

**APPEAL AGAINST REFUSAL OF LISTED BUILDING CONSENT FOR WORKS AT
31 DOWNSHIRE HILL PROPOSED IN OWNER'S REQUEST
SUBMITTED 4 FEBRUARY 2018**

APPENDIX 1

REQUEST FOR LISTED BUILDING CONSENT

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31 Downshire Hill,
Hampstead,
London NW3 1NT

Telephone: [REDACTED]
e-mail: [REDACTED]

04 February, 2018

Dear Sir or Madam,

Proposed Relocation of Kitchen at 31 Downshire Hill

I am the owner of the house at 31 Downshire Hill which is a Grade 2 listed building. It is my intention to relocate the kitchen at this dwelling from the front basement room to the larger back basement room. No change will be made to the front basement room which will become a utility room. I am writing this letter to seek consent for the change in accordance with the drawings which I am submitting with this application.

I am sending this letter via the Planning Portal and am accompanying it with a Design and Access Statement, a Heritage Statement and drawings showing the basement as it exists today and as proposed.

Please consider my proposal for moving the kitchen and advise whether consent is granted to do this. If there is any further information which you require please do not hesitate to ask.

Yours faithfully,

John Lindsay-Taylor

Planning Services,
Camden Town Hall,
Argyle Street,
London WC1H 8EQ

Email: planning@camden.gov.uk
Phone: 020 7974 4444
Fax: 020 7974 1680

Development Management
Camden Town Hall Extension
Argyle Street
London WC1H 8EQ

Application for listed building consent for alterations, extension or demolition of a listed building.
Planning (Listed Buildings and Conservation Areas) Act 1990

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

1. Applicant Name, Address and Contact Details

Title:	<input type="text" value="Mr"/>	First Name:	<input type="text" value="John"/>	Surname:	<input type="text" value="Lindsay-Taylor"/>
Company name:	<input type="text"/>				
Street address:	<input type="text" value="31"/>				
	<input type="text" value="Downshire Hill"/>	Telephone number:	<input type="text"/>		
	<input type="text"/>	Mobile number:	<input type="text"/>		
Town/City:	<input type="text" value="LONDON"/>	Fax number:	<input type="text"/>		
Country:	<input type="text"/>				
Postcode:	<input type="text" value="NW3 1NT"/>	Email address:	<input type="text"/>		
Are you an agent acting on behalf of the applicant? <input type="radio"/> Yes <input checked="" type="radio"/> No					

2. Agent Name, Address and Contact Details

No Agent details were submitted for this application

3. Description of the Proposal

Please describe the proposed works:

This application proposes to move the kitchen from the small front basement room to the larger back basement room and involves the following:

- Removal of some non-original, non-structural wooden partitions.
- Creating a new solid floor, paved with natural stone, on one level in the back room. This floor is presently partly original solid masonry with cork tile finish at one level and partly non-original suspended timber at a lower level.
- Enlargement of the hearth opening of a chimney breast in order to accommodate a range cooker and ventilation hood, with adequate support for the chimney breast remaining above the basement.
- Removal of two alcove cupboard doors and reusing them in a restored pantry cupboard. It is likely that this change will be relocating the doors close to their original positions.
- Reduction of the depth of the pantry cupboard to 600 mm to match standard kitchen units.
- Removing the existing door to the back basement room and reusing it for entry to the reconfigured back room. All indications are that this will be relocating this door to its original position.

The rationale behind these changes includes:

- The present kitchen is too small to allow of any use but food preparation and storage. The larger back room will provide for a kitchen diner.
- Close study of the doors, pantry cupboard and chimney breast indicate that the kitchen was originally in the back room. It is believed that this proposal will return the building more or less to its original configuration.
- The need for ventilation under the existing suspended floor in the back room makes the room difficult to heat. An insulated solid floor will offer significant heat savings.
- The present division of the back basement into room and corridor wastes space

See the accompanying Design and Access Statement and drawings for further details.

Has the work already started? Yes No

4. Site Address Details

Full postal address of the site (including full postcode where available)

House: Suffix:

House name:

Street address:

Town/City:

Postcode:

Description of location or a grid reference
(must be completed if postcode is not known):

Easting:

Northing:

Description:

5. Related Proposals

Are there any current applications, previous proposals or demolitions for the site?

Yes No

6. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

Yes No

7. Neighbour and Community Consultation

Have you consulted your neighbours or the local community about the proposal?

Yes No

8. Authority Employee/Member

With respect to the Authority, I am:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

Do any of these statements apply to you?

Yes No

9. Materials

Please provide a description of existing and proposed materials and finishes to be used in the build (demolition excluded):

Floors - description:

Description of *existing* materials and finishes:

Part of the floor to be replaced is masonry (probably original brick) with a cork tile finish, the other part is a suspended timber floor (non-original) of pine, stained and varnished.

Description of *proposed* materials and finishes:

The new floor will have a hardcore sub-base, a reinforced concrete slab, PIR (or equivalent) insulation, a sand and cement screed and 25 mm thick natural stone paving (probably limestone), see drawing number 31DH006P for details.

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement?

