

FEBRUARY 2019

173_PL-COND_4D_01

44A GLOUCESTER
AVENUE

21
st

ARCHITECTURE LTD

1.0 INTRODUCTION

1.1 EXECUTIVE SUMMARY

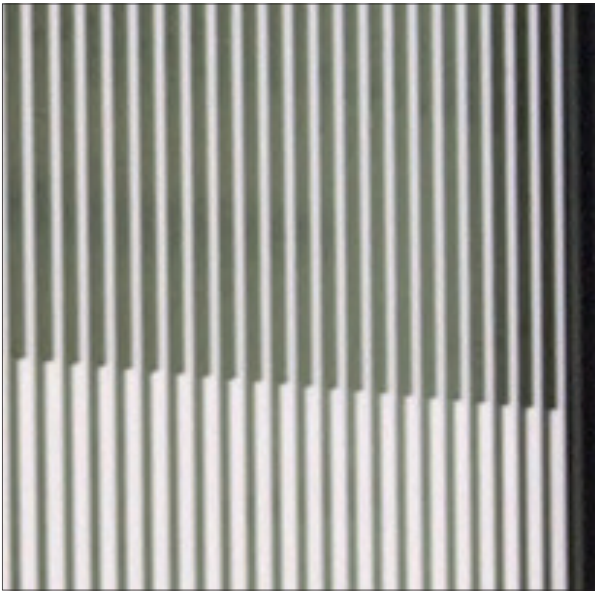
21st Architecture Ltd has produced this document as a response to the Full Planning Application Decision Notice Ref: 2016/7089/P, where the Council has considered the application and decided to grant permission subject to conditions.

This document provides the response to the condition 4d, which requires the provision of " the manufacturer's details of all new facing materials including glass extension, roof slate, rainwater goods, boundary treatment, white wash facade walls, brick and stonework."



Description **STRUCTURAL GLAZING**

Product nr.	Glass Entrance
Location	
Material	Glass
Dimensions	
Colour	Transparent
Type	Structural Glazing



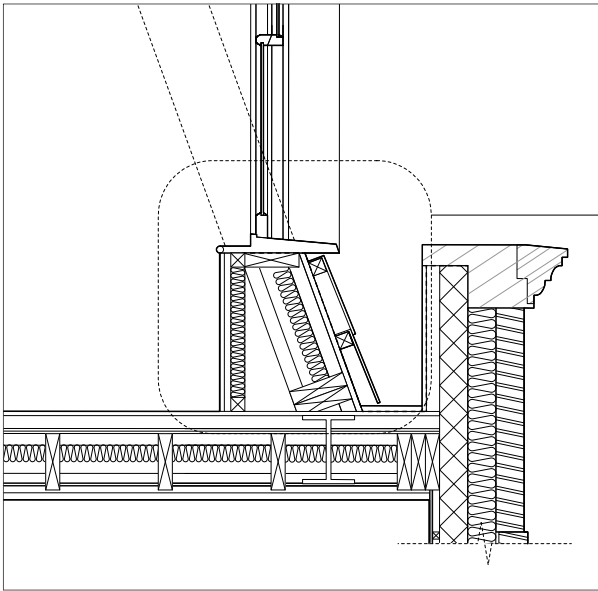
Description **FRITTED DETAIL**

Location	Glass Entrance
Colour	White
Finish	Ceramin baked onto the glass to create a pattern



Description **ROOF SLATE**

Location	Roof
Material	Slate
Colour	Grey



Description **RAINWATER GOODS
PARAPET GUTTER HIDDEN WITH
INTERNAL RWP'S**

Refer to the drawing 173_E-COND_04_06A in Appendixes.

