

DRAWING LIST

20th February 2018

24 Church Row PLANNING AND LBC APPLICATION				Sheet No 1 of 1
JOB NO. 0919317/				
Existing and Proposed Drawings				
Draw No	Title			Revision No.
EXISTING PLANS, SECTIONS AND ELEVATIONS				
SU50	Existing Boundary Wall Between 23 and 24	A3	1:50	
SU51	Existing Basement Lightwell Entrance	A3	1:50	
SU52	Existing Garden Plan	A3	1:50	
SU54	Existing Rear Elevation and light well section	A3	1:50	
PROPOSED General Arrangement PLANS, SECTIONS AND ELEVATIONS				
Sk60	Proposed Garden Plan	A3	1:50	
Sk83	Proposed Lower Ground Floor Plan	A3	1:50	
Sk85	Proposed First Floor Plan	A3	1:50	
Sk87	Proposed Third Floor Plan	A3	1:50	
Sk101	Proposed Front Elevation showing Burglar alarm position	A3	1:50	
PROPOSED DETAIL WORKS				
Sk91	Proposed Cupboard Third Floor 3.11	A3	1:5	
Sk94	Proposed Boundary Wall between 23 and 25 Plan and section	A3	1:5	
Sk95	Proposed rear Terrace handrail plan and section	A3	1:50	
Sk99	Proposed Basement Lightwell Entrance	A3	1:25	
Sk100	Proposed Basement Door details BD02(N) and BD02A(N)	A3	1:25	
Sk102	Methodology for First Floor Repairs	A3	1:10	
19886.3.05	Hockley and Dawson Structural engineers Drawing Floor Repairs First floor front Room 1.01	A3	1:50	

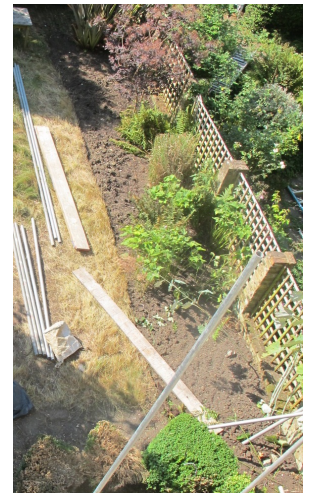
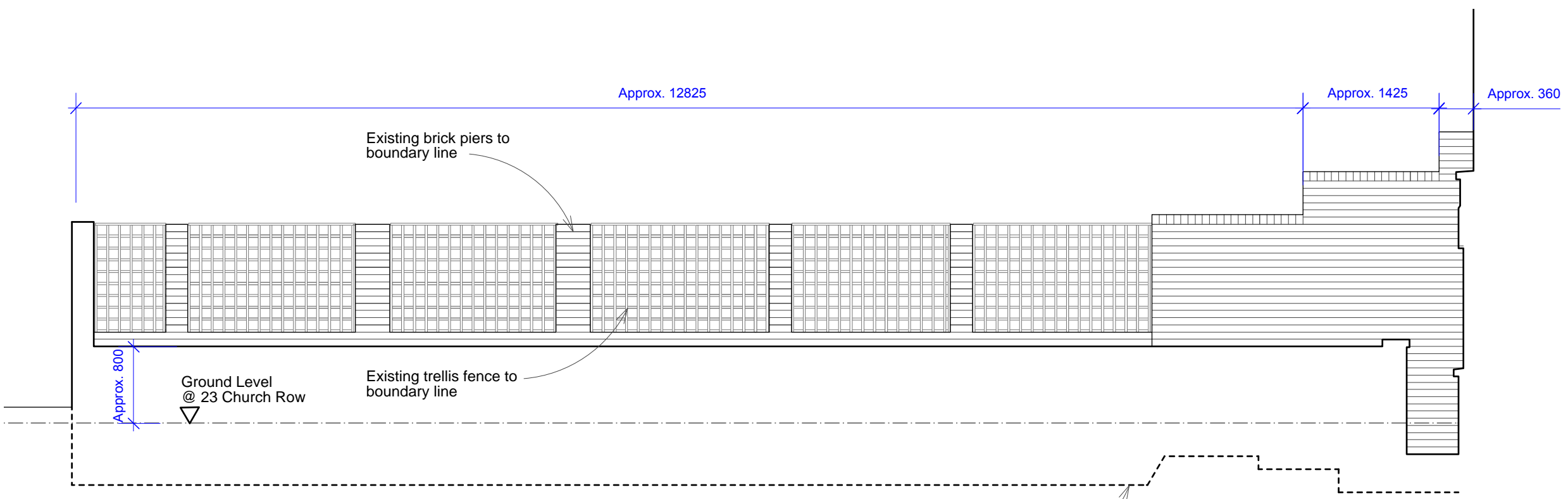
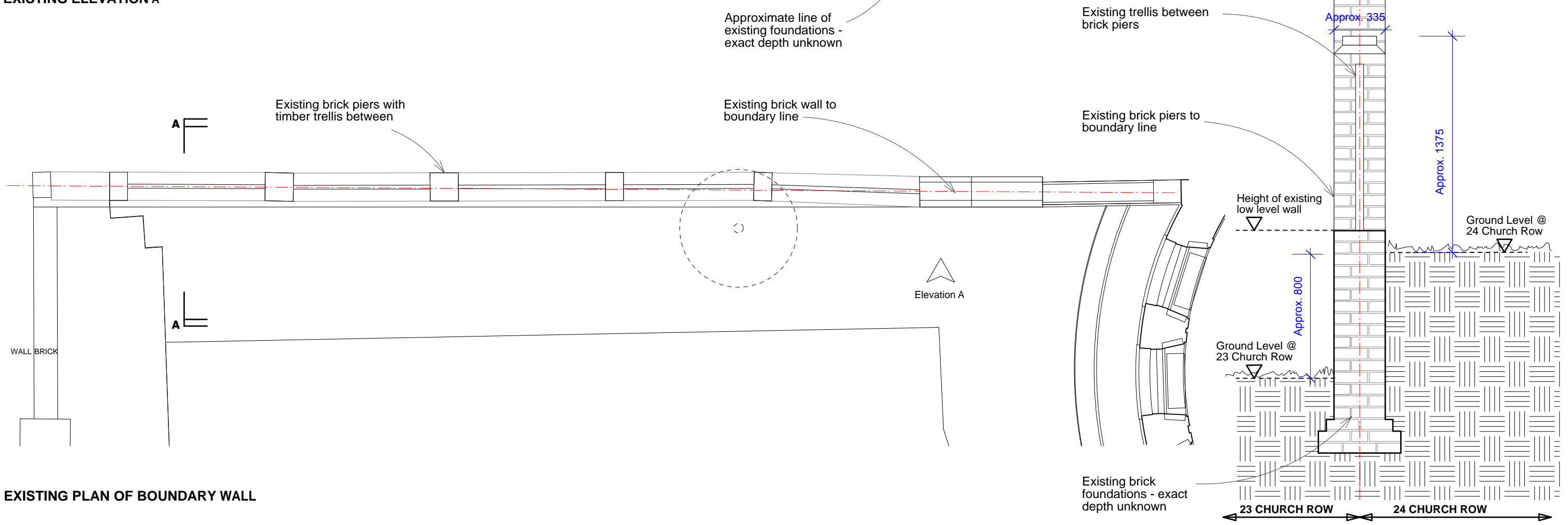


IMAGE OF EXISTING FENCE

EXISTING ELEVATION A



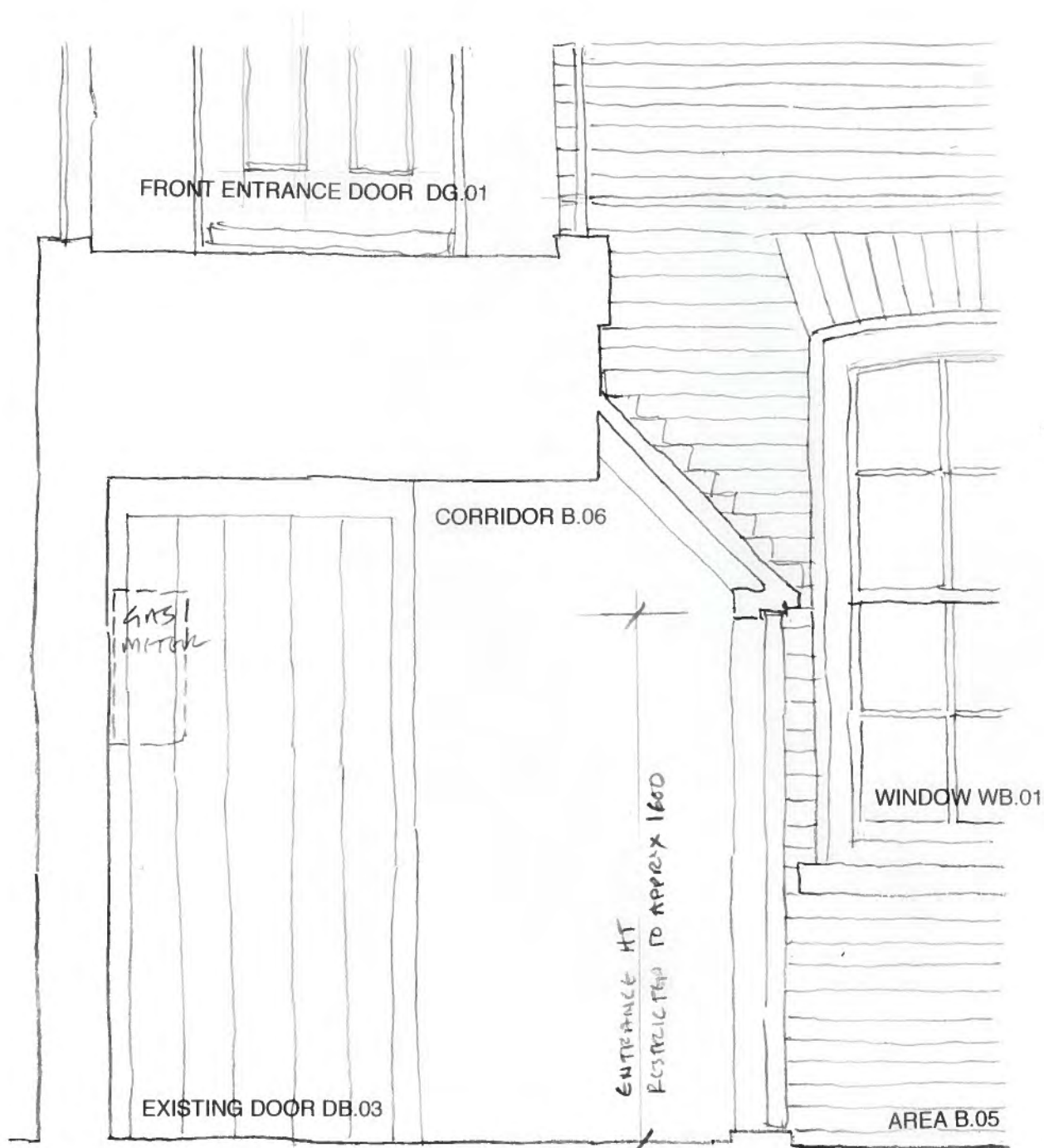
EXISTING PLAN OF BOUNDARY WALL

SECTION AA THROUGH BOUNDARY WALL 1:25

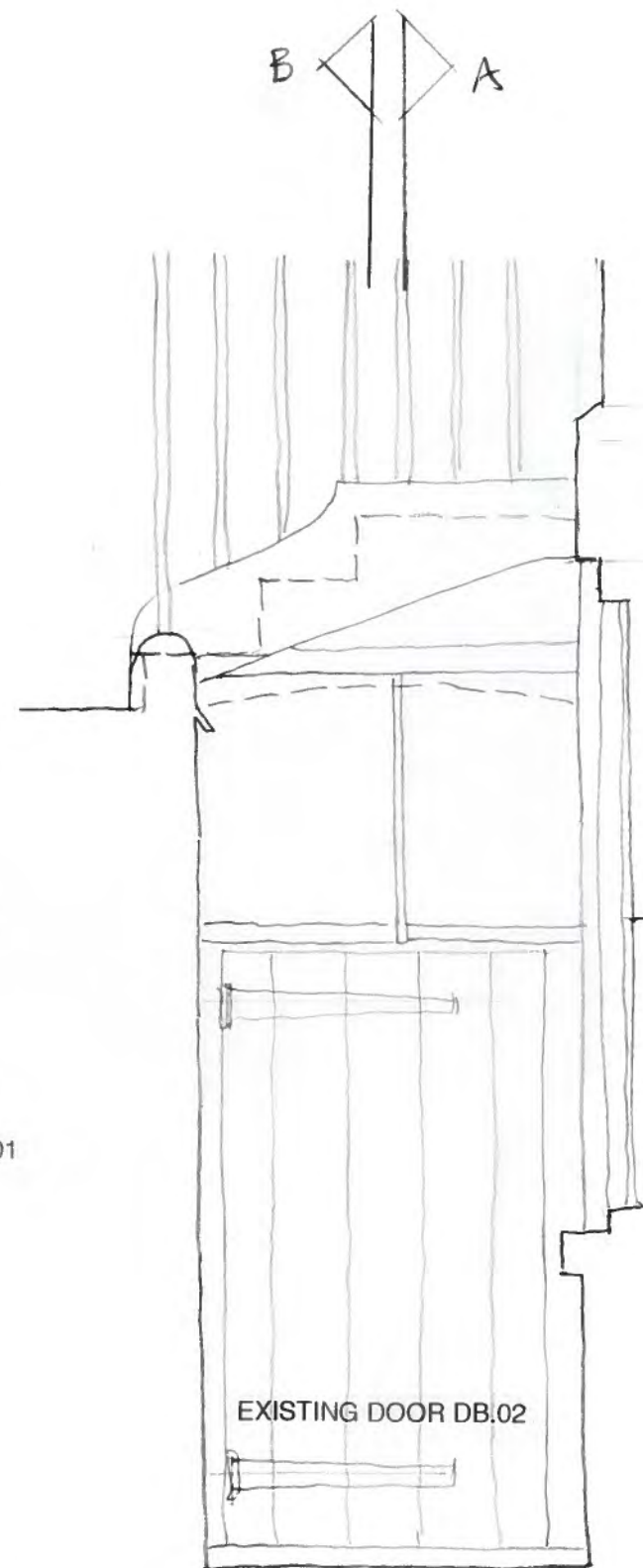
DO NOT SCALE check all dimensions on site 1 : 50
 0 1m 5m

