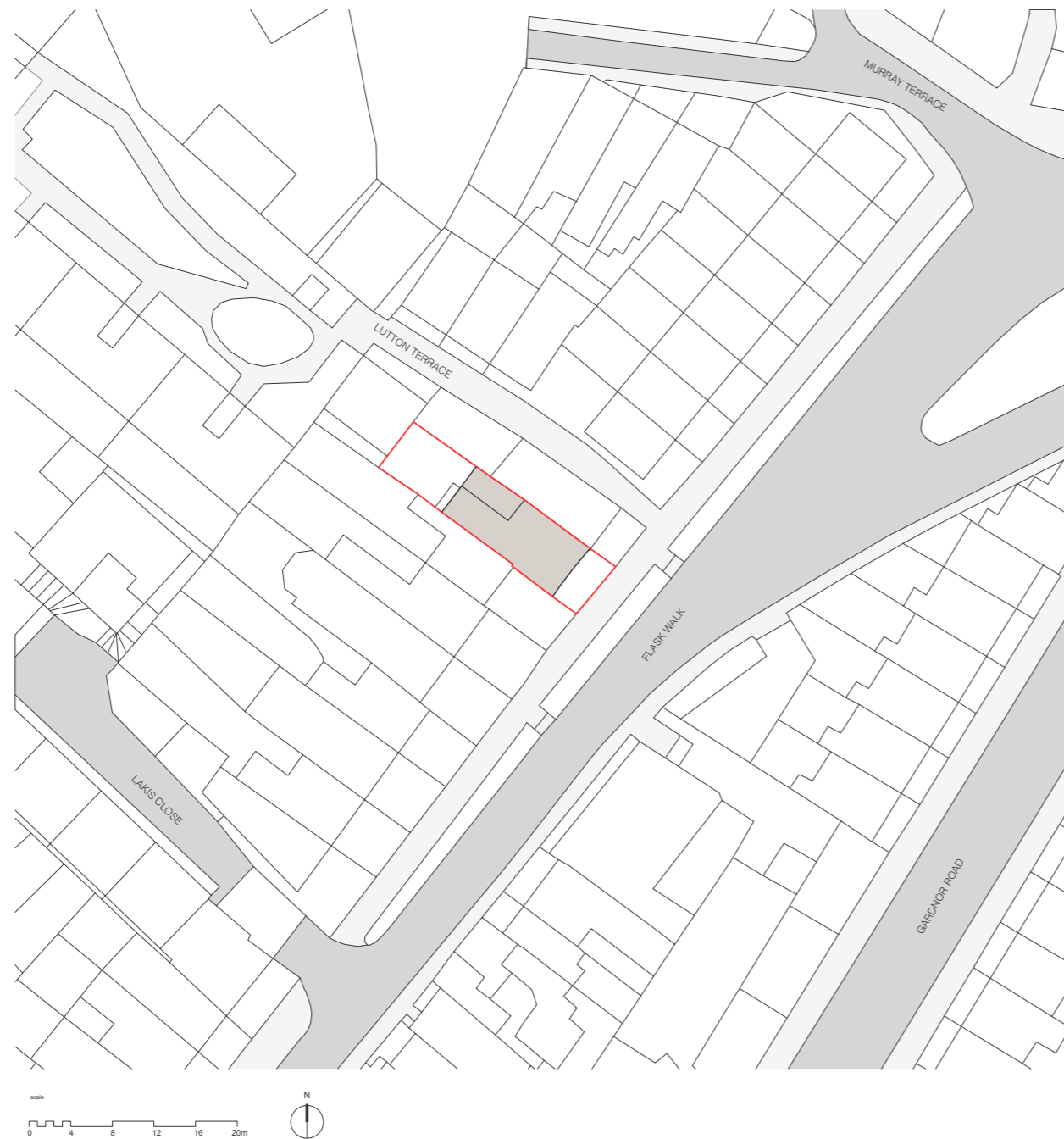




Fig 1: Proposed site plan
site boundary shown in red



1.0 Introduction

This Design and Access Statement has been prepared to provide further detail with regards to the proposed works at 49 Flask Walk, NW3 1HH. The property is a three storey, Victorian house, comprising a single family home. The application site is within the London Borough of Camden and the Hampstead Conservation Area, and is a short walk from Hampstead Village.