Yes No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

9. Materials

Drawing Number Revision Title
31DH001E 0 Overall Plan View - Existing
31DH002E 0 Back Room - Plan View - Existing
31DH003E 0 Section A - A - Existing
31DH004E 0 Section B - B - Existing
31DH005E 0 Section C - C - Existing
31DH002P 0 Back Room - Plan View - Proposed
31DH003P 0 Section A - A - Proposed
31DH004P 0 Section B - B - Proposed
31DH005P 0 Section C - C - Proposed
31DH006P 0 Floor Section - Proposed
Design and Access Statement (3 pages)

10. Demolition

Does the proposal include total or partial demolition of a listed building? Yes No

11. Listed building alterations

Do the proposed works include alterations to a listed building? Yes No

If Yes, will there be works to the interior of the building? Yes No

Will there be works to the exterior of the building? Yes No

Will there be works to any structure or object fixed to the property (or buildings within its curtilage) internally or externally? Yes No

Will there be stripping out of any internal wall, ceiling or floor finishes (e.g. plaster, floorboards)? Yes No

If the answer to any of these questions is Yes, please provide plans, drawings and photographs sufficient to identify the location, extent and character of the items to be removed, and the proposal for their replacement, including any new means of structural support, and state references for the plan(s)/drawing(s).

State references for these plan(s)/drawing(s):

See the following attached drawings:
Drawing Number Title

As Existing:

31DH001E Overall Plan View
31DH002E Back Room - Plan View
31DH003E Section A - A
31DH004E Section B - B
31DH005E Section C - C

Proposed

31DH002P Back Room - Plan View
31DH003P Section A - A
31DH004P Section B - B
31DH005P Section C - C
31DH006P Floor Section, Proposed

12. Listed Building Grading

If known, what is the grading of the listed building (as stated in the list of Buildings of Special Architectural or Historical Interest)? Don't know Grade I Grade II* Grade II

Is it an ecclesiastical building? Don't know Yes No

13. Immunity from Listing

Has a Certificate of Immunity from listing been sought in respect of this building?

Yes No

14. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

Yes No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

The agent The applicant Other person

15. Certificates (Certificate A)

Certificate of Ownership - Certificate A
Certificate under Regulation 6 of the Planning (Listed Buildings and Conservation Areas) Regulations 1990

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of any part of the land or building to which the application relates.

Title: First name: Surname:

Person role: Declaration date: Declaration made

16. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.

Date

DESIGN AND ACCESS STATEMENT

This Design and Access Statement follows in order and content the requirements of the section "What information should be included in a design and access statement" taken from the Camden Planning and Built Environment website.

Description Of The Existing Property

The property to be modified is the four storey terrace house at:

31 Downshire Hill
Hampstead
London NW3 1NT

The building is brick built with a slate roof and rendered facade. It has a cellar area in front and a small garden at the back. The date of construction is estimated as 1800.

Design Principles And Concepts Behind The Proposed Development

The intent of the modification is to create a kitchen/dining room in the back of the basement. This area is presently divided into a room and corridor by a wood and plasterboard partition which has been added since the property was built. The proposal is to remove this non-structural partition creating a room which is substantially larger than the front basement room which presently serves as a kitchen and is suitable for food preparation only on account of its small size.

The front basement room and corridor have solid floors. These floors have been screeded and tiled on top of what is probably the original brick. The floor in the back basement room is suspended timber, 100 mm lower than the solid floors in kitchen and corridor and is clearly not original.

The right hand side wall of the property, as viewed from the front has subsided at some time, probably when the present Freemasons Arms was built with a basement directly adjacent to this property. No further subsidence has been apparent during the last 40 years, during which time I have lived at this address. The extent of the subsidence is such that the rear right corner of the building, as viewed from the front is some 150 mm below the front left hand corner of the building. The basement ceiling, as constructed, is low and the subsidence almost certainly explains why a previous owner has seen fit to reduce the floor level in the back room by 100 mm. Why they did this by installing a suspended floor is not so obvious. The sub-floor ventilation which is necessary to preserve the suspended floor makes the back room difficult to heat.

Concerning the floor the proposal is to replace the existing suspended timber floor in the basement back room and the adjacent area of solid floor with a new solid floor at a consistent level. It is proposed that this floor will be paved with natural stone and that the finished floor level will be some 25 mm below the present level of the suspended floor. This floor level will improve the ceiling height and enable a standard height worktop to be installed along the back wall without impinging on the back window. Replacing the suspended timber floor will improve heat conservation.

The internal door to the basement back room, which is presently located in the wood and plasterboard wall, will be moved so that it separates the back room from the corridor. The door dimensions and residual rebates for locks and hinges in the new position make it practically certain that this change relocates the door back to its original position.

It is proposed to enlarge the opening in the chimney breast to accommodate a range cooker and cooker hood. If practical the hood will exhaust to the flue which will be protected with a stainless steel liner. If exhaust via the flue proves impractical due to the low ceiling height the exhaust will

be ducted through the back wall. The chimney breast above the hood will be supported on pre-stressed, pre-cast concrete lintels as proposed by the consultant, (see below), or equivalent steel RSJ's laid across the remaining flanks of the chimney breast.

It is proposed to reduce the depth of the cupboard in the back left hand corner of the building to 600 mm so as to correspond with standard kitchen units that might be installed next to it. The wooden partition wall of this cupboard is clearly not original and its location coincident with the doorway of the back door indicates that the depth of the cupboard has been increased at some time, probably to convert the cupboard to serve as a toilet, as evidenced by redundant plumbing. Doors for the reduced depth cupboard will be taken from the two existing alcove cupboards in the back room. It is more than likely that moving these panelled doors as proposed will relocate them to their original locations.

The intention is to install kitchen units, with a sink and drainer, along the back wall of the house, with drainage through the wall connecting to the drain which conducts water underneath the house discharging into the main drain in Downshire Hill,

It is clear to me that the original intent of the building was to have the kitchen at the back. The cupboard in the back left hand corner has a window plus iron bars and was, I believe, intended as a pantry. Inspection of the hearth shows that it has been partially bricked in and redundant water pipes are evident. A kitchen stove and/or a boiler would almost certainly have been installed in this location. The floor would originally have been solid throughout and at one level.