EXISTING BOUNDARY WALL
 Butler Hegarty Architects
 Unit 208 A2, 159-163 Marlborough Road, London, N19 4NF
 tel: 020 72638933 email: mail@butlerhegartyarchitects.co.uk

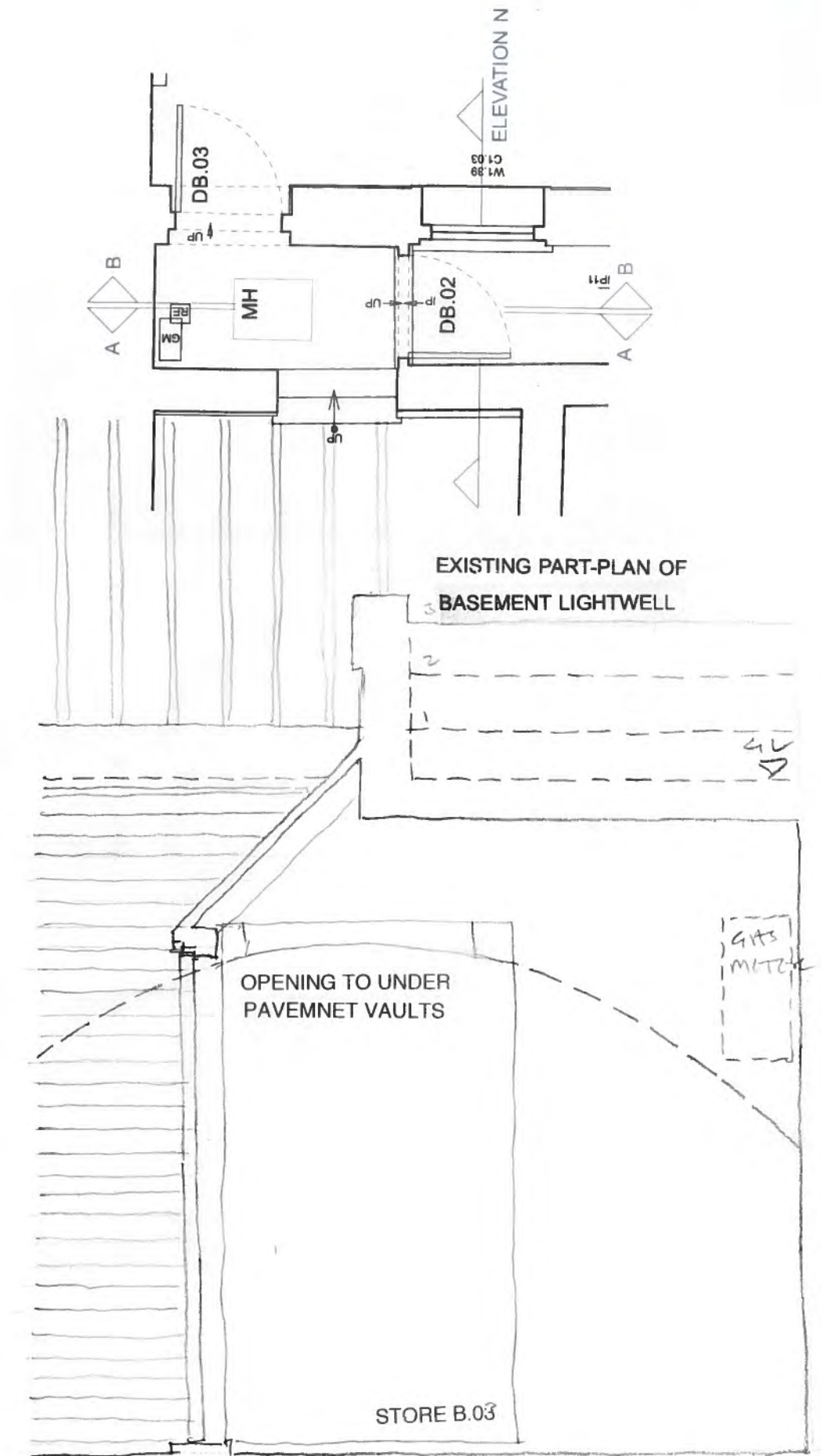
24 Church Row
 Title: Existing Boundary Wall Elevation, Plan and Section
 Drawing No: 0919317/Su50 Scale 1: 50 @ A3



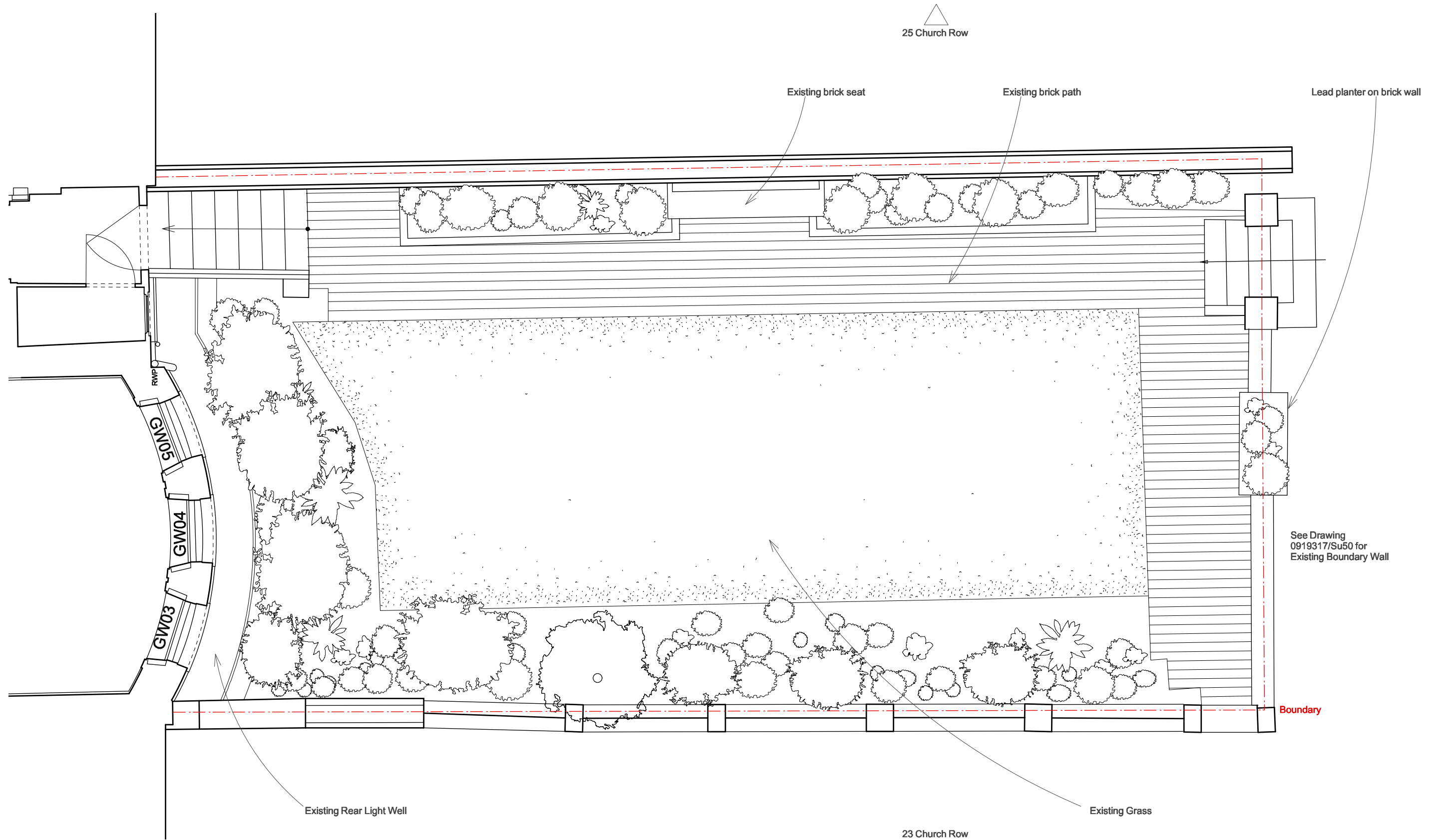
SECTION B TOWARDS 24 CHURCH ROAD



ELEVATION OF BASEMENT LIGHTWELL ENTRANCE DOOR



SECTION A TOWARDS PAVEMENT



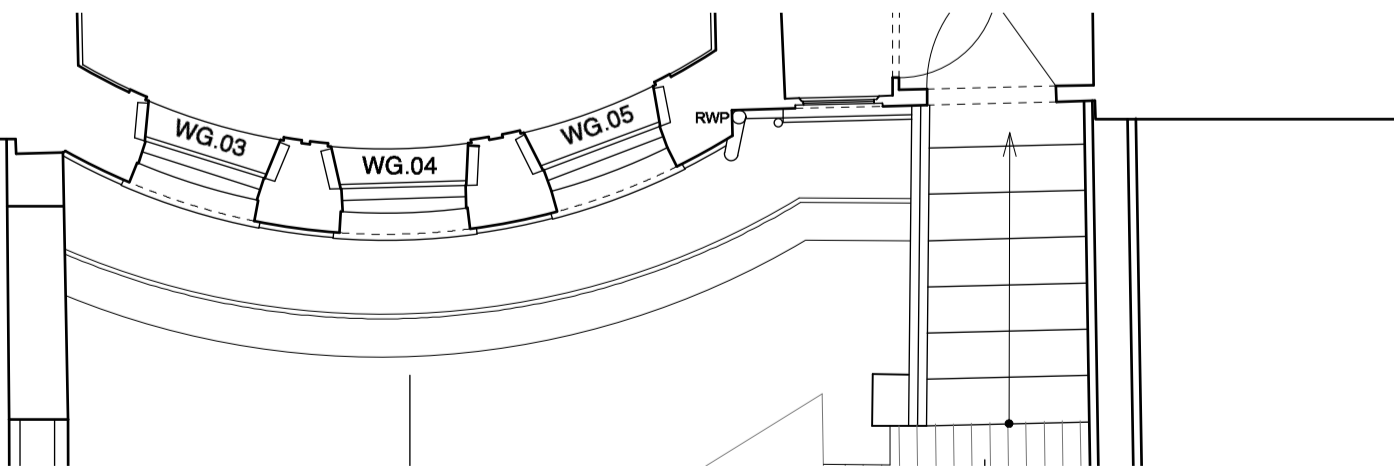
DO NOT SCALE check all dimensions on site

0 1m 5m 1 : 50

EXISTING GARDEN PLAN

Butler Hegarty Architects
 Unit 208 A2, 159-163 Marlborough Road, London, N19 4NF
 tel: 020 72638933 email: mail@butlerhegartyarchitects.co.uk