This application comprises the following alterations:

- Reconstruction + alteration of existing three storey rear extension
- Alterations to rear fenestration
- Ground floor side infill extension and new rear bay window
- Mansard roof extension and terrace
- New bin store below front garden

The construction works associated with the above application have not yet been carried out and their extents are illustrated within this application.

2.0 Context

The property falls within Sub Area 2 of the Conservation Area (Hampstead Conservation Area Statement, page 17) and is not listed, nor noted in the character appraisal (page 22-23). It is, however, identified as a “building that makes a positive contribution to the special character and appearance of the area” within the Conservation Area Audit (page 52).

Flask Walk is characterized by a widely mixed street scape, with properties diverse in design, age, character, proportion, material and detail. Construction dates range from the early 19th century to the 1970s with development and

alterations of the area continuing to present day. As a result of this and the dramatic topography of the area, there is a lack of uniformity in building heights, mass and aesthetic.

49 and 51 Flask walk were built together in the first half of the 19th century and adjoin a terrace of older, listed properties to the South-West. The front elevation of the property is nearly a mirror of 51 Flask Walk. The symmetry is disrupted by an access gate for a side passage leading to the entrance to 47 Flask Walk. As a result, the ground floor of the house is narrower with the 1st and 2nd floor of the building extending over the side passage forming a ‘flying freehold’.

The building is constructed from brick with traditional timber windows. The front facade has a flat parapet concealing a butterfly roof. The back facade has been rendered and has no parapet with the profile of the roof visible. An original outrigger extends out from the rear of the property 2.3m at the same height as the main roof.

The house is generally in a poor state of repair and is showing signs of age, with significant bowing of floors and the front facade. It has undergone a number of alterations since construction, the most significant being a three storey rear extension. Built around the middle of the 20th century the extension deviates dramatically from traditional detailing and construction methods of the host building and surrounding context.

The adjoining properties have also been heavily altered with large rear extensions and dense development. The garden is overshadowed by a large extension to 47 Flask Walk to the south and looks out onto the three storey gable wall of Number 4 Luton Terrace on the rear boundary.

Fig 2: Aerial view of site and surroundings



Fig 3: Aerial view of site and surroundings



(from left to right)

Fig 4: View of front boundary of application site from Flask Walk footpath

Fig 5: View of front elevation of 49 Flask Walk from footpath

Fig 6: View of 49 and 51 flask walk from road

Fig 7: View of front and side elevation of 49 flask walk from road



(from left to right)

Fig 8: View of rear elevation from garden showing three storey extensions to 49 and 47 Flask Walk on right and balustrade on 47 Flask Walk roof terrace