In conclusion I believe that the proposed modifications will return the back room to a configuration and intended use close to that of the original building. Known differences between this proposal and the building as originally constructed are the accommodation of a wider cooker and cooker hood to meet modern cooking and ventilation needs, also a lower finished floor level, necessary on account of the historical subsidence. It is worthy of note that the proposed finished floor level is still above the external reduced ground level.

Intended Use Of The Proposed Development

It is intended that the enlarged back basement room will serve as a kitchen/diner and that the front basement room, which presently serves as a kitchen will be repurposed without modification as a utility/work room.

Layout Of The Proposed Development

See the accompanying drawings

Scale Of The Proposed Development

There are no external works so that the scale of the proposed development is irrelevant

Landscaping

All the works are internal so that landscaping is not applicable

Appearance Of The Proposed Development

Doors used in the modification are relocated existing doors. They are simple panelled doors which are probably original to the property and I believe their new locations will be their locations in the

building as originally constructed.

The floor will be paved with a plain natural unpolished stone, approximately 25 mm thick, over a hardcore and concrete base.

Standard dimension kitchen units with granite worktops and stainless steel sinks are envisioned.

Influence On Design Of The Local Context

Reasons for proposing these changes include:

- This house has a small footprint. The proposed change incorporates the existing corridor beside the basement back room, which is presently wasted space, into the room thereby creating the space for a kitchen/diner.
- Extending the hearth to accommodate a range cooker allows for safer and more ambitious cooking and reflects modern kitchen accoutrements
- A cooker hood will allow controlled ventilation in the kitchen which has not been available in this house previously.
- In its relocated position the kitchen looks out on to the garden instead of a blank wall as at present.
- Under present social conventions a formal dining room is not required. However, should a separate formal dining room be required at some time in the future this can be created without difficulty in the basement front room or the ground floor front room or alternatively in the remodelled cellar at basement level in front of the building.

Access To The Development Site

Access to the new kitchen will be via a door from the basement corridor. There will be a 125 mm step down to the kitchen at this doorway. Access to the garden from the new kitchen will be via the existing back door. There will be a 125 mm step up to garden path level and a further mm step up in the path to garden level.

There is a right of way from the garden, behind the Freemasons Arms to Willow Road. This right of way will be used to bring in hardcore for the new solid floor. If practical, concrete for the new floor will be pumped in from a mixer parked on Downshire Hill. Should this prove impractical concrete components will be barrowed in via the right of way and mixed in the garden of 31 Downshire Hill.

Historical And Architectural Importance Of The Listed Building

This building is an artisan cottage and, whereas it has a pleasing ambiance, is of itself of little historical or architectural importance. However it occupies a position in a street which is remarkable for the pleasing appearance of its buildings which are mostly from the Regency and of varied appearance but consistent scale. In this context it is a significant element of the local scene.

Consultation

In order to establish that my proposed modifications were structurally sound I consulted Property Tectonics in 2012 and their representative, Mr. I. Haywood BSc MRICS inspected the property, advising me on the acceptability of removing the partition wall and the requirements regarding opening up the chimney breast. See his letter dated 9 July 2012, attached. (Note that the address appearing on the letter of 31 Devonshire Hill is incorrect and should be 31 Downshire Hill).

HERITAGE STATEMENT

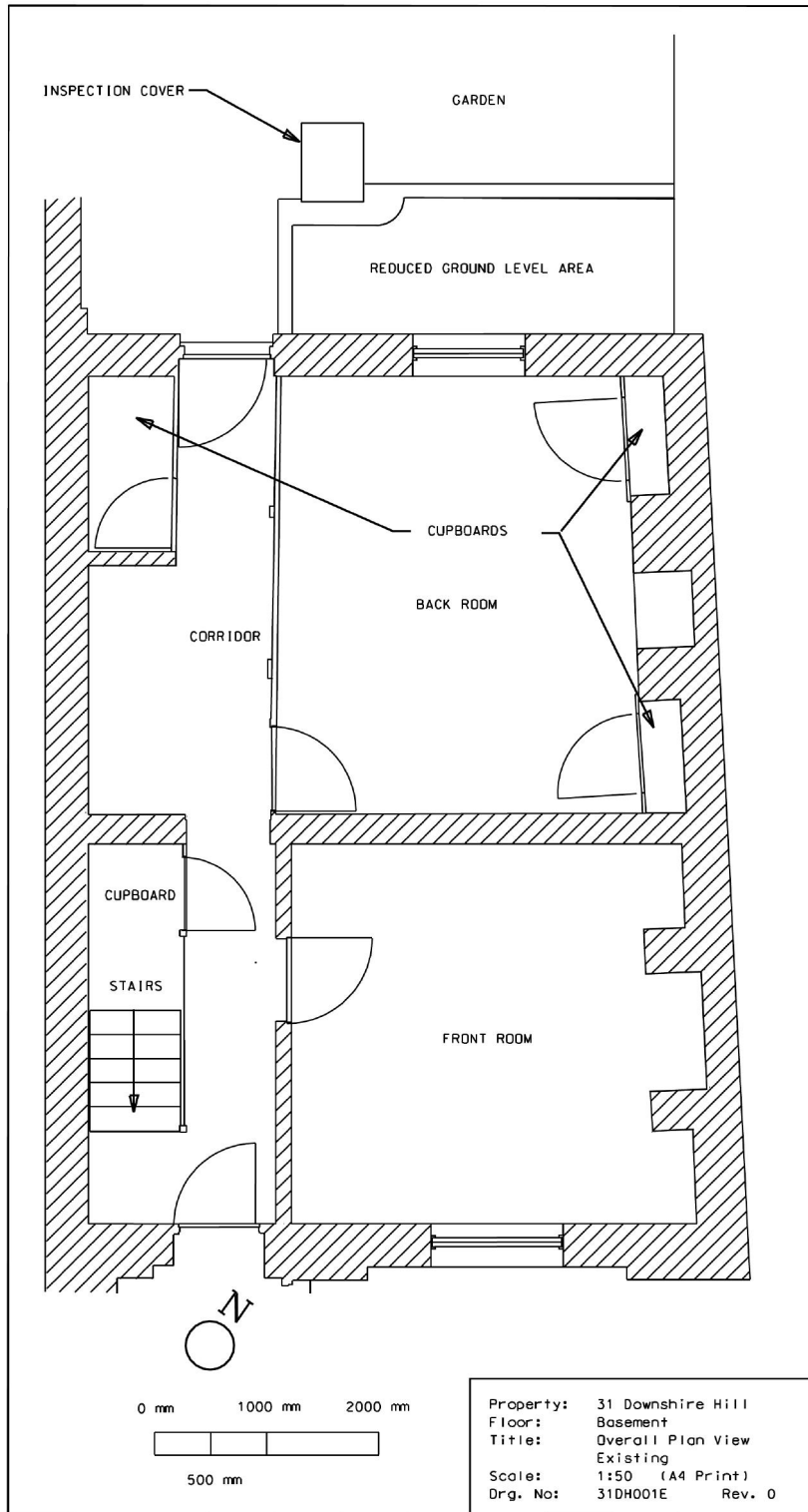
The house at 31 Downshire Hill is a four storey end of terrace house which was built around 1800-1820. It was built as an artisan dwelling and, whereas it has a pleasing internal ambience, it is of itself of little historical or architectural importance. However, it occupies a position in a street which is known for the pleasing appearance of its buildings and gardens. The properties were built mostly in the Regency period and although varied in appearance are consistent in scale and present integrity of period which is not often found in London.