2.0 MANUFACTURER'S DETAILS



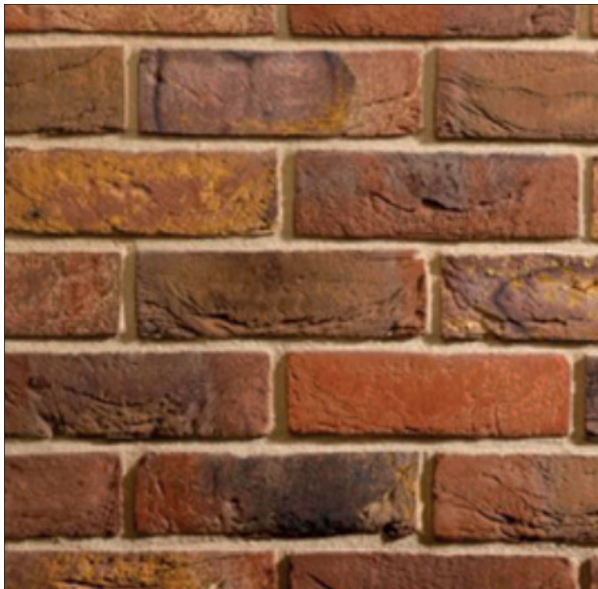
Description **BOUNDARY TREATMENT
REPAIRED EXISTING RAILINGS**

Refer to the drawing 173_E-COND_04_02 in Appendixes.



Description **WHITE WASH FACADE**

Location Refer to the drawings
Colour White
Type
Finish Lime based whitewash



Description **BRICKWORK**

Product York-red-multi Brick
Location Refer to the drawings
Dimensions 215 x 100 x 65 mm
Colour Red
Type Machine made stock brick



Description **SANDSTONE WINDOW AND
STAIRCASE DETAILS**

Product
Location Refer to the elevation drawings
Material Stone
Dimensions Varies
Colour Natural Sandstone
Finish Worn Edges and weathered to create aged appearance