24 Church Row
 Title: Existing Garden Plan
 Drawing No: 0919317/Su52 Scale 1: 50 @ A3

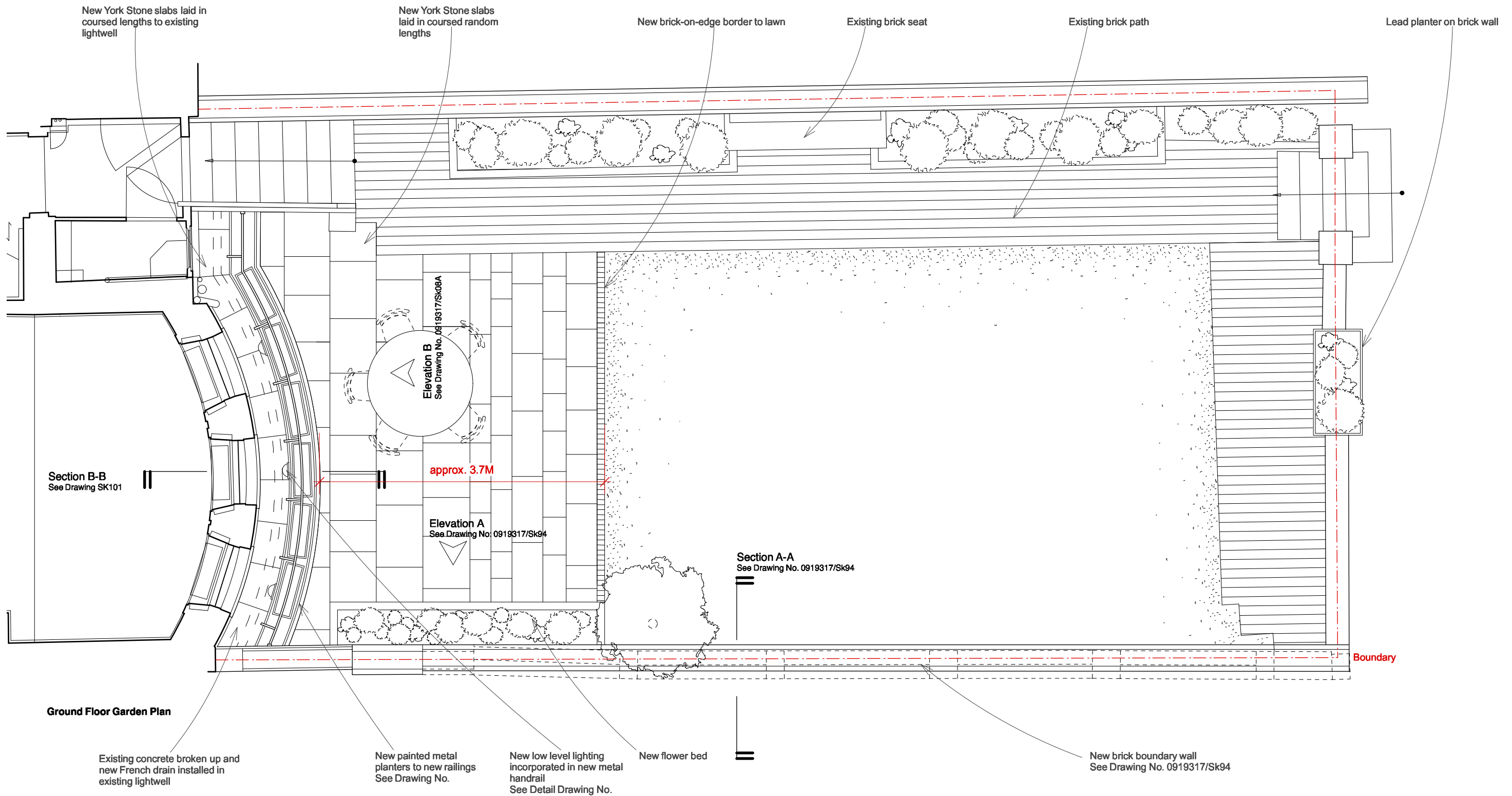


DO NOT SCALE check all dimensions on site 1 : 50
 0 1m 5m

EXISTING REAR TERRACE

Butler Hegarty Architects
 Unit 208 A2, 159-163 Marlborough Road, London, N19 4NF
 tel: 020 72638933 email: mail@butlerhegartyarchitects.co.uk

24 Church Row
 Title: Existing Rear Terrace Plan, Section & Elevation
 Drawing No: 0919317/Su54 Scale 1: 50 / 25 / 10@ A3



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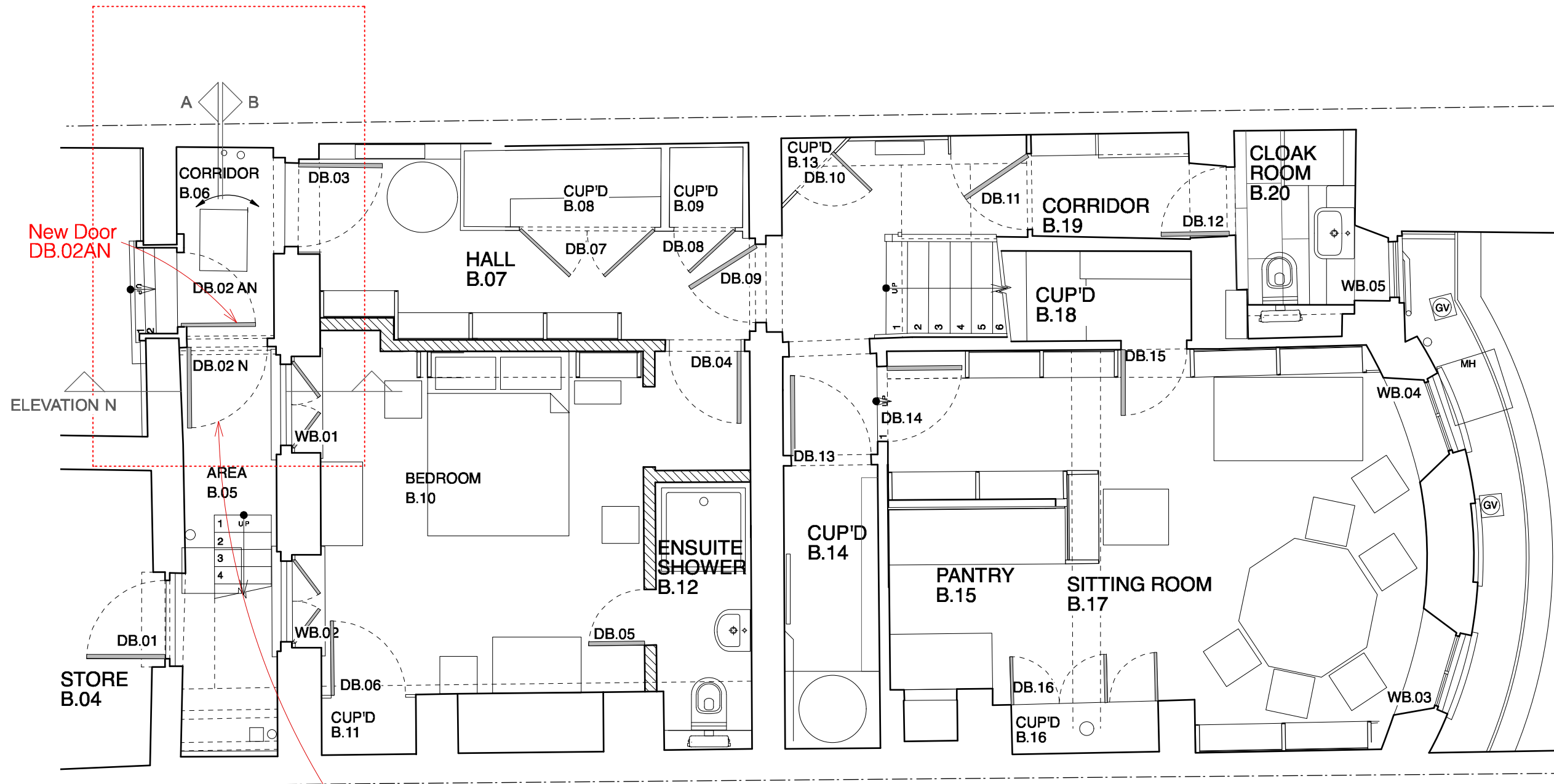


GARDEN HARD LANDSCAPING SETTING OUT

Butler Hegarty Architects
 Unit 208 A2, 159-163 Marlborough Road, London, N19 4NF
 tel: 020 72638933 email: mail@butlerhegartyarchitects.co.uk

24 Church Row
 Title: Garden Plan
 Drawing No: 0919317/Sk60 Scale 1: 50 @ A3

See Detail Drawings SU51, SK99 and SK100



New Entrance Door
DB.02N
See Detail Drawings
SK99 and SK100

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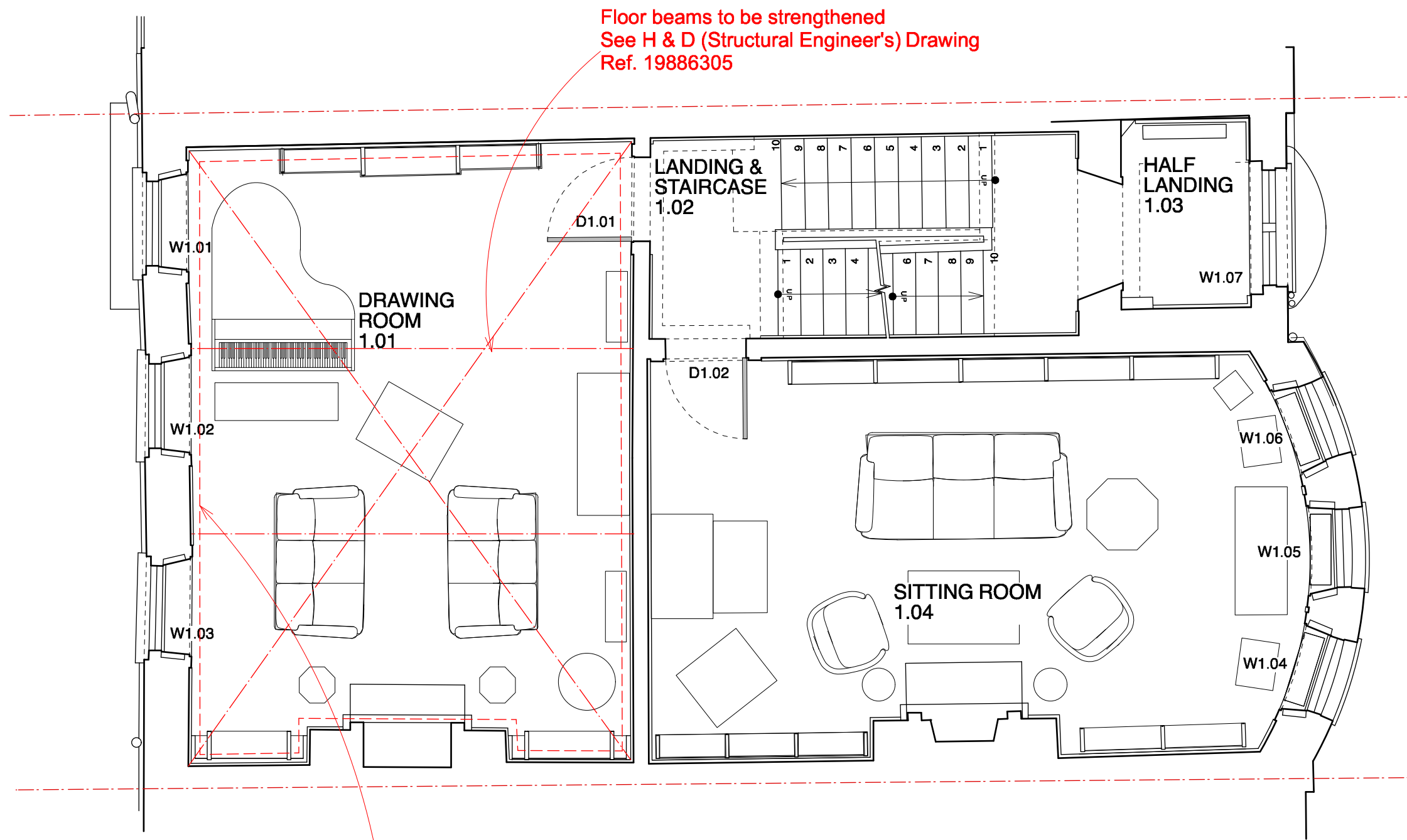


LOWER GROUND FLOOR PLAN

Butler Hegarty Architects
Unit 208 A2, 159-163 Marlborough Road, London, N19 4NF
tel: 020 72638933 email: mail@butlerhegartyarchitects.co.uk