Fig 9: View of rear of 51 Flask Walk showing extension abutting boundary wall



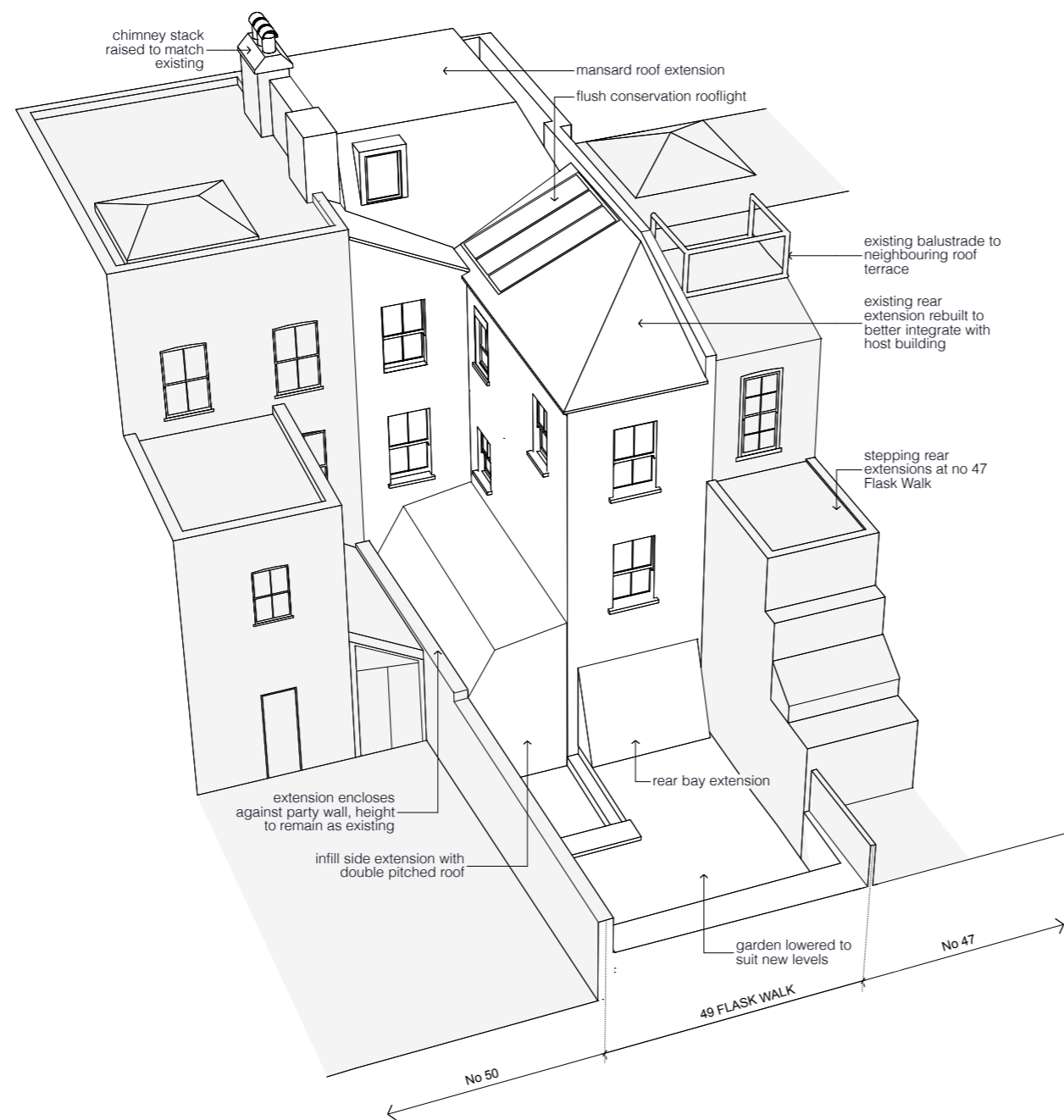
Fig 10: View of side elevation showing existing three storey extension interfacing with original outrigger and incongruous glazing



Fig 11: View of rear of garden, showing 4 Lutton Terrace abutting boundary and New Court (left of image)



Fig 12: Proposed axonometric image illustrating proposals to rear of property



3.0 Design

The proposals at 49 Flask Walk were conceived with the aim of adapting the property for contemporary family life, whilst maintaining and enhancing the historic character of the existing house and conservation area.

3.1 Reconstruction + Alteration of Existing Three Storey Rear Extension

Camden's SPG policy on rear and side extensions states, in order for a new extension to be subordinate to the original dwelling, its height and depth should respect the existing common pattern of rear extensions at neighbouring sites.

Flask Walk is characterised by a number of rear and side extensions. Of particular relevance is the application at 45 Flask Walk (ref: 2016/3900/P) where permission was granted for a similar extension to that proposed at 49 Flask Walk. The proposed development at number 49 elevates the dwelling in a subordinate manner to the original built form, in keeping with the established height, depth and character of rear extensions along Flask Walk.

The Council's 'Design' SPG concerning 'heritage', in accordance with London Plan Policy 7.8, states that the council will make a balanced judgment with regard to the scale of any harm or loss and the significance of the asset/s affected.

The existing three storey extension is to be removed and rebuilt in a manner that is in keeping with the host building. Externally, the rhythm, language and detailing of the original facades will be replicated on the new extension. Treating this in a holistic manner, rather than a separate entity, allows for more rational internal and external integration with the house and eliminates awkward spaces, junctions and stylistic clashes.

The development is in line with the Council's SPG on heritage and London Plan Policy 7.8 and is therefore considered acceptable.

Policy D1 'Design' of Camden's Local Plan outlines the importance of securing high quality design in development. Proposals should seek to secure a high standard of accommodation for future occupiers and employ details and materials of high quality to complement the local character. The massing of the proposal has been adjusted to follow the pitch of the original outrigger, regularising the roof form, guttering and parapets. This will eliminate poor internal ceiling heights (2.1m in the existing kitchen) and ensure a more unified visual and functional relationship with the host building.