2.1.1 EXISTING FRONT ELEVATION



W1



W3



W4



W5



W6



W7



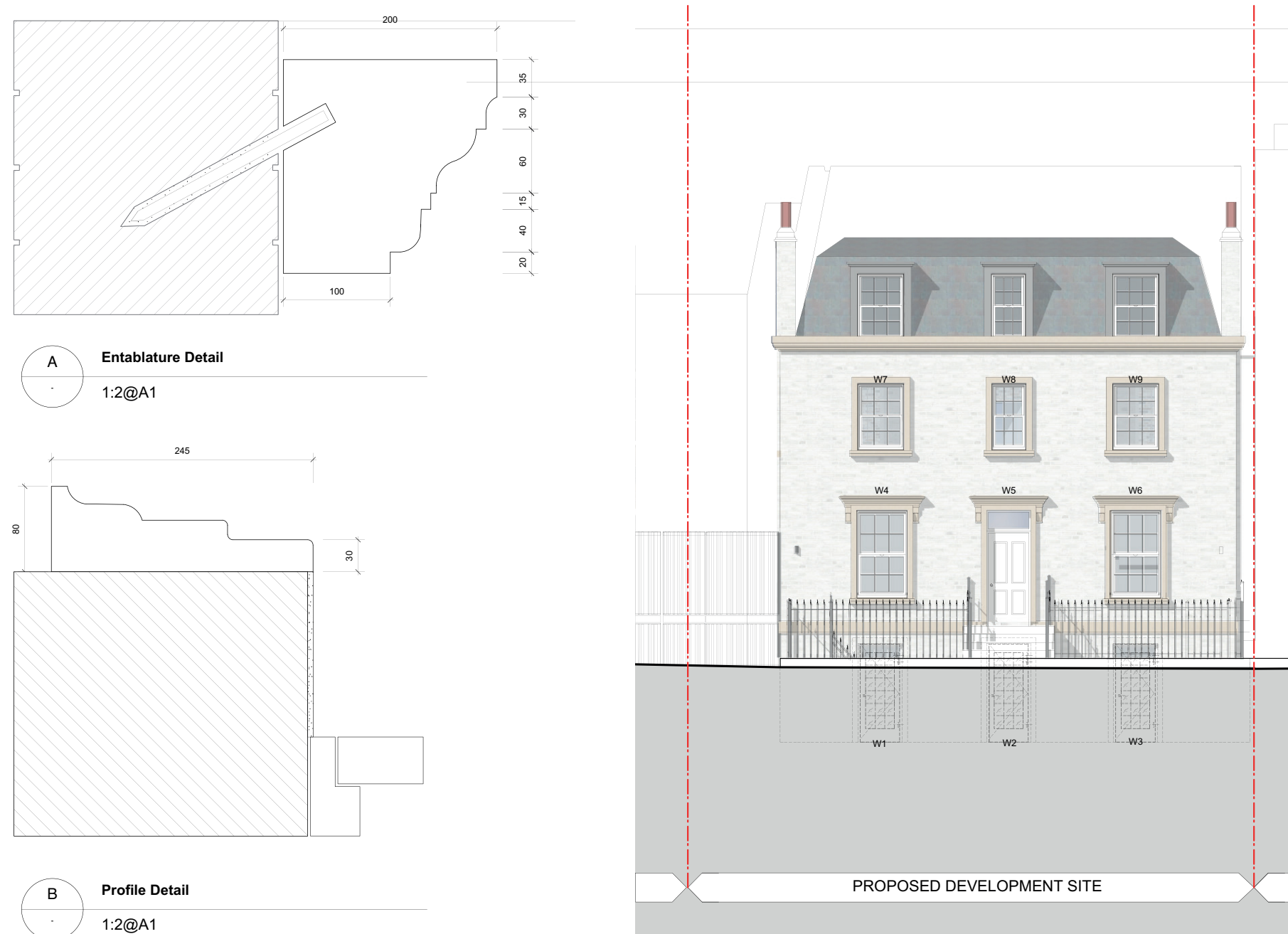
W8



W9

2.1 STONEMWORK

2.1.2 PROPOSED FRONT ELEVATION



BASEMENT WINDOWS (W1 and W3)

Existing Cill to be removed, as they have significant cracks, with a new stone cill formed with upstand to receive window.

Profile to be added to the frame on three sides oversailing the existing base to the reveal.

BASEMENT DOOR (W2)

Existing concrete plinth to be clad over with a new stone cill.

Profile to be added to the frame on three sides oversailing the existing base to the reveal.

GROUND FLOOR WINDOWS (W4 and W6)

Existing Cill to be removed, and they have significant cracks, with a new stone cill formed with upstand to receive window.

Profile to be added to the frame on three sides oversailing the existing base to the reveal.

The rolls and entablatures to be fixed through the wall beyond the frame.

ENTRANCE DOOR (W5)

Existing concrete plinth to be clad over with a new stone cill.

Profile to be added to the frame on three sides oversailing the existing base to the reveal.

The rolls and entablatures to be fixed through the wall beyond the frame.

FIRST FLOOR WINDOWS (W7 - W9)

Existing Cill to be removed, as they have significant cracks, with a new stone cill formed with upstand to receive window.

Profile to be added to the frame on three sides oversailing the existing base to the reveal.

2.1 STONework

2.1.3 PROPOSED GABLE ELEVATION

GABLE ELEVATION WINDOWS (W10 - W13)

New cills to be provided as there are not enough existing cill which can be salvaged and re-used.