24 Church Row
Title: Proposed Lower Ground Floor Plan
Drawing No: 0919317/Sk83 Scale 1: 50 @ A3



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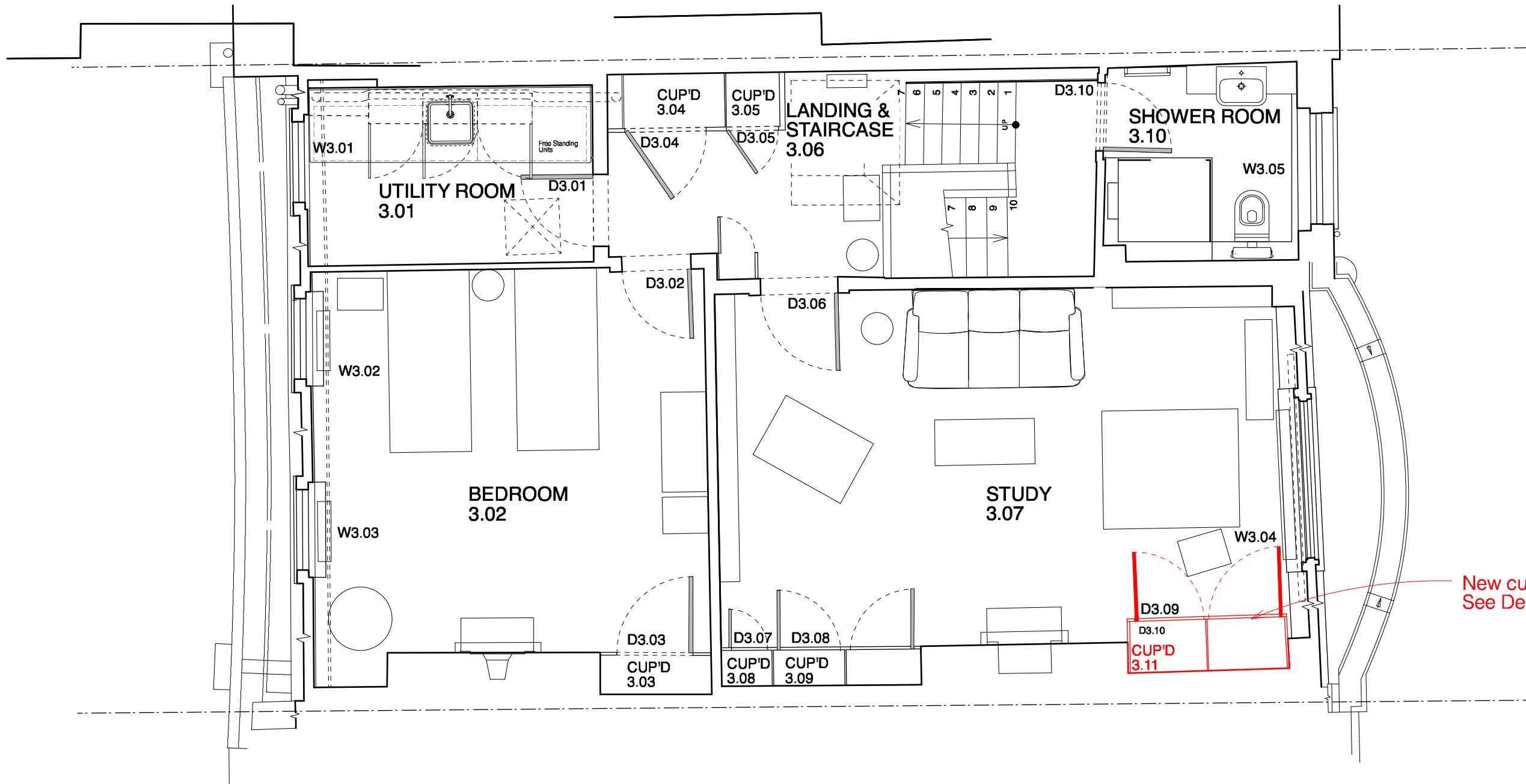
1 : 50

FIRST FLOOR PLAN

Butler Hegarty Architects
 Unit 208 A2, 159-163 Marlborough Road, London, N19 4NF
 tel: 020 72638933 email: mail@butlerhegartyarchitects.co.uk



24 Church Row
 Title: Proposed First Floor Plan
 Drawing No: 0919317/Sk85 Scale 1: 50 @ A3



New cupboard 3.11
See Detail Drawing SK91

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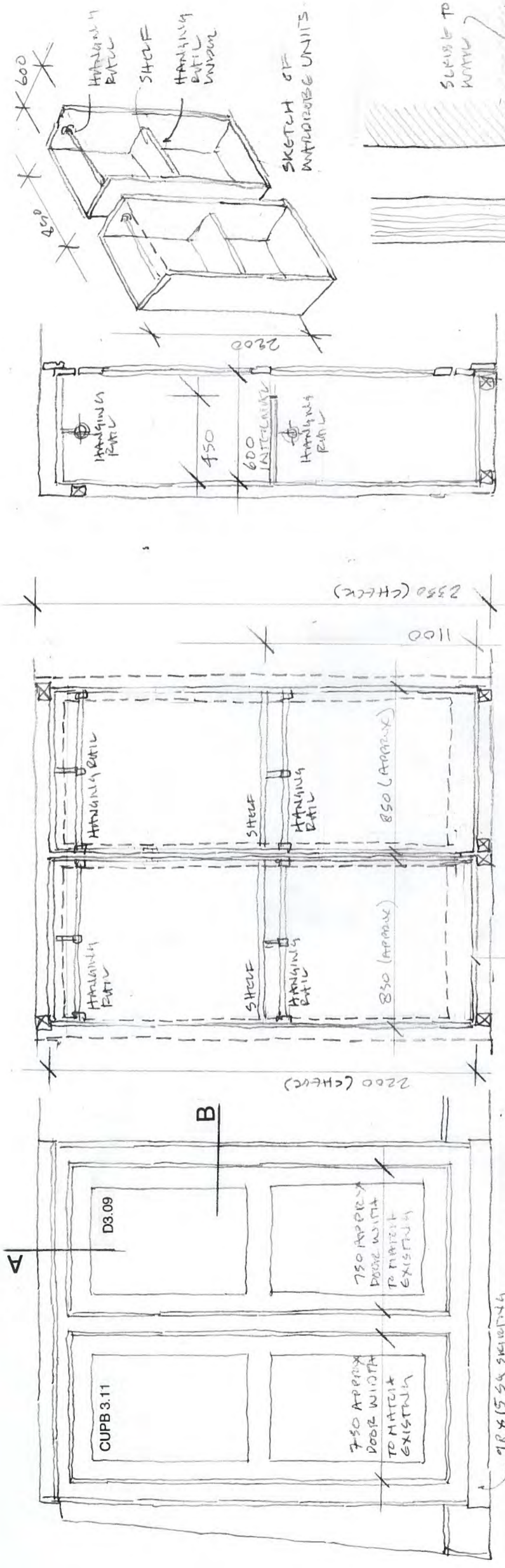


THIRD FLOOR PLAN

Butler Hegarty Architects
Unit 208 A2, 159-163 Marlborough Road, London, N19 4NF
tel: 020 72638933 email: mail@butlerhegartyarchitects.co.uk



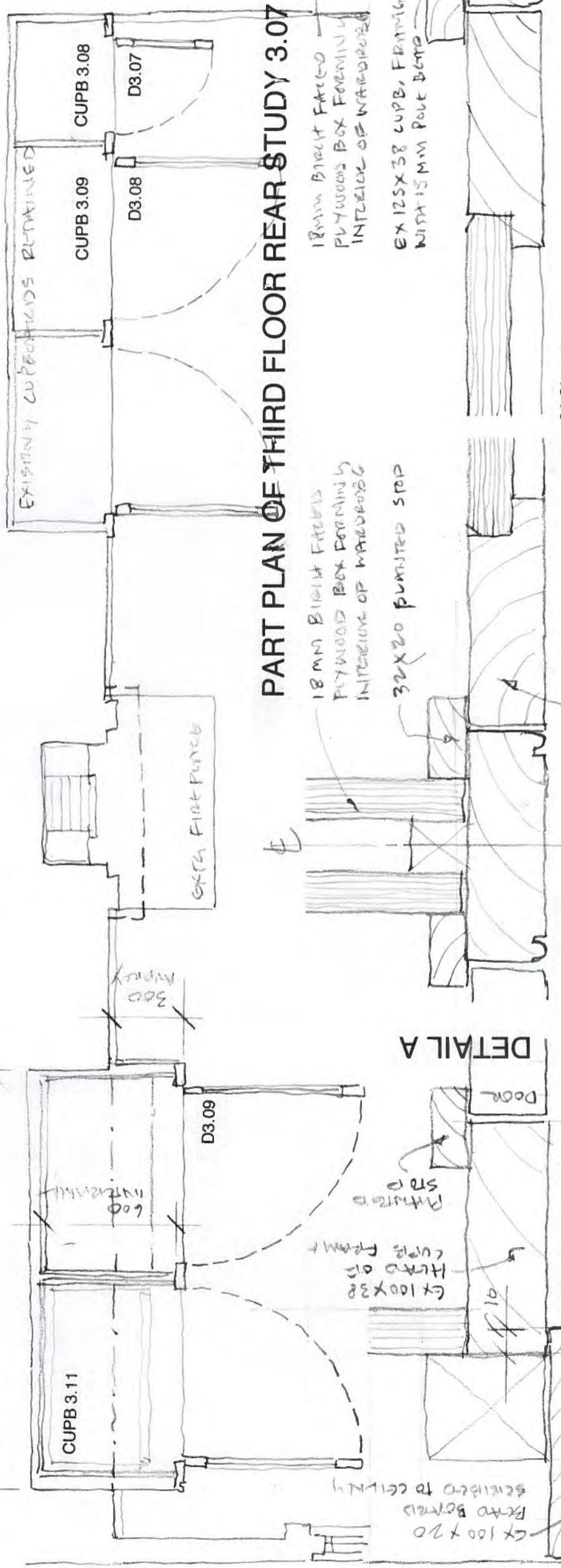
24 Church Row
Title: Proposed Third Floor Plan
Drawing No: 0919317/Sk87 Scale 1: 50 @ A3



ELEVATION OF CUPBOARD 3.11

SECTION CUPB.

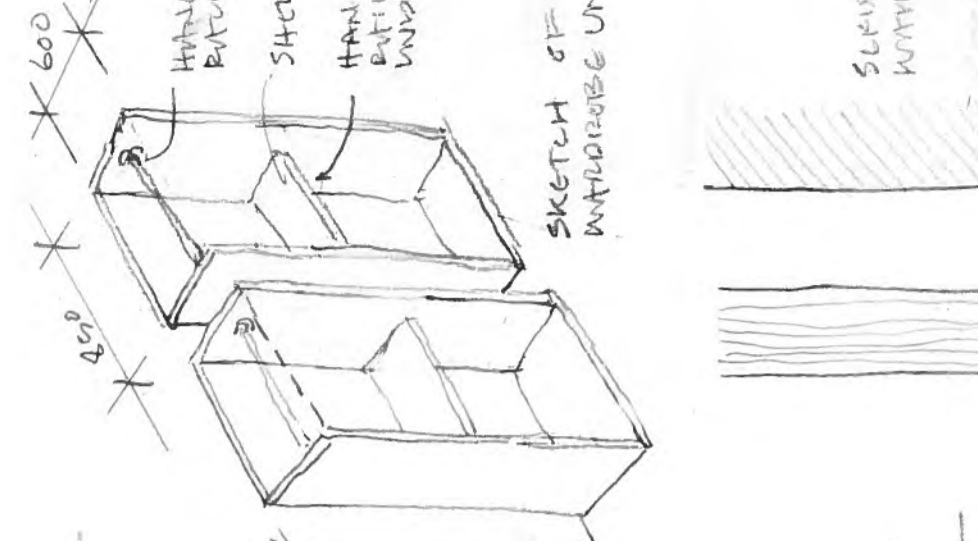
PART PLAN OF THIRD FLOOR REAR STUDY 3.07



DETAIL A

DETAIL B

PART PLAN OF THIRD FLOOR REAR STUDY 3.07



SKETCH OF WARDROBE UNITS

750 APPROX DOOR WIDTH TO MATCH EXISTING

750 APPROX DOOR WIDTH TO MATCH EXISTING

1800 (HEIGHT) (SEE 5/10)

98 x 1554 (WIDTH)

2200 (CHECK)

2350 (CHECK)

1100

850 (APPROX)

850 (APPROX)

SHAKE TO MATCH

APPLY 300 SCREWS TO WALL

EXISTING CUPBOARDS REMAINED

EX 100 X 20 PLYWOOD BOX FORMING TO MATCH EXISTING DOORS

EX 125 X 38 CUPB, FRAMING WITH 15MM PLYWOOD

EX 100 X 20 PLYWOOD BOX FORMING TO MATCH EXISTING DOORS

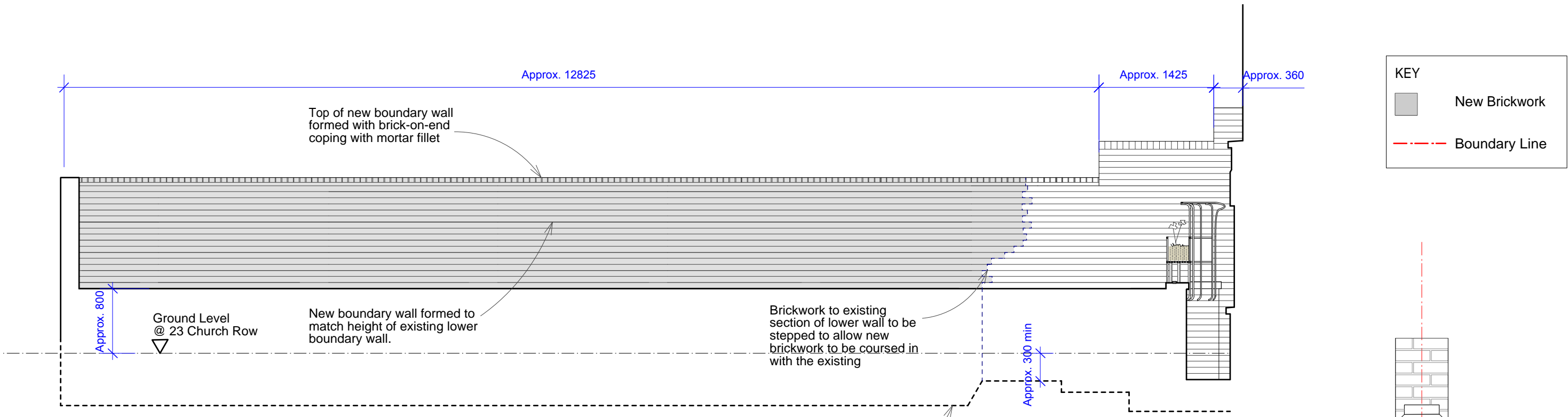
EX 125 X 38 CUPB, FRAMING WITH 15MM PLYWOOD