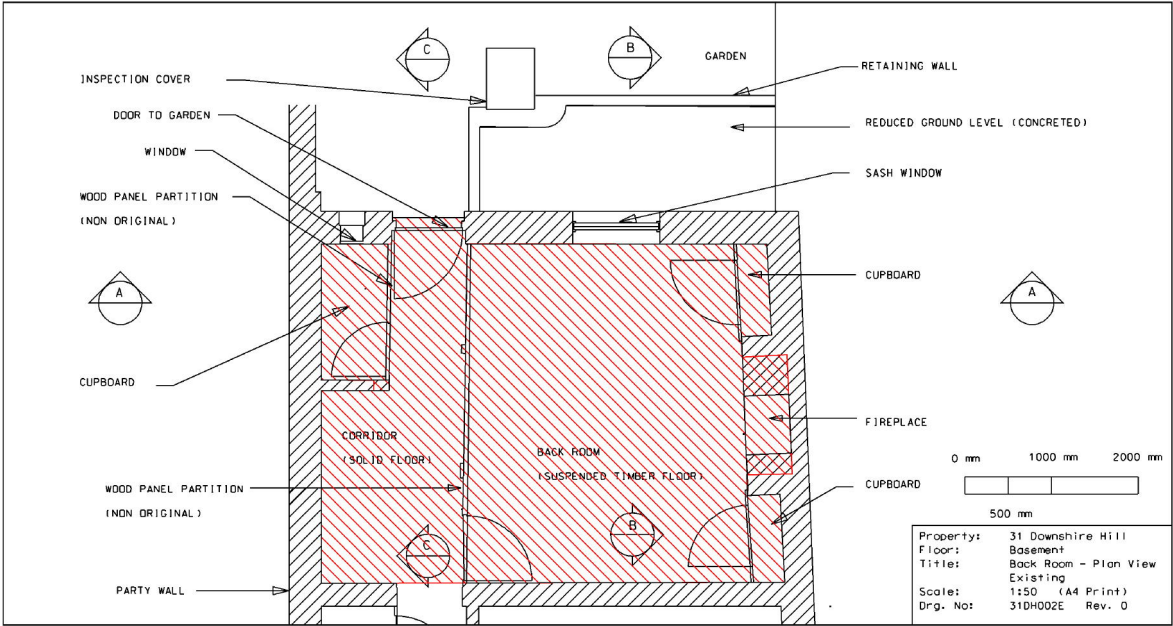
The proposed changes to the property are internal only and will have absolutely no impact on the external appearance of the building. With the exception of the opening of the back room chimney breast to accommodate a range cooker and ventilation hood there is no impact on the structure. The chimney breast remaining above the basement will be supported with new pre-stressed, pre-cast concrete beams or steel RSJ's.