Rebuilding this element will also ensure a more robust building of higher quality. The new extension will be built to best practice and achieve current standards of thermal efficiency. The development is considered acceptable as it is in line with Policy D1 of the Local Plan.

3.2 Ground Floor Rear and Side Extensions

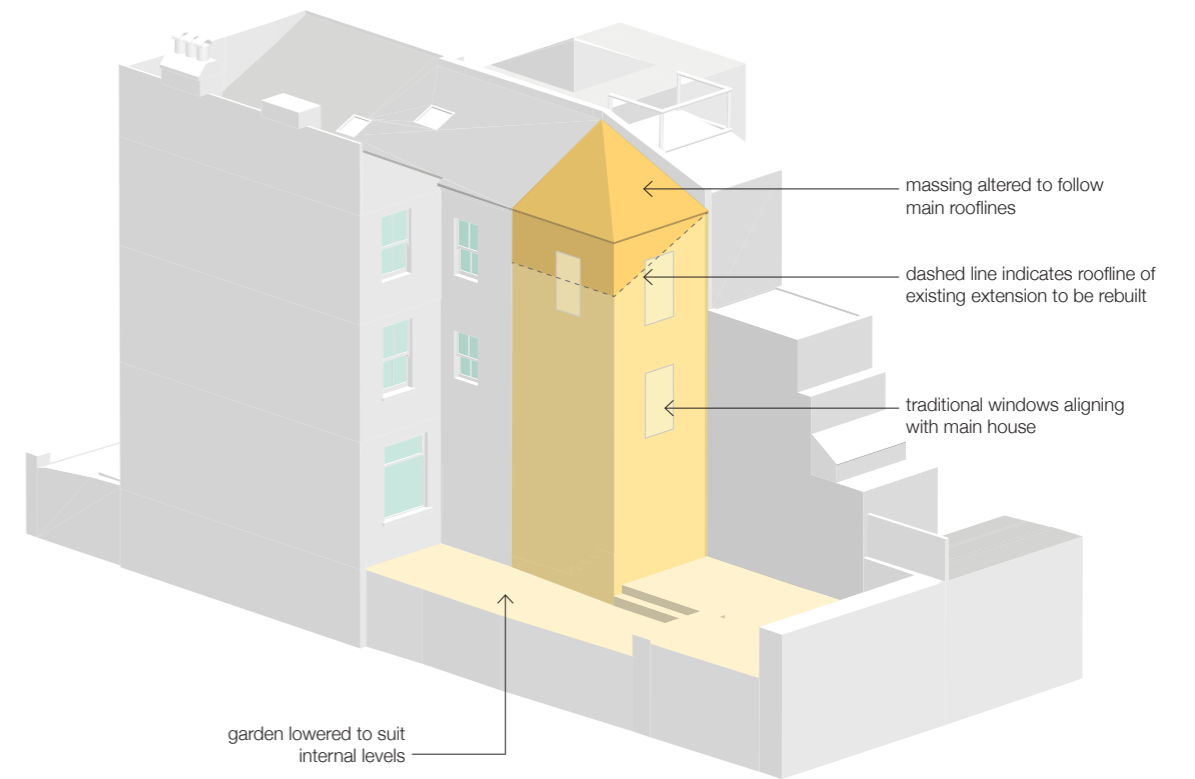
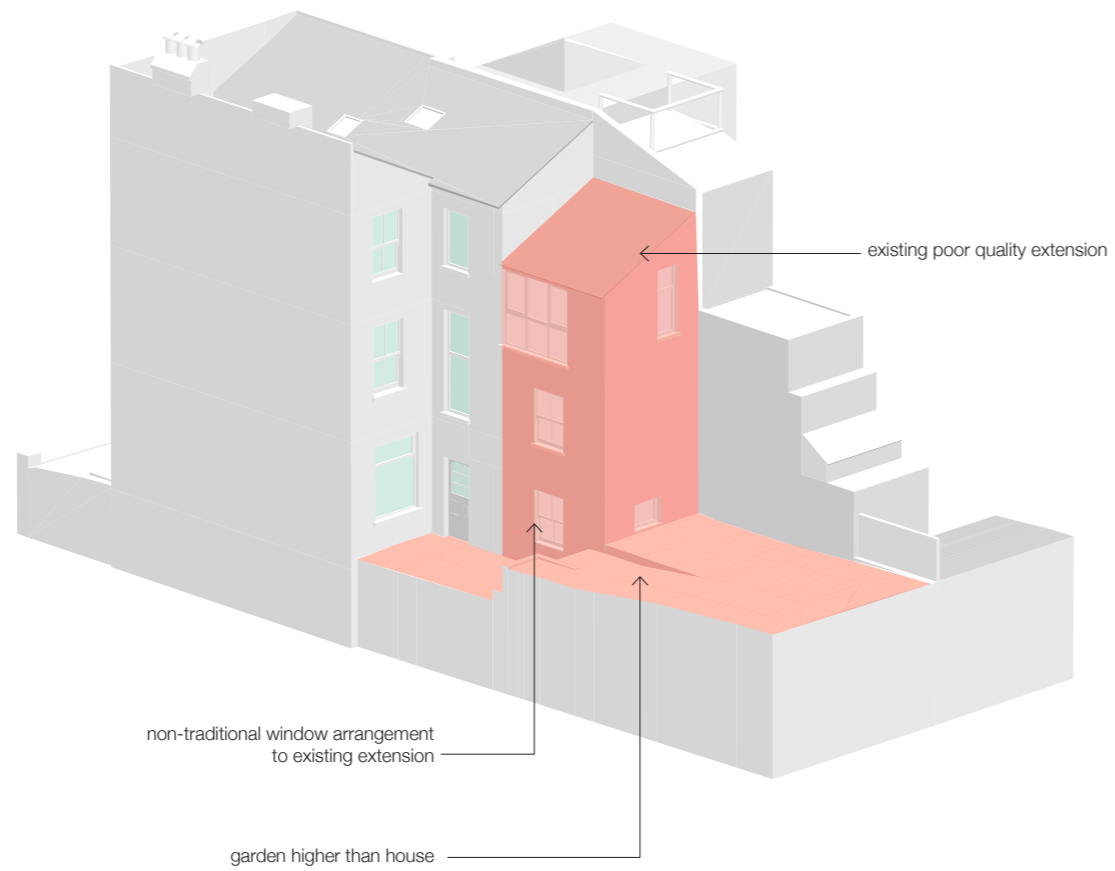
Policy A1 'Managing the impact of development', of the Local Plan and London Plan Policy 7.6, seeks to protect the quality of life for occupiers and neighbours by ensuring that permission is only granted when no harm to amenity is caused.