EX 100 X 20 PLYWOOD BOX FORMING TO MATCH EXISTING DOORS

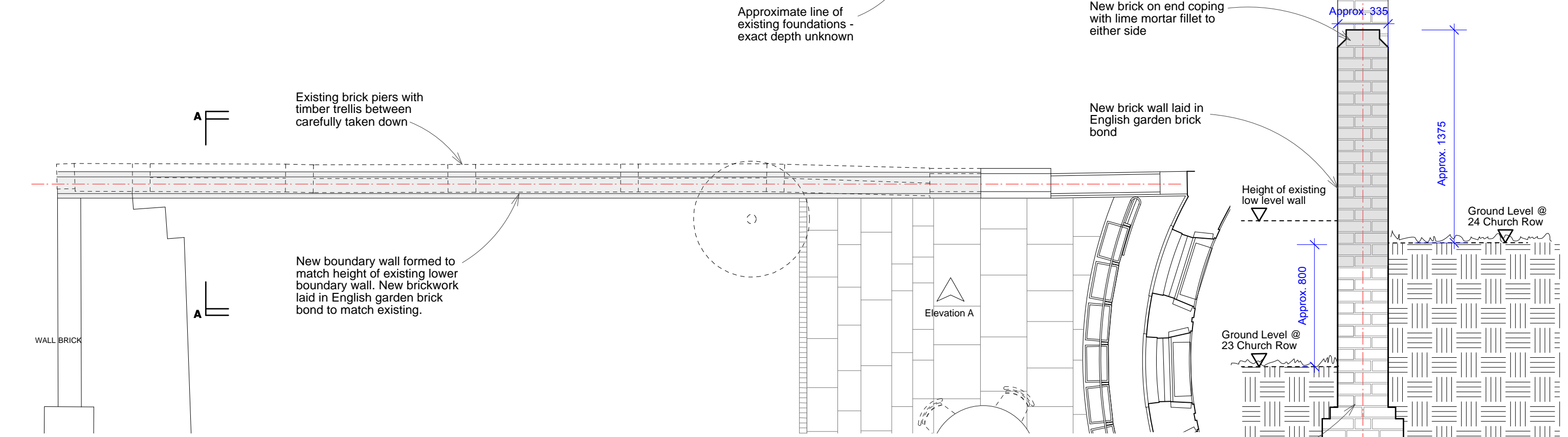
EX 125 X 38 CUPB, FRAMING WITH 15MM PLYWOOD

EX 100 X 20 PLYWOOD BOX FORMING TO MATCH EXISTING DOORS

EX 125 X 38 CUPB, FRAMING WITH 15MM PLYWOOD



PROPOSED ELEVATION A



PROPOSED PLAN NEW BOUNDARY WALL

SECTION AA THROUGH NEW BOUNDARY WALL 1:25

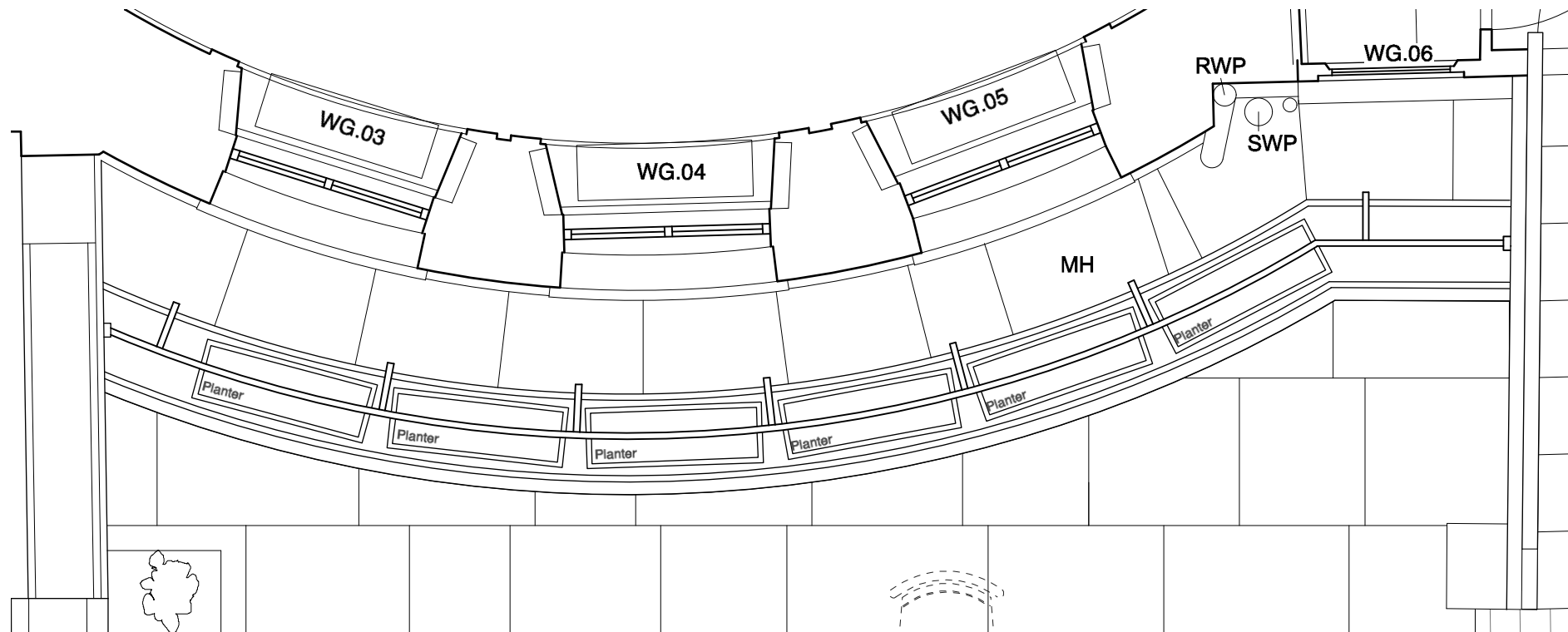
DO NOT SCALE check all dimensions on site 1 : 50
 0 1m 5m

PROPOSED BOUNDARY WALL
 Butler Hegarty Architects
 Unit 208 A2, 159-163 Marlborough Road, London, N19 4NF
 tel: 020 72638933 email: mail@butlerhegartyarchitects.co.uk

24 Church Row
 Title: Proposed Boundary Wall Elevation, Plan and Section
 Drawing No: 0919317/Sk94 Scale 1: 50 @ A3

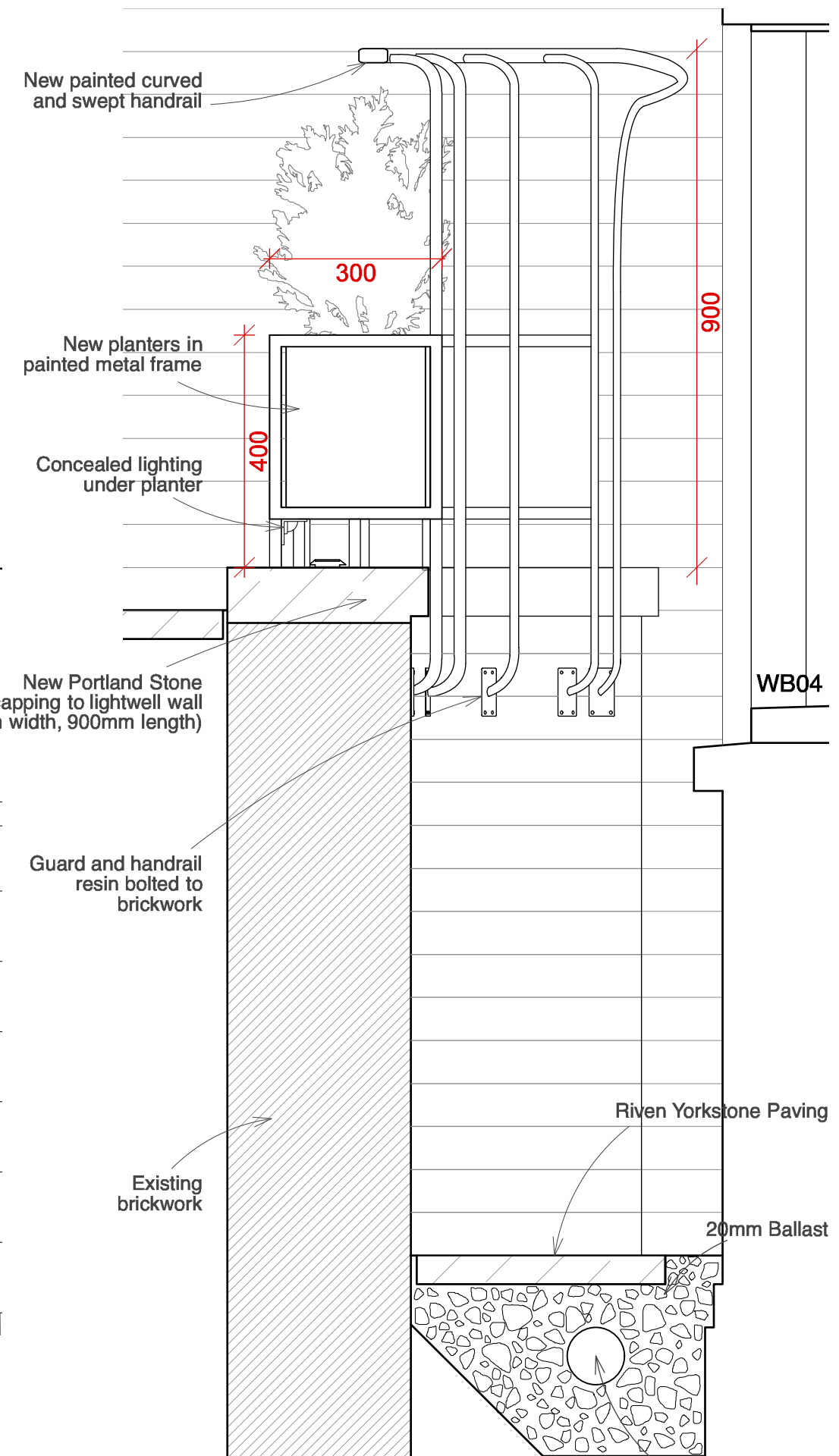


PROPOSED ELEVATION A



PROPOSED PLAN

For complete Proposed Garden Plan
See Drawing 0919317/SK



PROPOSED SECTION B

DO NOT SCALE check all dimensions on site **1 : 50**
0 1m 5m

PROPOSED REAR TERRACE

Butler Hegarty Architects
Unit 208 A2, 159-163 Marlborough Road, London, N19 4NF
tel: 020 72638933 email: mail@butlerhegartyarchitects.co.uk