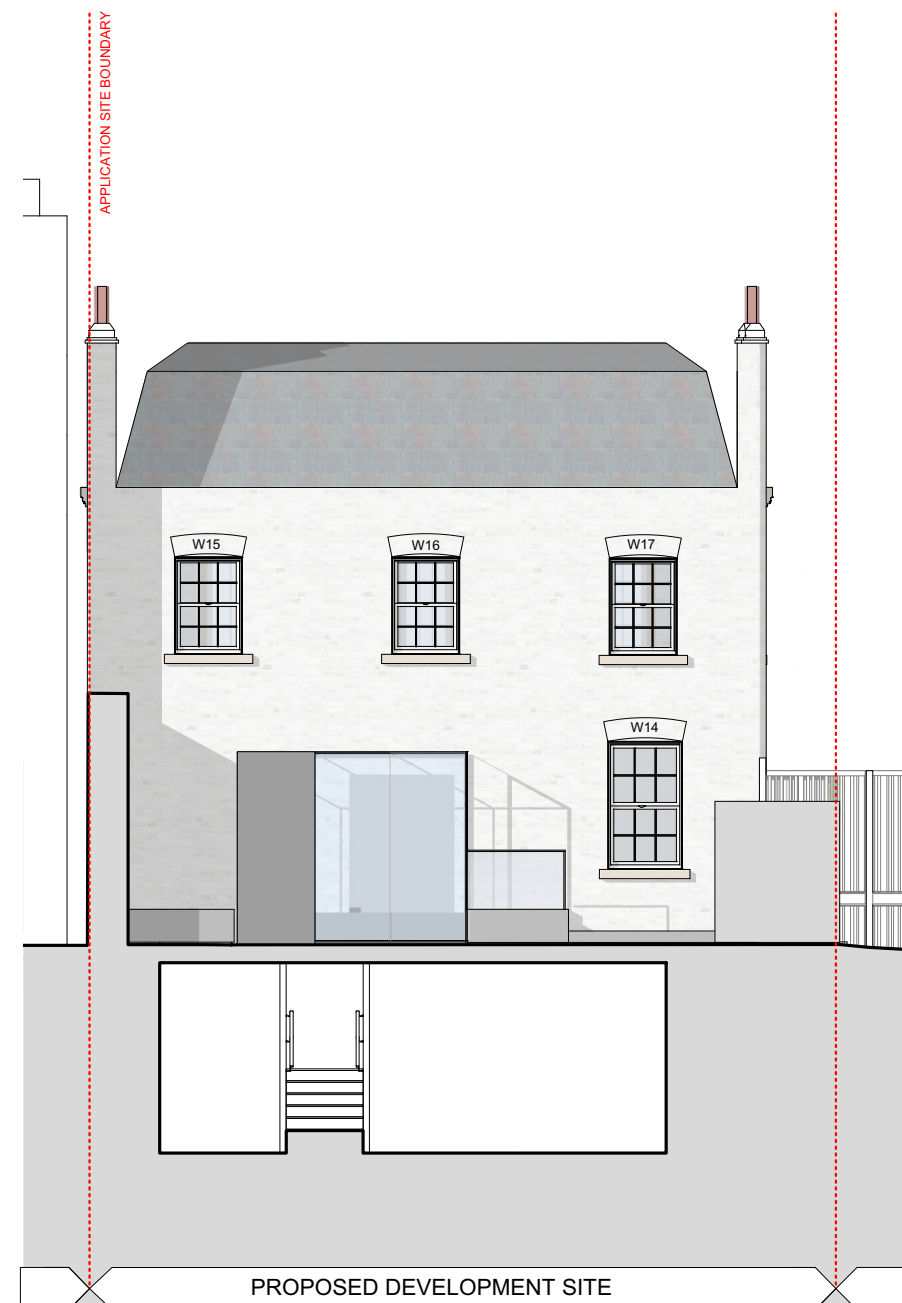


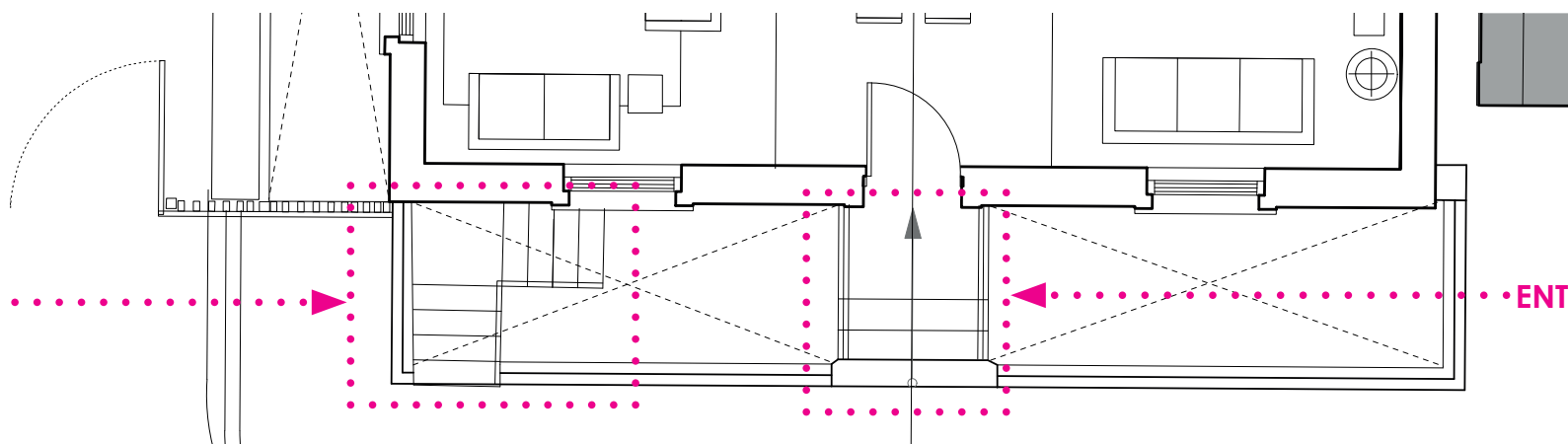
2.1 STONework

2.1.4 PROPOSED REAR ELEVATION

REAR ELEVATION WINDOWS (W14 - W17)

New cills to be provided as there are not enough existing cill which can be salvaged and re-used.





ENTRANCE STEPS