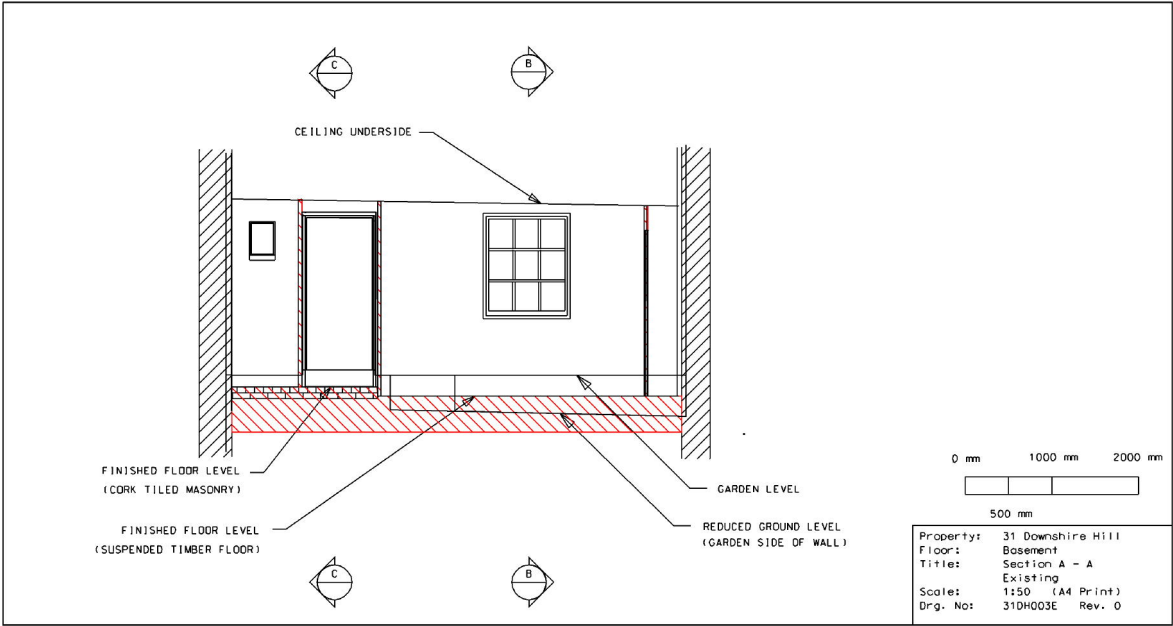
The owner believes that the proposed changes will return the basement to a configuration very close to that of the original building. His reasons for this conclusion are as follows:

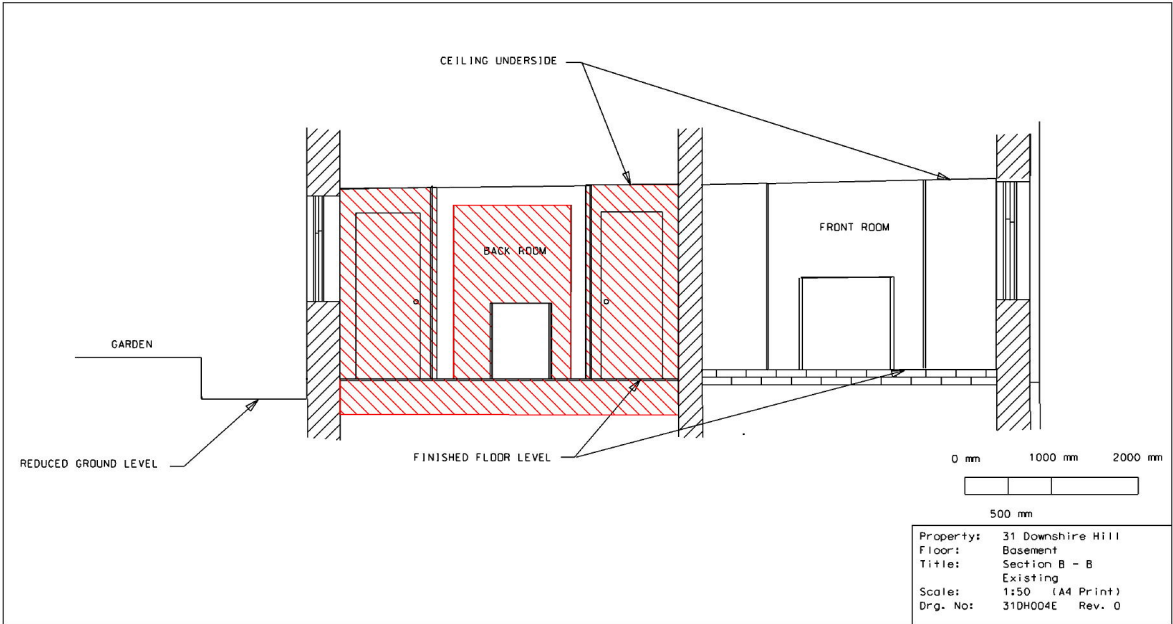
- The suspended timber floor is clearly not original. The boards are narrow and little worn. This floor is some 100 mm lower than the solid floor and was probably installed to increase ceiling height. The floor would originally have been solid and at the same height as that in the corridor.
- The barred window in the corner cupboard indicates that the cupboard was intended as a pantry. The timber partition and door of this cupboard are ill constructed and clearly not original. I do not think it coincidental that the doors of the existing alcove cupboards will serve perfectly for the pantry cupboard as I believe that is where they came from.
- The chimney breast has been partially bricked up at some time and evidence of redundant water pipes can be seen above the hearth. The unbricked hearth would have accommodated a cooking range and perhaps a boiler.
- The internal door which presently serves the back room fits exactly the doorway in the corridor. This doorway provides evidence that a lock was once fitted. If the door was originally fitted in the corridor a dividing partition between the corridor and back room would make no sense.

From these observations it may be inferred that the back room was not originally divided into room and corridor and that it would have originally been intended to serve as a kitchen.