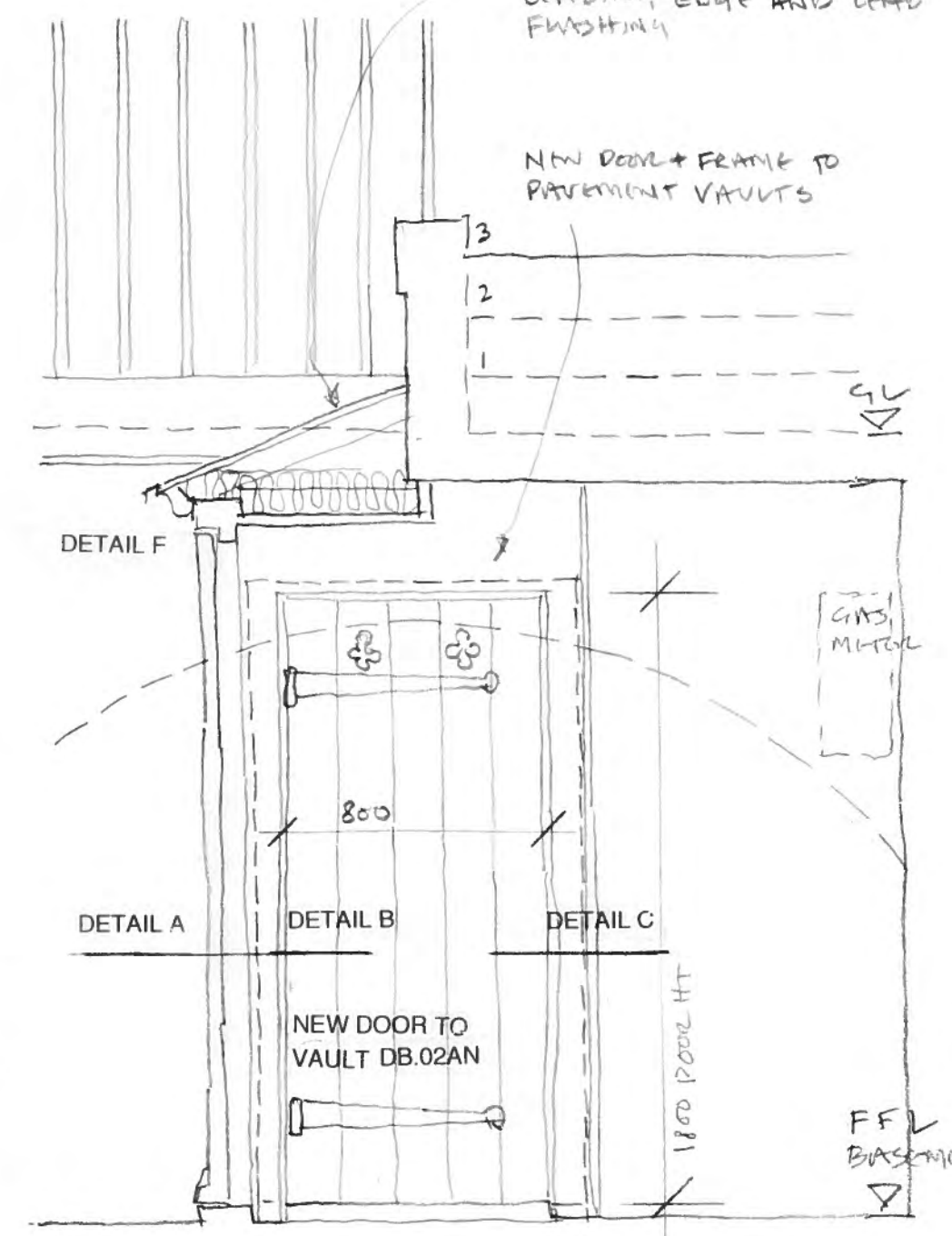
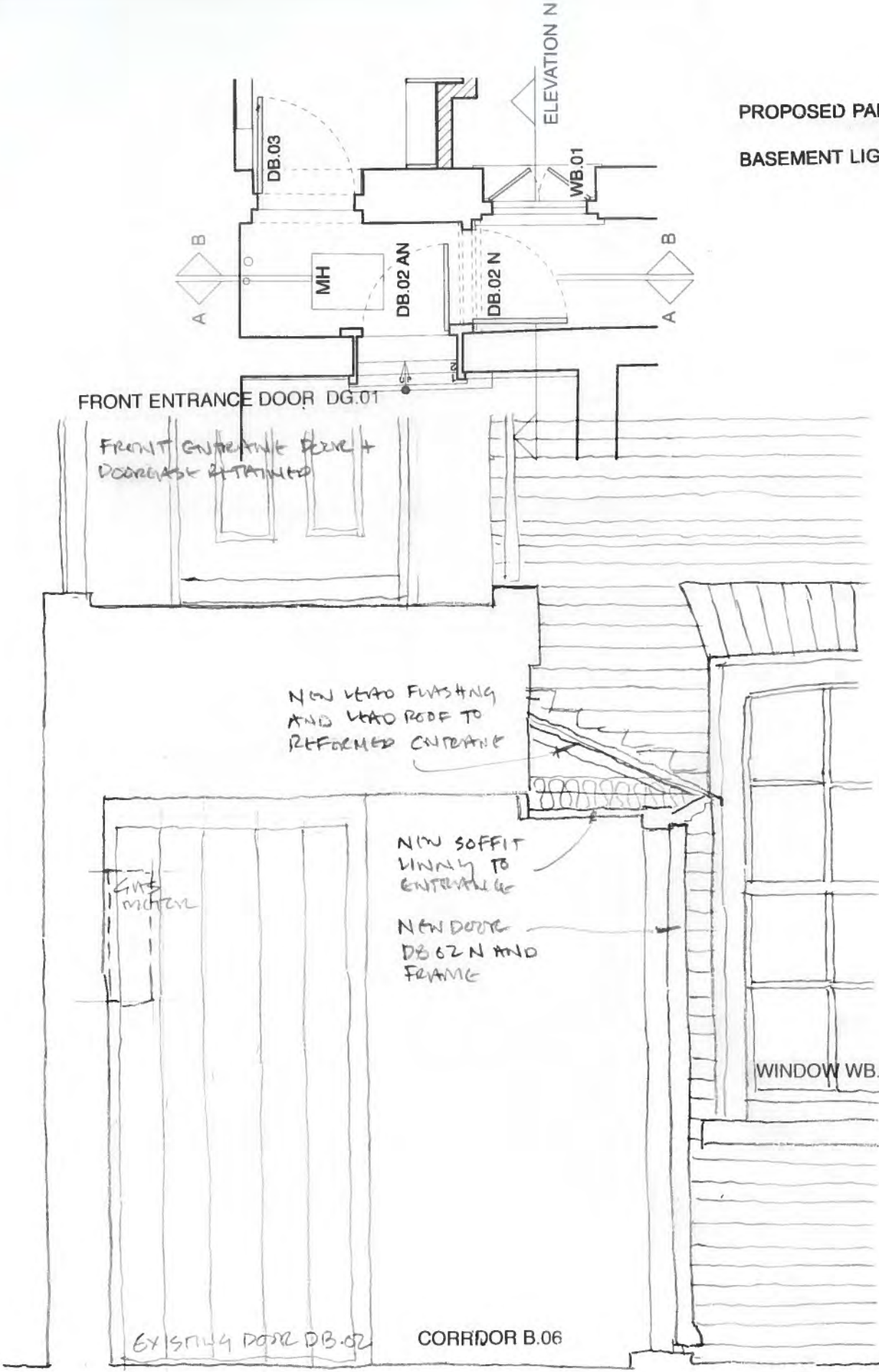
24 Church Row
Title: Proposed Rear Terrace Elevations, Plan Section & Detail
Flower Pots and Railings
Drawing No: 0919317/Sk95 Scale 1: 50 / 25 / 10@ A3

PROPOSED PART-PLAN OF
BASEMENT LIGHTWELL

SEE DWG 0919317/SK100

NEW WIDE 6 COVERING
TO NEW ROOF CANTILEVER
WITH CONTINUOUS COPPER
LEADING EDGE AND LEAD
FLASHING

NEW DOOR + FRAME TO
PAVEMENT VAULTS



SECTION B: TOWARDS 24 CHURCH ROAD

ELEVATION OF BASEMENT LIGHTWELL NEW
ENTRANCE DOOR DB.02 (N)

SECTION A: TOWARDS PAVEMENT

24 Church Row

Title: Proposed New Basement Entrance Door DB.02A(N)

Drawing No: 0919317/SK99 Scale 1:20

Butler Hegarty Architects

Unit 208 A2, 159-163 Marlborough Road, London, N194NF

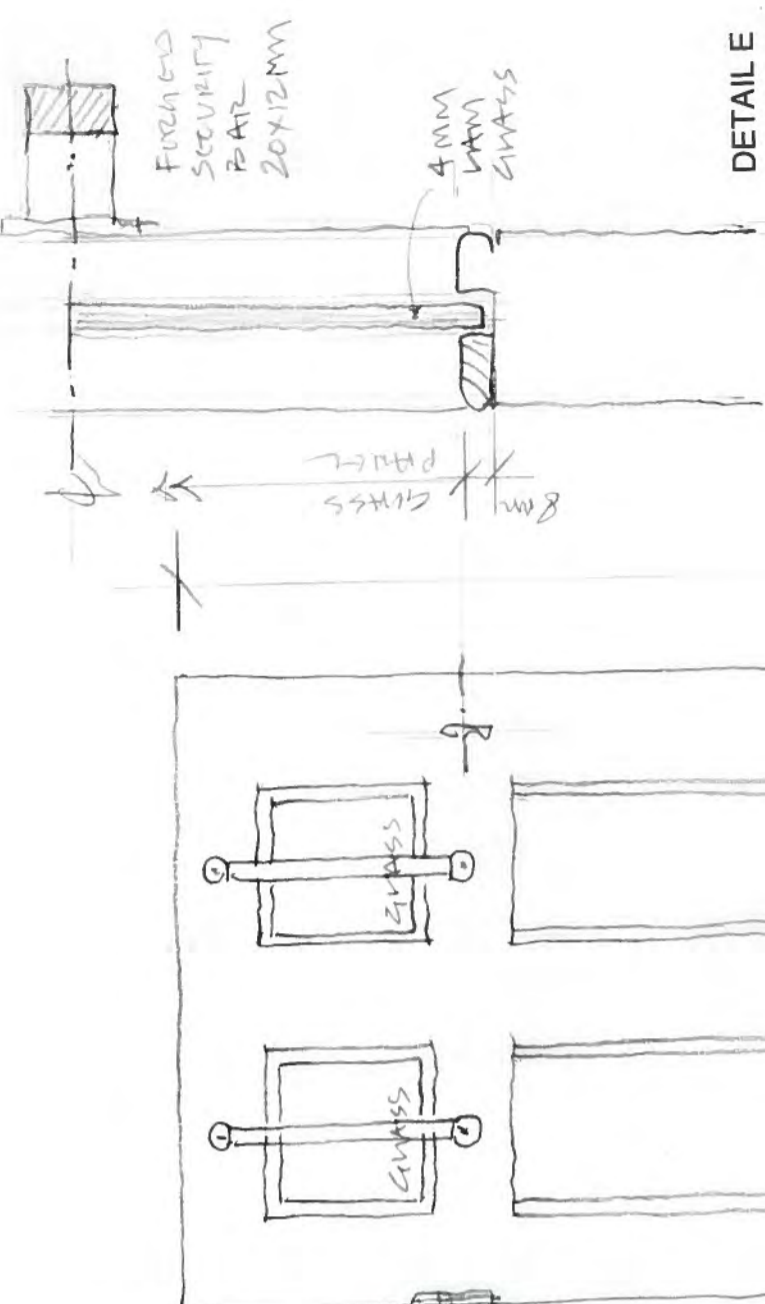
tel: 020 72638933 email: mail@butlerhegartyarchitects.co.uk

24 Church Row

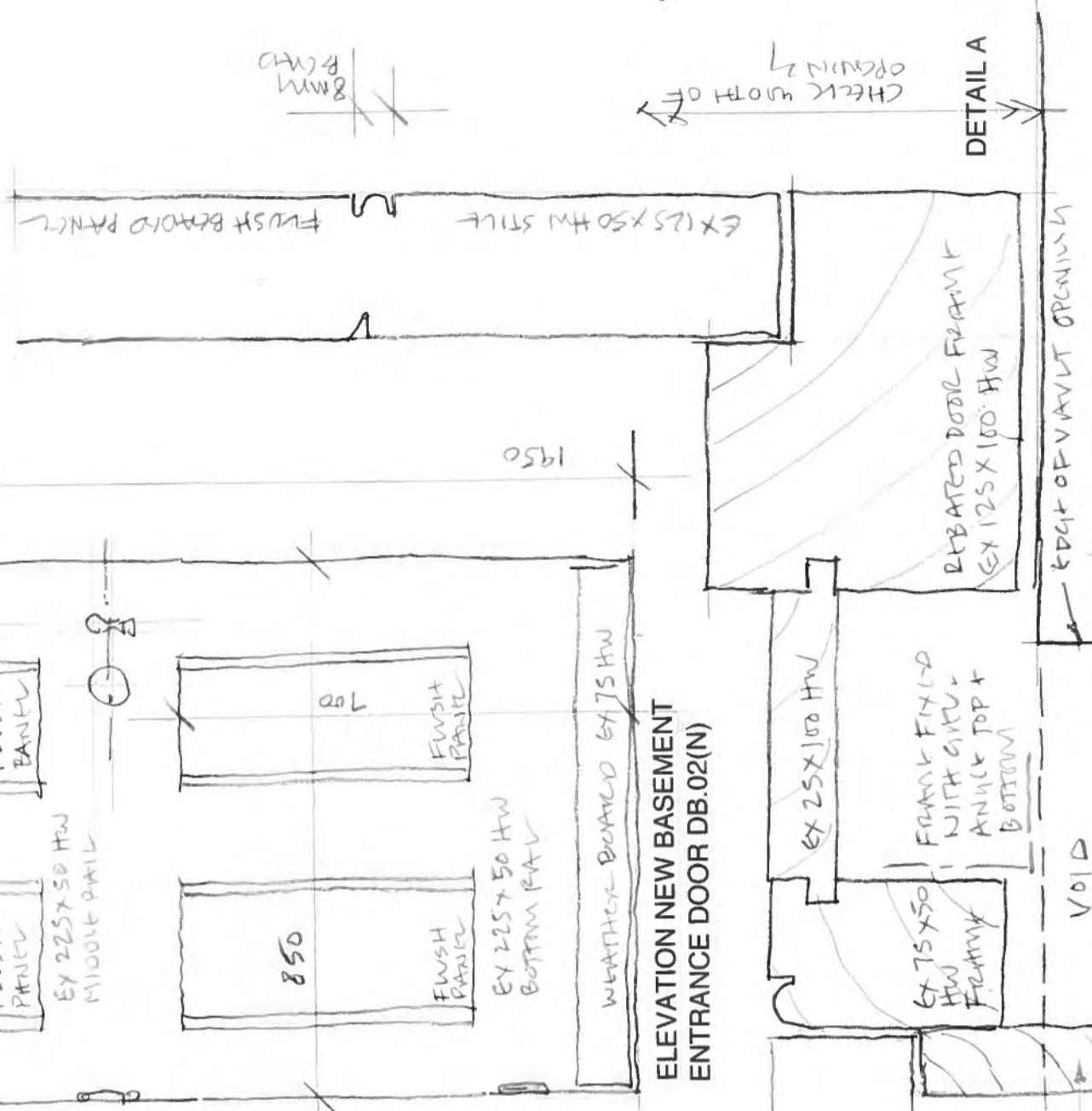
Title: DETAIL BASEMENT DOORS DB.02(N) & DB.02A(N)