All stone steps to be replaced. The new stone plinths will have a circular incision to receive the cast iron railings. Then, molten lead is poured into gap to fix the railing into position.

BASEMENT STEPS

All stone steps to be replaced.

FACADE PLINTH

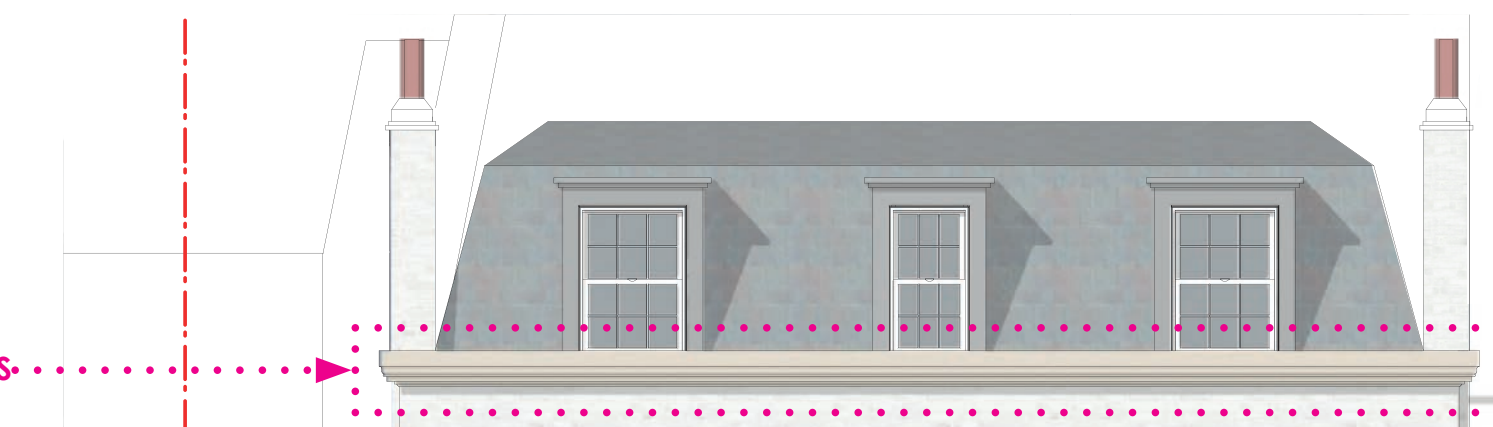
Existing paint/render finish to be removed. A New render/cement finish is to be added.