To maximise the quality of internal amenity, the side extension has a double pitched roof to ensure sufficient light into the open plan kitchen, dining, living space. The pitched roof slopes down to the existing boundary wall, retaining the current height. This ensure no impact is made on neighbouring amenity regarding overshadowing or

(left to right)

Fig 13: existing property highlighting areas of demolition

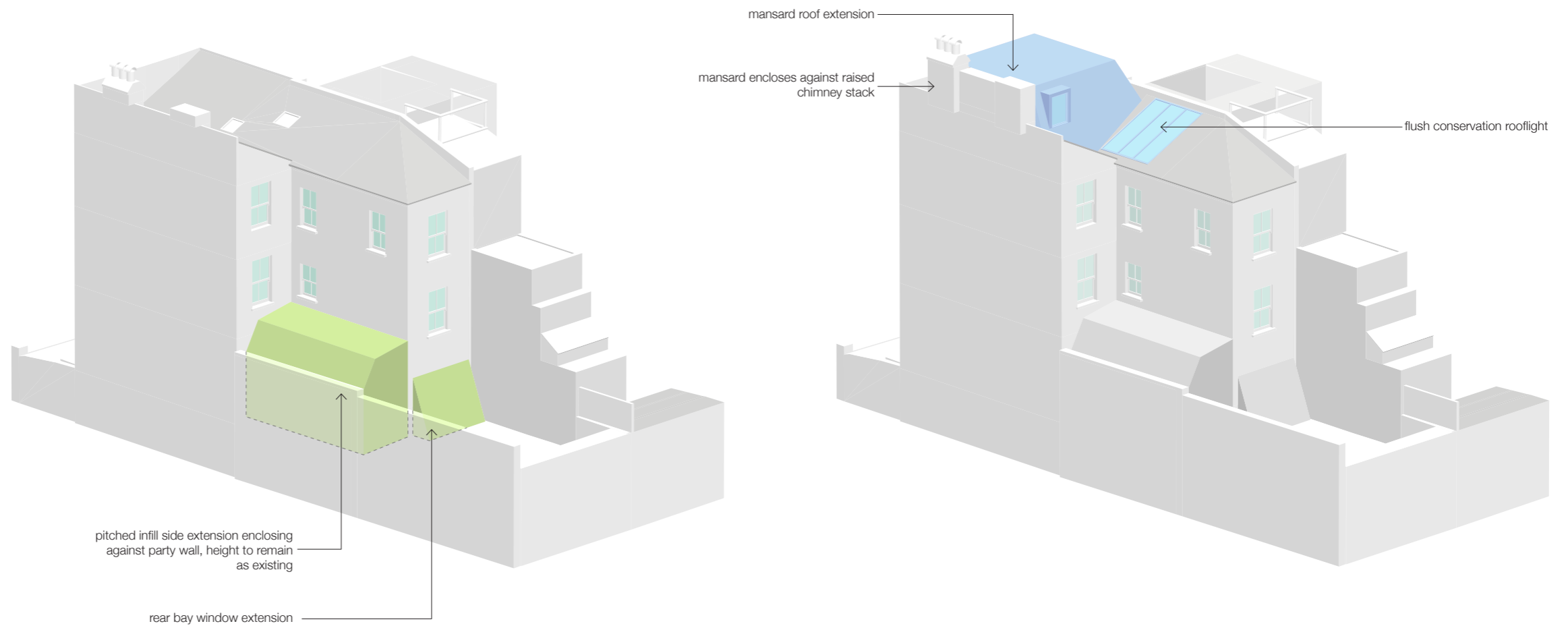
Fig 14: new three storey extension and external levels



(left to right)

Fig 15: new rear extensions

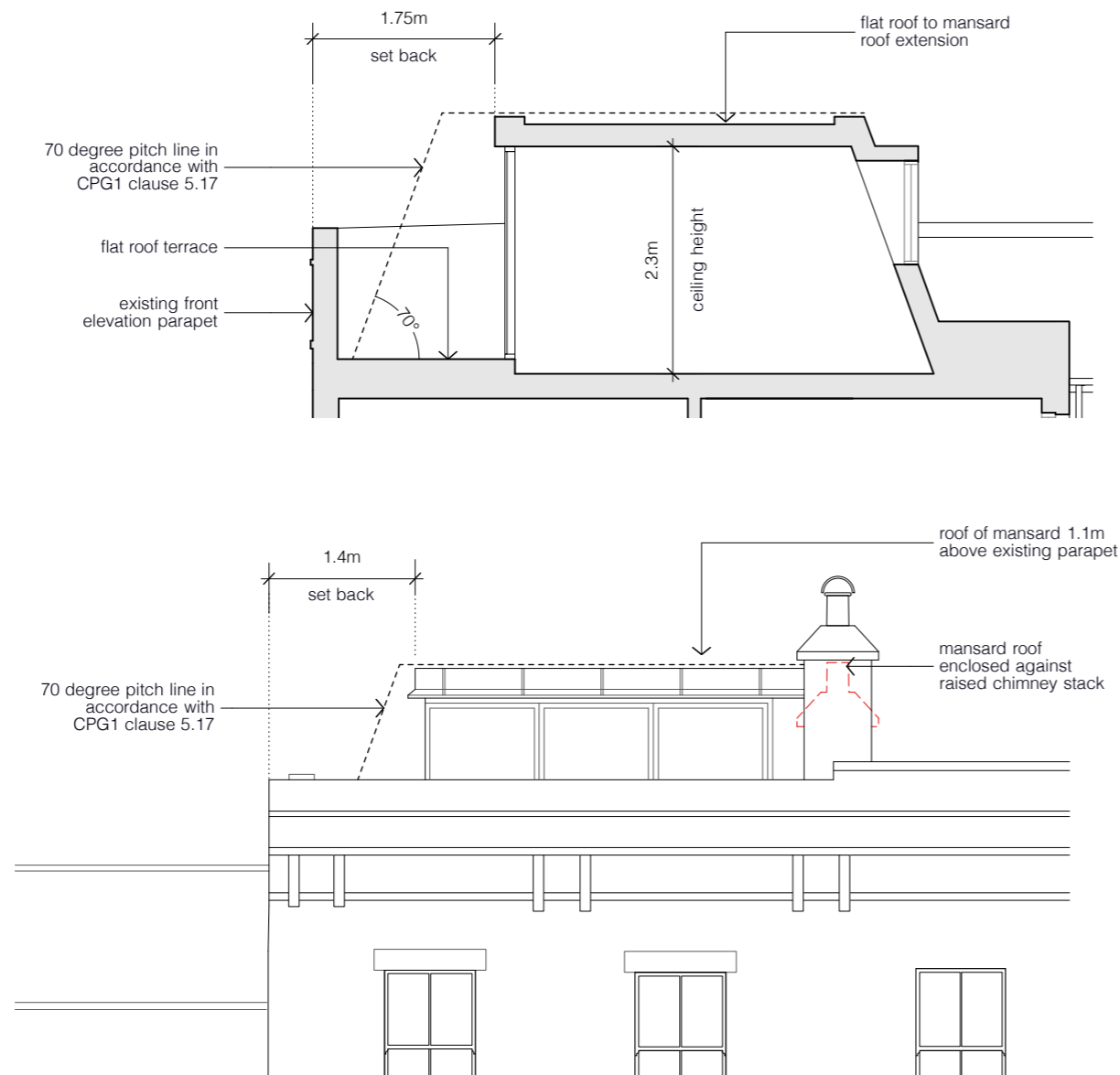
Fig 16: new skylight and mansard roof extension