Drawing No: 0919317/SK100 Scale 1:10 & 1:2

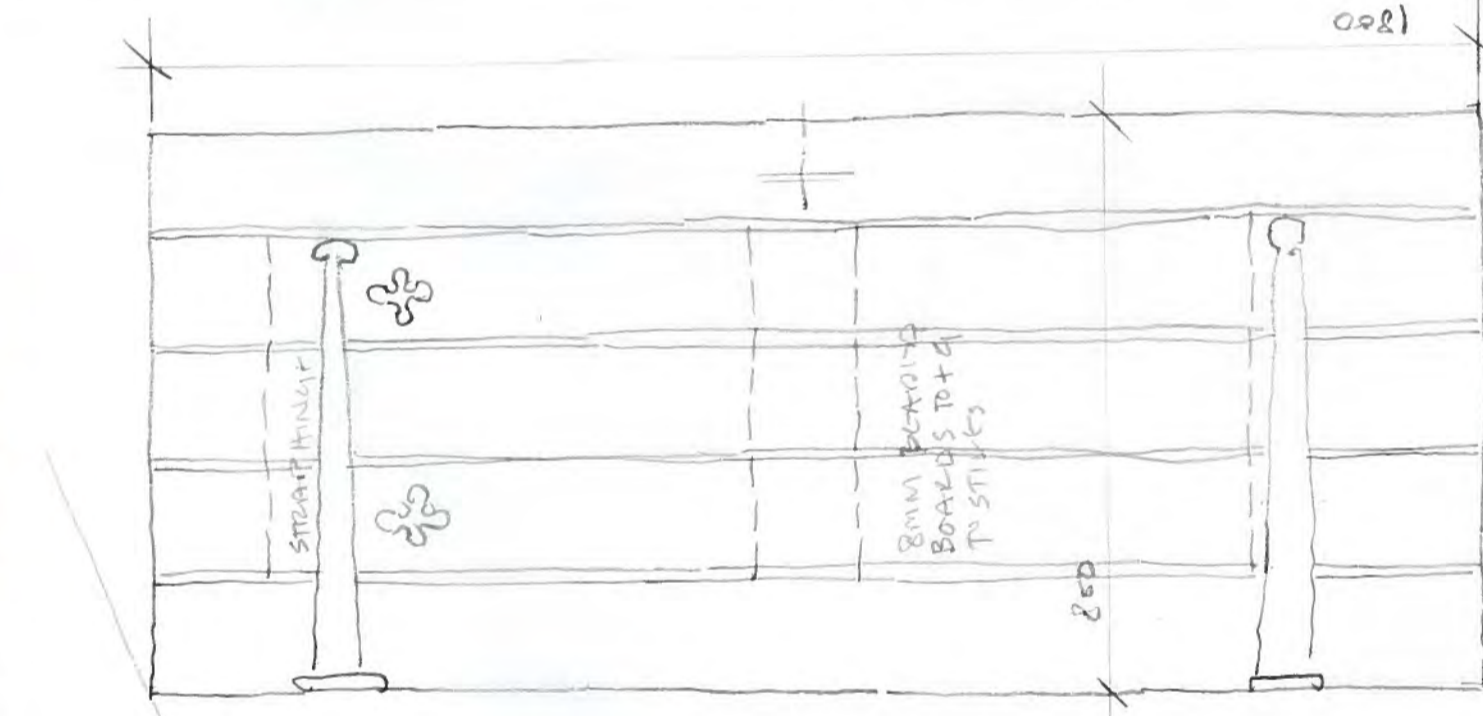
Butler Hegarty Architects
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Tel: 020 72638933 email: mail@butlerhegartyarchitects.co.uk



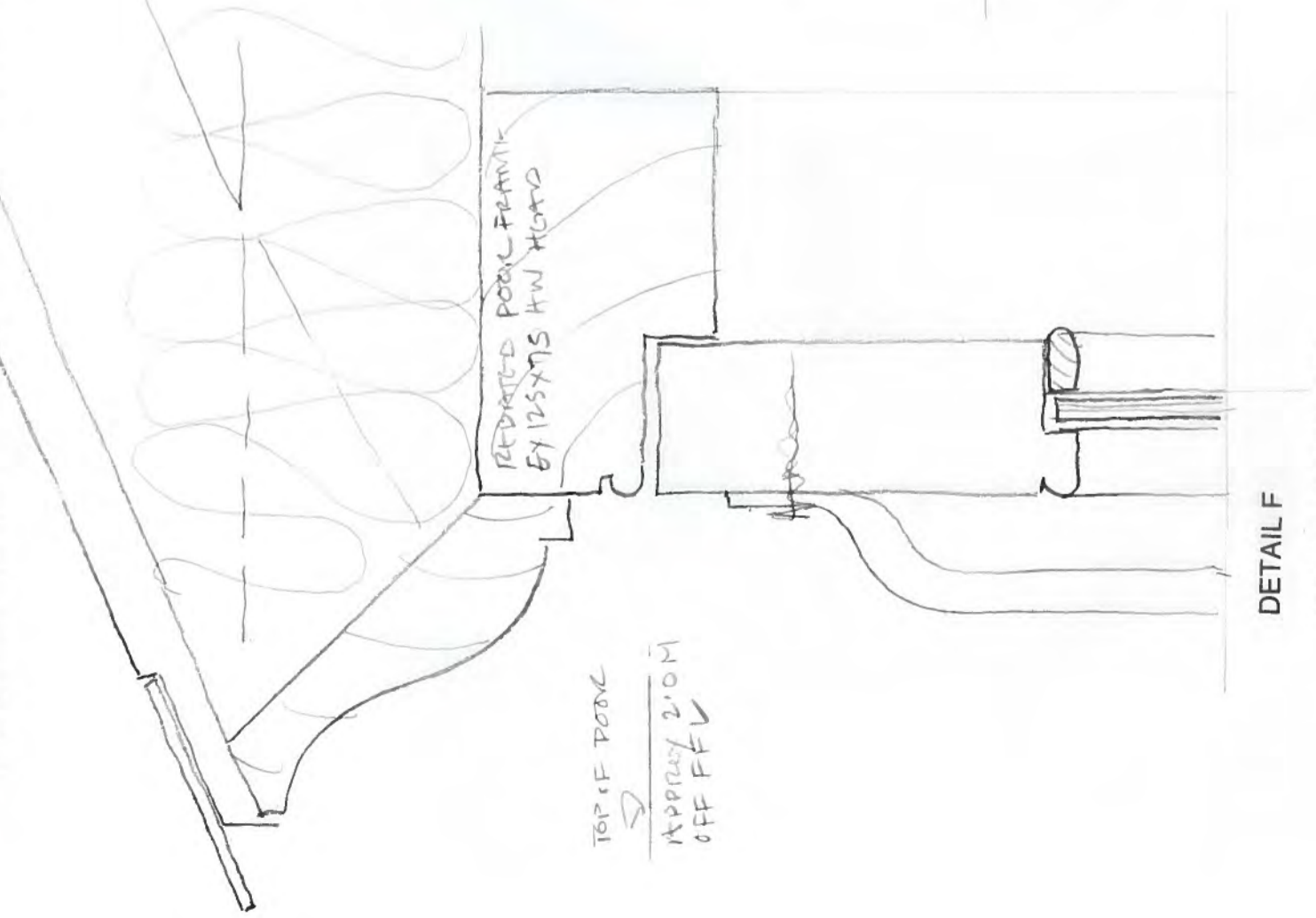
DETAIL A



DETAIL B



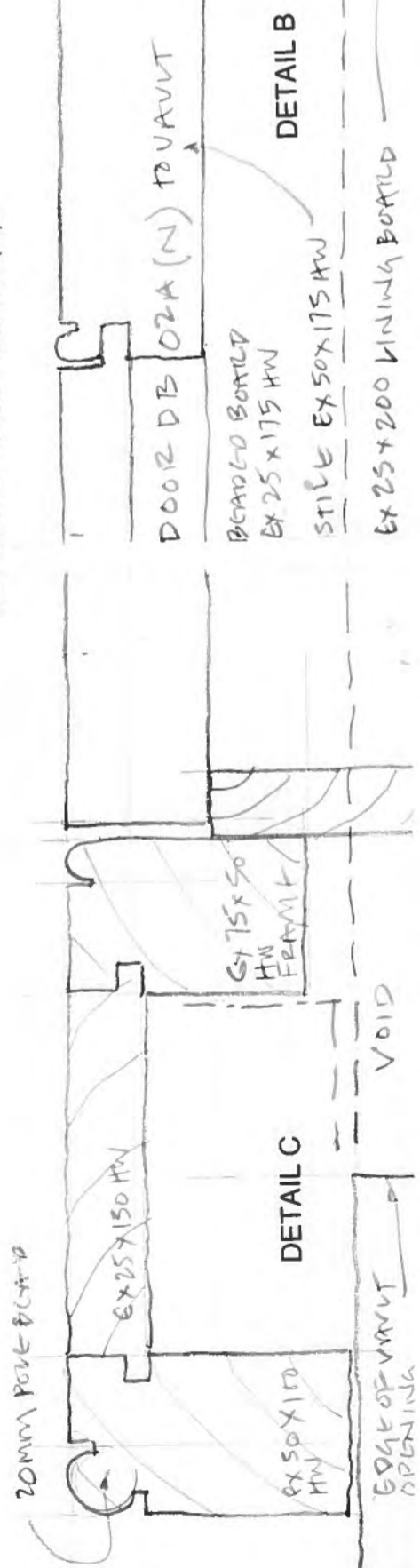
ELEVATION NEW DOOR TO BASEMENT VAULT DB.02A(N)



ELEVATION NEW BASEMENT ENTRANCE DOOR DB.02(N)

DETAIL F

SEE DRWG 0919317/SK99



DETAIL C

DETAIL B

EDGE OF VAULT OPENING

VOID

EDGE OF VAULT OPENING

DETAIL A

CHECK SOUTH OF OPENING

8mm GLASS

4mm LAM GLASS

8mm GLASS

1950

1800

850

850

700

TOP OF DOOR APPROX 2.0M OFF FFL



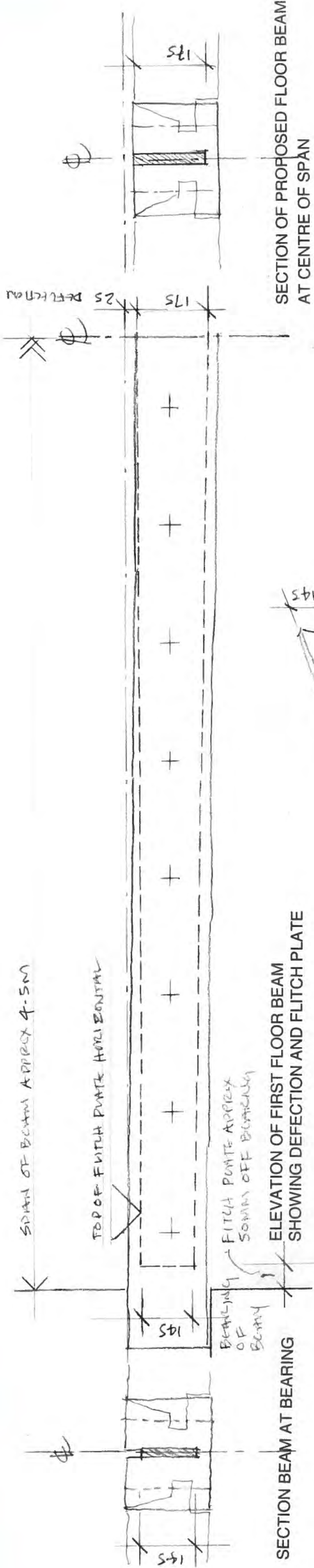
DO NOT SCALE check all dimensions on site

0 1m 5m

PROPOSED FRONT ELEVATION

Butler Hegarty Architects
 Unit 208 A2, 159-163 Marlborough Road, London, N19 4NF
 tel: 020 72638933 email: mail@butlerhegartyarchitects.co.uk