RAILING PLINTH TO GLOUCESTER AVENUE

All stone work to be replaced.

PARAPET CORNIS

New stone cornis to replace black banding. Wall to be retained below this point – the new stone cornis will sit on the full width of the retained wall.



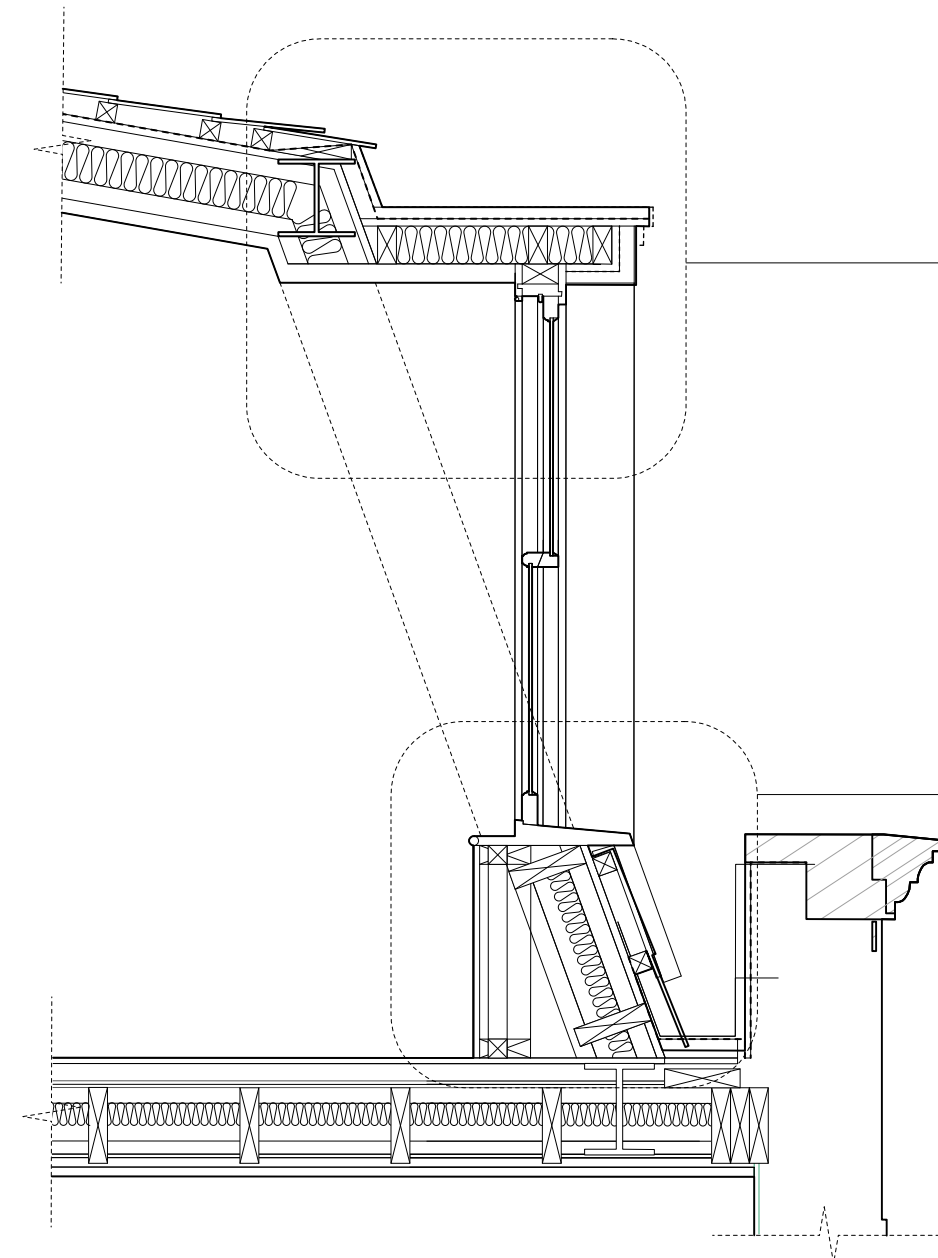
FACADE PLINTH

RAILING PLINTH

3.0 APPENDIX

- 3.1 Proposed Envelope Drawing - Window Detail