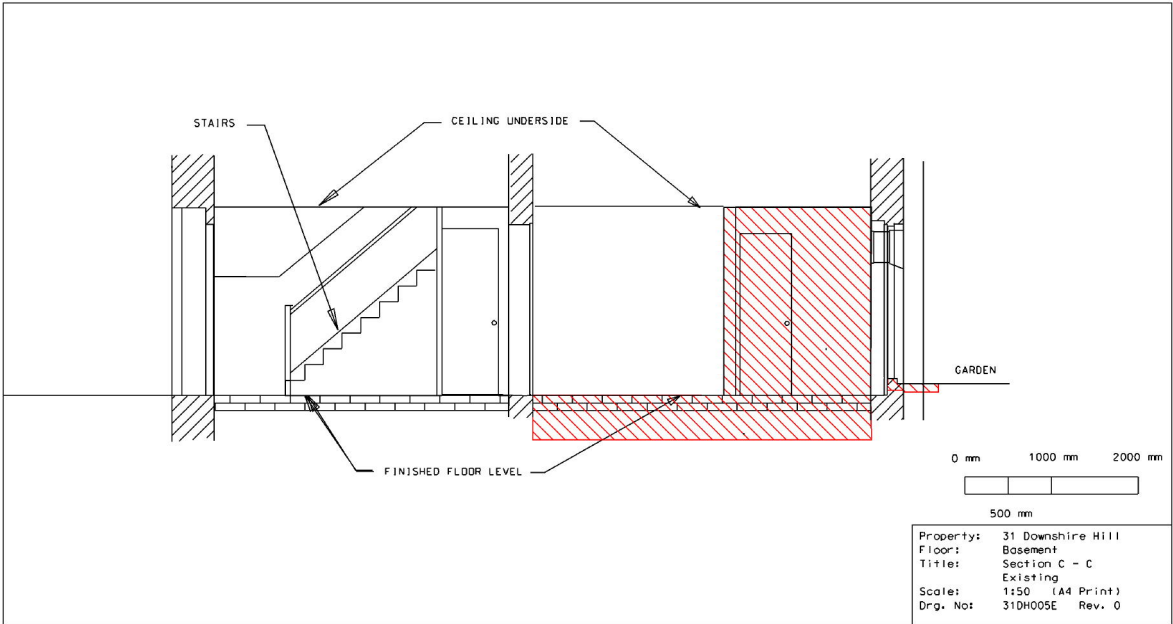


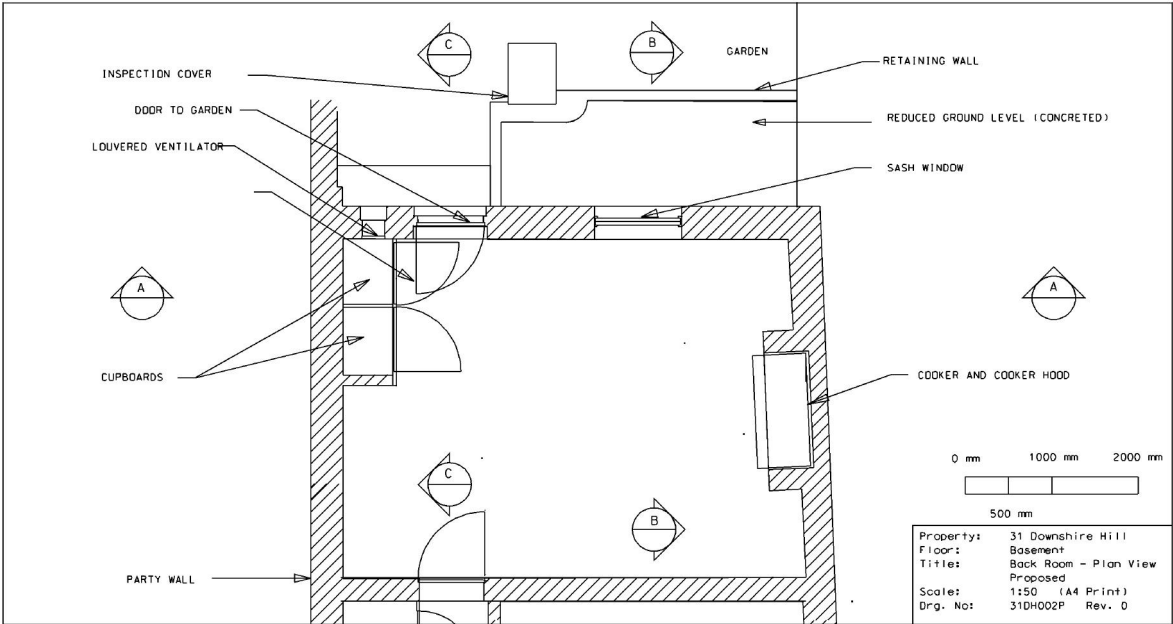




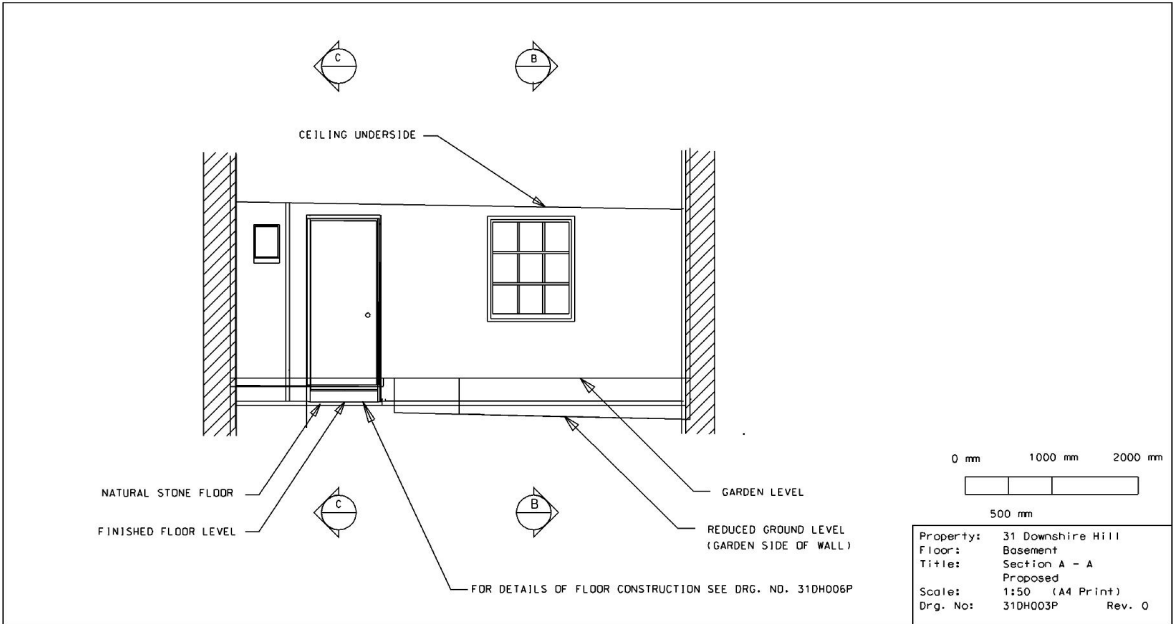