(from top)

Fig 17: Proposed section of mansard extension

Fig 18: Proposed front elevation of mansard



access to sunlight or daylight.

The rear ground floor level of the property will be lowered to further improve the quality of the internal space, protecting neighbouring amenity by ensuring that privacy and outlook remain unaffected. The glazed façade will achieve maximum light within the ground floor extension, whilst enhancing the physical and visual links between the house and garden. The glazing does not overlook adjacent properties and will not affect privacy of neighbouring dwellings.

The proposal is in line with Policies A1 and D1 of the Local Plan, London Plan Policy 7.6, and therefore acceptable.

3.3 Roof Alterations

A mansard roof extension is proposed to the existing butterfly roof. Mansards roofs are a typical form of development in the area. Numbers 30, 34, 36 Flask Walk and further precedents on the adjacent Gardenor Road exemplify mansard typology. These have been commented upon in the Hampstead Conservation Area Character Appraisal (page 23) as being successful where the *“set back of the mansard is appropriately designed to reduce the impact of the extension”*.

Camden’s SPG on ‘Altering and Extending your Home’ provides a number of criteria for acceptable roof extensions. There is a broad variation of building types and differing roof heights along Flask Walk and in the immediate locality meaning that the development at roof level is not considered to deviate from an established pattern. In this regard, the development adheres to Camden’s Conservation Area Appraisal as it reflects its local context which is characterised by varying roof heights, styles and architecture.

The SPG requires all alterations to retain the overall integrity of the roof form. Specific guidance on mansards for butterfly roofs states that the rear v-shaped parapet must be retained, and new roof additions must start from behind the parapet at existing hopper-head level. The proposal retains the rear v-shaped parapet, and the figures opposite show the mansard as substantially set back from the front and side parapet, ensuring the roof form remains unaffected from the street scene. Visuals Figs 22-27 demonstrate that the proposed roof extension will barely be visible from the street scene.

The perimeter of the roof is proposed as a terrace accessed from the new top floor. There are a number of successful roof terrace additions within the surrounding area, namely at numbers 38, 50 and 63 Flask Walk, and 16 Gardenor Road (see figures 2 and 3). Sunken below the parapet wall, the proposal will not require any additional balustrade and will have no visual impact on the surroundings or be viewable from the street scene.

The development proposes conservation-style roof lights which are flush with the roof slope along the roof of the outrigger. These details ensure no visual impact on the surroundings and further protect neighbouring amenity

The development is in accordance with Camden’s SPG on ‘Altering and Extending your Home’ and specific guidance on Mansard development, complies with Policies A1 and D1 of the Local Plan, and therefore acceptable.

Fig 20: Proposed long section showing proposals within immediate context