24 Church Row
 Title: Proposed Front Elevation with new Burglar Alarm
 Drawing No: 0919317/Sk99 Scale 1: 50 @ A3

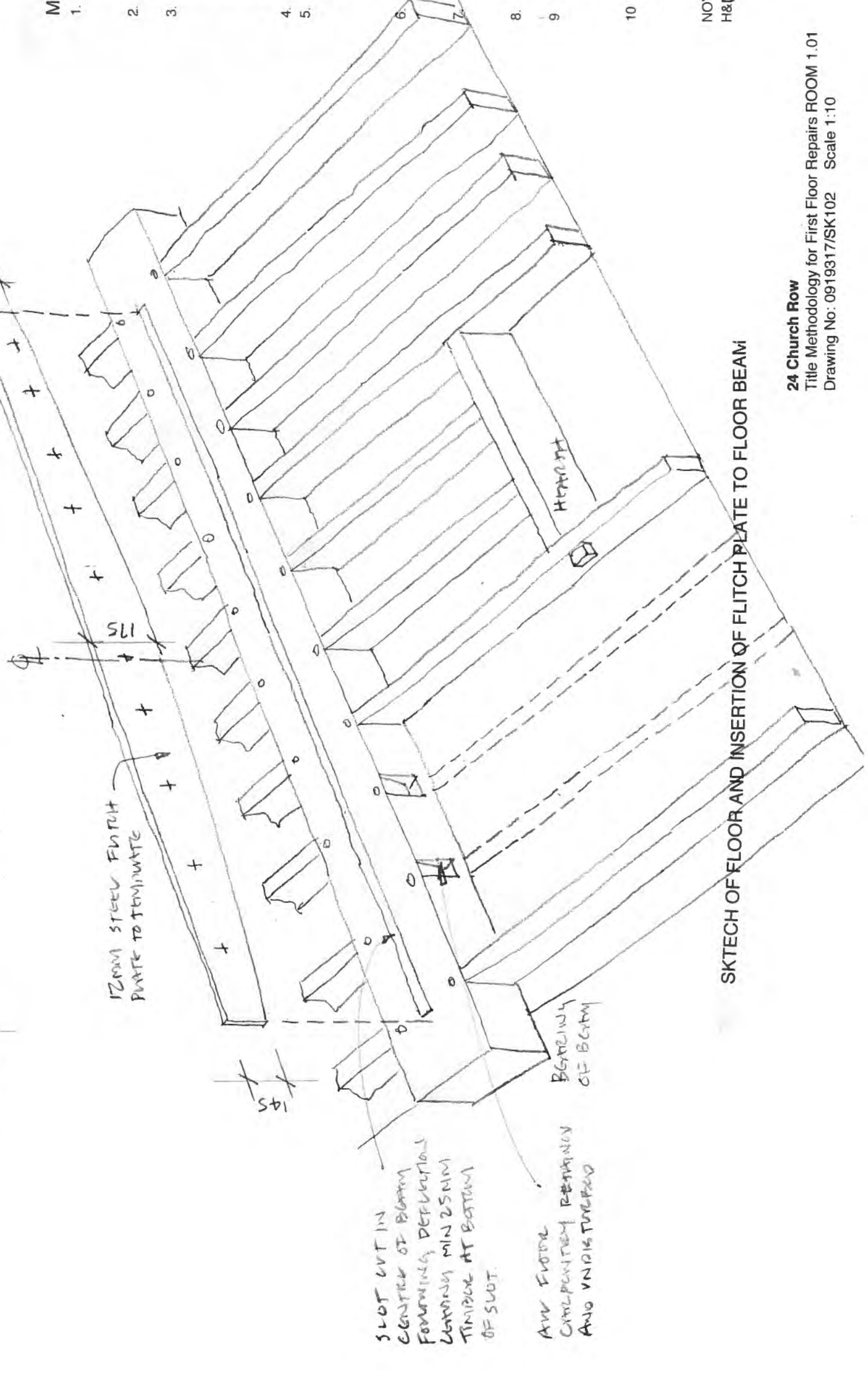


SECTION BEAM AT BEARING

SECTION OF PROPOSED FLOOR BEAM AT CENTRE OF SPAN

ELEVATION OF FIRST FLOOR BEAM SHOWING DEFECTION AND FLITCH PLATE

SECTION BEAM AT BEARING



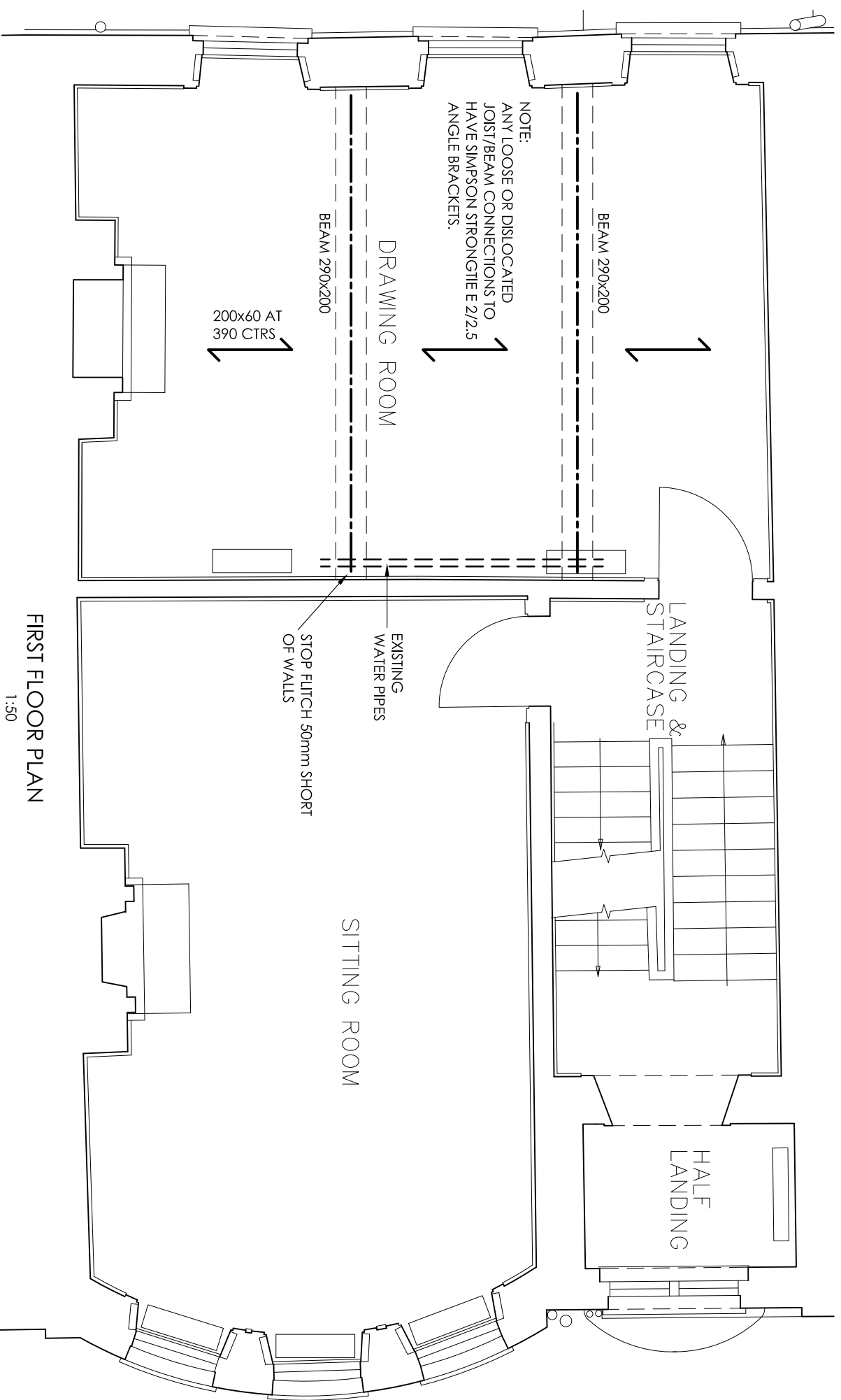
SKETCH OF FLOOR AND INSERTION OF FLITCH PLATE TO FLOOR BEAM

METHODOLOGY

1. Carefully lift existing floor boards record location number and set aside for reuse in same position from which they have been removed.
2. Remove existing all services from floor beams and prepare floor beam for repair
3. Cut slot for flitch plate using a chain mortiser run on guild tracks fix to top of timber beam slot to be cut in middle of beam to deflected form and to a depth of 175mm.
Note avoid cutting through beam leave minimum 25mm of timber to bottom of cut and stop slot approx. 50mm off wall bearing.
4. Clean slot of all debris and prepare for flitch plate
5. Template slot using 12mm plywood sheet to establish exact profile.
Note deflection in beam will result in flitch plate being 175mm deep at center and 145 at edge ie keep top edge of template and flitch plate horizontal
6. Mark location of 12mm dia bolt holes at approx. 300 center ie between joist that are to be retained in position, and drill holes through beam and template
7. Make steel flitch plate with pre drilled holes laser cut to bottom edge to template profile and treat plate with red oxide.
8. Install flitch plate and bolt into position making composite beam
9. Reinstate all services in floor void reusing existing notches in beam where possible or adjust service run where necessary so service cross beam over flitch plate at end. (maximum notch 25mm deep within 500 of wall)
10. Replace lifted floor boarding original position ensure align with adjacent boards and fix in position using 75mm floor board bradels in existing holes.

NOTE: ALL WORK IN ACCORDANCE WITH:
H&P STRUCTURAL ENGINEERS DRAWING 19886.3.05

DO NOT SCALE THIS DRAWING



NOTE:
ANY LOOSE OR DISLOCATED
JOIST/BEAM CONNECTIONS TO
HAVE SIMPSON STRONGTIE E 2/2.5
ANGLE BRACKETS.

- NOTES
1. THIS DRAWING TO BE READ WITH ALL RELEVANT ARCHITECTS', ENGINEERS' AND SPECIALISTS' DRAWINGS.
 2. ALL STRUCTURAL STEELWORK TO BE GRADE S275 TO EN 10025 UNLESS OTHERWISE STATED.
 3. ALL BOLTS TO BE 8.8 GRADE BLACK BOLTS IN 2mm CLEARANCE HOLES UNLESS OTHERWISE STATED.
 4. ALL BRICKWORK TO BE MINIMUM 21 N/mm² IN NHL3.5 MORTAR UNLESS OTHERWISE STATED.
 5. ALL STEELWORK TO BE PAINTED IN ACCORDANCE WITH THE SPECIFICATION.
 6. ALL SETTING OUT AND SITE DIMENSIONS TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
 7. DESIGN AND INSTALLATION OF TEMPORARY WORKS TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
 8. ALL NEW STRUCTURAL TIMBER TO BE C24 SAWN TREATED SOFTWOOD UNLESS OTHERWISE STATED.
 9. ALL OAK TO BE ONE-YEAR SAWN GREEN ENGLISH OAK. SECTIONS LARGER THAN 250mm TO BE BOXED HEART. SECTIONS TO BE SELECTED AS APPROPRIATE FOR LOCATION AND TO BE FREE OF SIGNIFICANT WANE, SHAKES AND KNOTS. ALL TO BE HEARTWOOD.
 10. ALL STAINLESS STEEL TO BE GRADE 316 AUSTENITIC UNLESS OTHERWISE STATED.
 11. ALL CLIENTS' STAFF, CONSULTANTS, AND CONTRACTORS MUST COMPLY WITH ALL CURRENT HEALTH AND SAFETY LEGISLATION INCLUDING: CONSTRUCTION (DESIGN & MANAGEMENT) REGULATIONS 2015 HEALTH & SAFETY AT WORK ACT 1974 AND ALL OTHER RELEVANT LEGISLATION.
 12. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE PROJECT HEALTH AND SAFETY FILE AND METHOD STATEMENTS.
 13. ALL WORK ELEMENTS TO BE CARRIED OUT USING APPROPRIATE TOOLS, METHODS, MATERIALS AND TECHNIQUES.
 14. HOLES IN EXISTING MASONRY TO BE DRILLED WITH NON-PERCUSSIVE DIAMOND TIPPED DRILLS USING THE MINIMUM WATER POSSIBLE FOR LUBRICATION.
 15. STRUCTURAL FIXINGS TO EXISTING MASONRY TO BE WITH FISCHER FS-V EPOXY MORTAR UNLESS OTHERWISE STATED.
 16. ALL WORK TO SENSITIVE HISTORIC FABRIC TO BE CARRIED OUT BY SUITABLY EXPERIENCED AND SKILLED PERSONNEL.
 17. NO OPENING UP BEYOND THAT INDICATED ON THE DRAWINGS TO BE CARRIED OUT WITHOUT PRIOR PERMISSION.
 18. MASONRY AND MORTAR SAMPLES TO BE APPROVED BEFORE ANY WORK COMMENCES.
 19. THE DRAWINGS AND DETAILS ARE PREPARED USING THE INFORMATION AVAILABLE AND MAY BE AT VARIANCE WITH HIDDEN HISTORIC FABRIC. REPORT ANY VARIATIONS OR DIFFERENCES FOUND DURING THE WORK TO THE ARCHITECT AND ENGINEER.

Project
24 CHURCH ROW
NW3 6UP

Drawing Title
FIRST FLOOR
BEAM STRENGTHENING DETAILS

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Drawn By
DH

Checked By
CJD

Date
November 2018

Scale
As Stated at A3

Job No
19886

Dwg No
305

Rev
-

Rev	Description	Date
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Hockley & Dawson
CONSULTING ENGINEERS

Telephone 01483 548784
admin@hockleyanddawson.co.uk
www.hockleyanddawson.co.uk

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Surrey, GU6 8LH