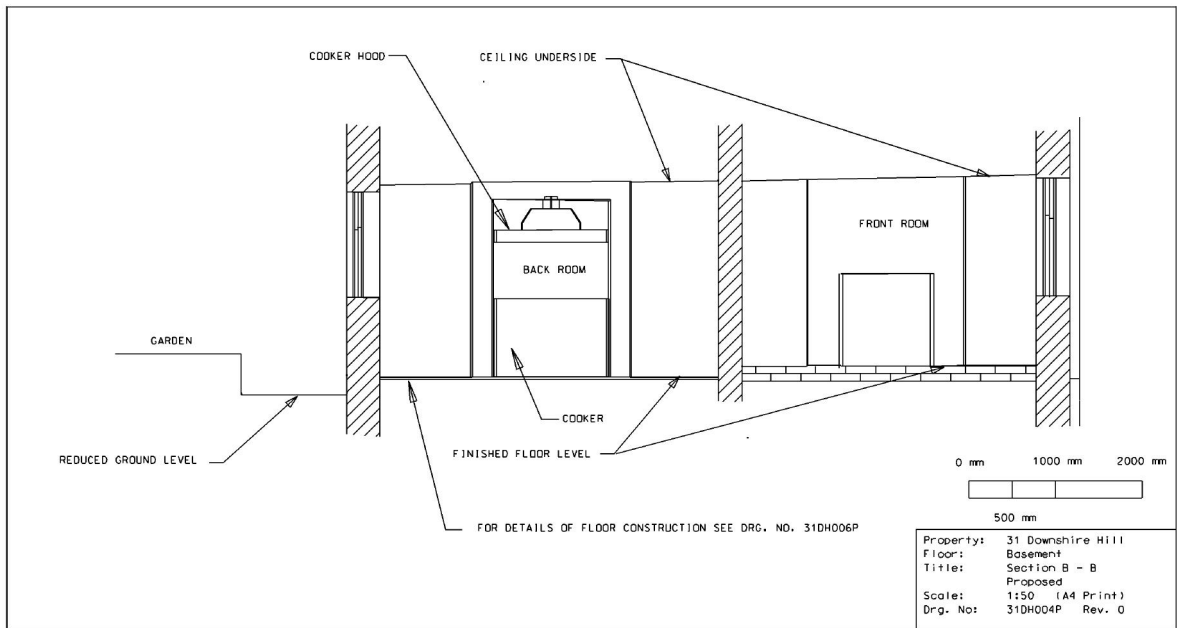
Property:	31 Downshire Hill
Floor:	Basement
Title:	Section B - B
	Existing
Scale:	1:50 (A4 Print)
Dwg. No:	31DH004E Rev. 0

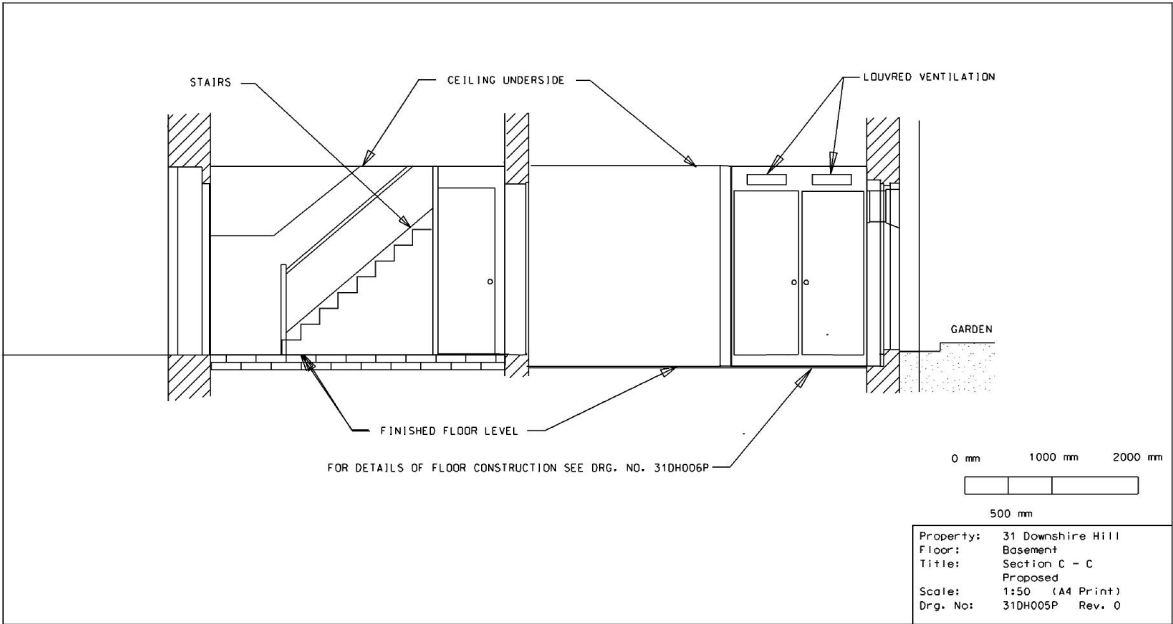


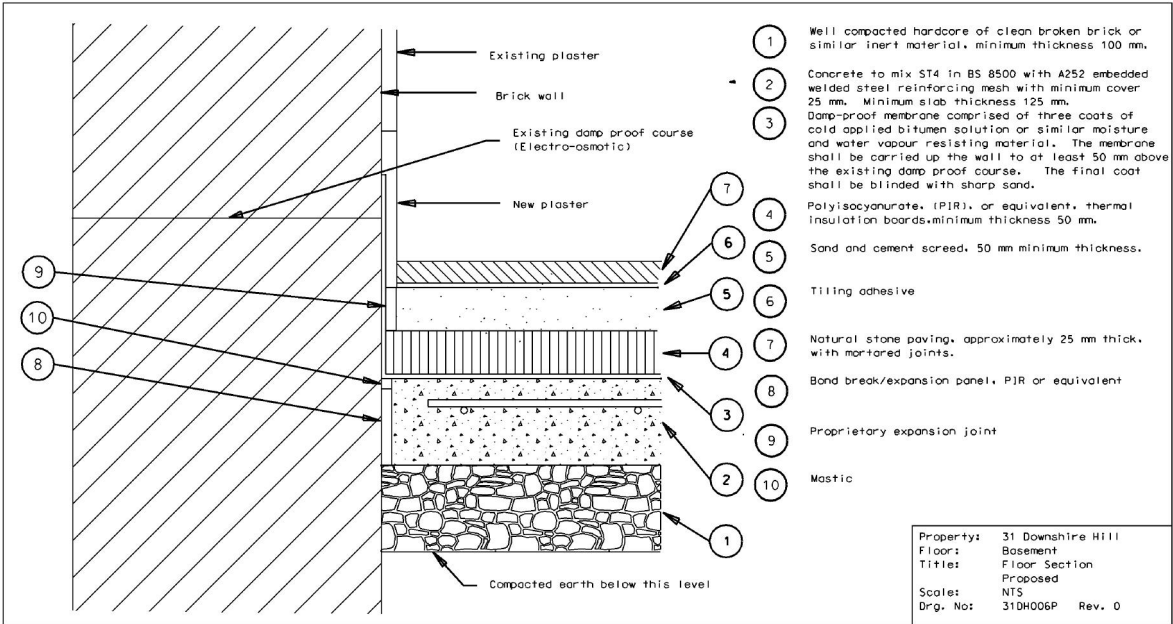


Property:	31 Downshire Hill
Floor:	Basement
Title:	Back Room - Plan View
	Proposed
Scale:	1:50 (A4 Print)
Dwg. No:	31DH002P Rev. 0









Our Ref: IH/Client 02
Direct Line: 01727 733 894
Direct email: ian.haywood@property-tectonics.co.uk



**PROPERTY
TECTONICS**

**Construction and
Property Consultants**

9th July 2012

Mr J Linsaid-Taylor
31 Devonshire Hill
Hampstead
London
NW3 1NT

Dear Mr Linsaid-Taylor

31 Devonshire Hill, London NW3

Further to our recent inspection of the above property, I write to confirm the following with regard to the proposed works you wish to undertake to the lower ground floor area.

It is understood that you wish to remove the internal partition to the rear ground floor area that separates a hallway from the main rear room to this part of the property.

We can confirm that this partition, which is of timber construction, is not load bearing and can, therefore, be removed. As discussed, the floor joists to this part of the property span from front to rear and are supported by the front/rear external walls of the property and also by the main cross wall situated to the centre of the property that spans between the two party walls. The partition in question does not, therefore, support any of the structure to the property.

In a similar context, the small solid and timber partitions that form an assumed WC off the above-mentioned hallway are, again, not load bearing.

As discussed, we would advise that, in order to remove the partitions in question, you would require formal Listed Building Consent from the London Borough of Camden.

With regard to works to the proposed chimney breast within the rear lower ground floor area, the chimney breast can be opened up as long as pre-cast concrete lintels are provided to support the retained sections of the chimney breast at high level. It is recommended that minimum 65mm thick pre-stressed, pre-cast concrete lintels be provided with a minimum end bearing of 150mm. The lintels would be required to the full depth of the chimney breast.

St. Albans
58/62
Holywell Hill
St. Albans
Herts
AL1 1BX

Tel: 01727 848597
Fax: 01727 848598

Email: st.albans@property-tectonics.co.uk
Web: www.property-tectonics.co.uk

Manchester
Heywood Hall
Bolton Road
Pendlebury
Manchester
M27 8UX

Tel: 0161 794 9977
Fax: 0161 794 9988

Email: manchester@property-tectonics.co.uk
Web: www.property-tectonics.co.uk

Property Tectonics Ltd.

Registered Office
Heywood Hall
Bolton Road
Pendlebury
Manchester
M27 8UX

Registered
No. 3611608 England

Directors

Prof. Trevor Mole BSc(Hons) FRICS
Ian Haywood BSc(Hons) MRICS

Associates

Malcolm Thomas BSc(Hons) Dip TP MRTPI FRICS MIFSM,
Ian Filkins BA(Hons) Dip Surv MRICS,
Esther Mole BSc(Hons), **Kathryn Young**,
Ian Foster IEng MCBSE, **Salma Crisp** BSc(Hons) MRICS,
Shane Hopkins MBCS, **Justin Mole**



Certificate No. 2833
ISO 9001, ISO 14001





**PROPERTY
TECTONICS**

Again, it would be necessary to obtain Listed Building Consent for this work.

Consideration should also be given to ensuring that any retained flues within the chimney breast are properly ventilated.

We trust the above is satisfactory for your purposes. However, should you have any queries, or require any further information in respect of the above, please do not hesitate to contact the writer.

Yours sincerely



**Ian Haywood BSc (Hons) MRICS
Director**