(173_E_PL-COND_04_06A)
- 3.2 Proposed Envelope Drawing - New Railing Detail
(173_E_PL-COND_04_02)

3.1 WINDOW DETAIL



de63 Detail Showing Block E Dormer Window Section
1:10 @ A1, 1:20 @ A3

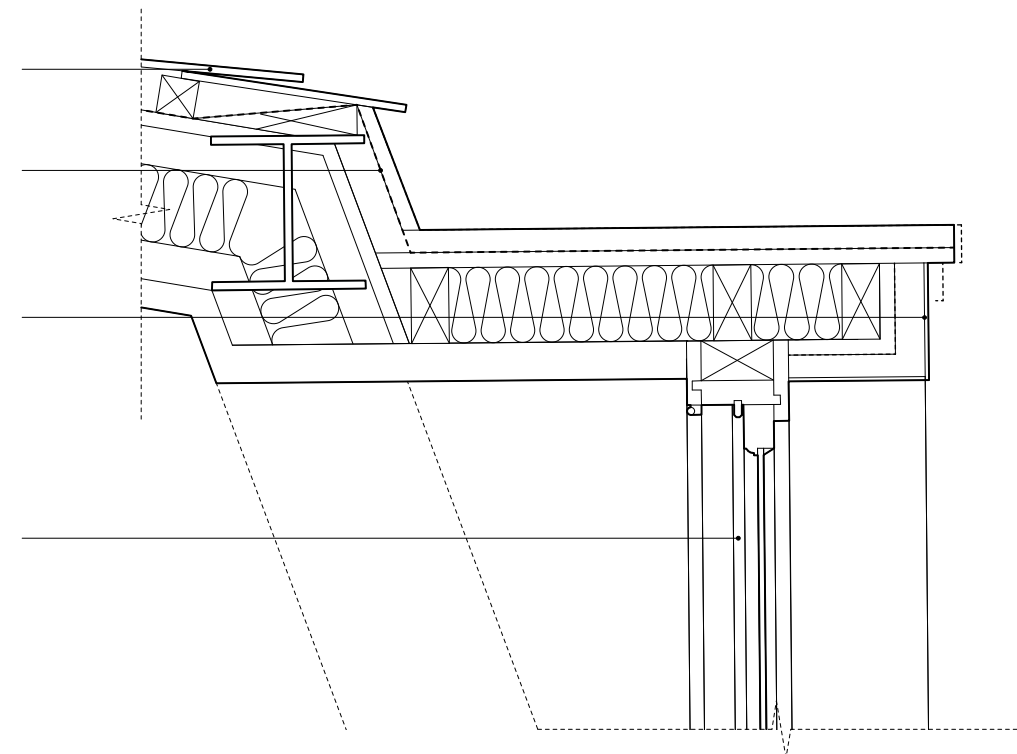
SLATE ROOF TILES.

DAMP PROOF MEMBRANE

CODE 4 LEAD ON BREATHABLE / SLIP MEMBRANE.

NEW TIMBER SLIDE AND SASH WINDOW.

dE64
04_02

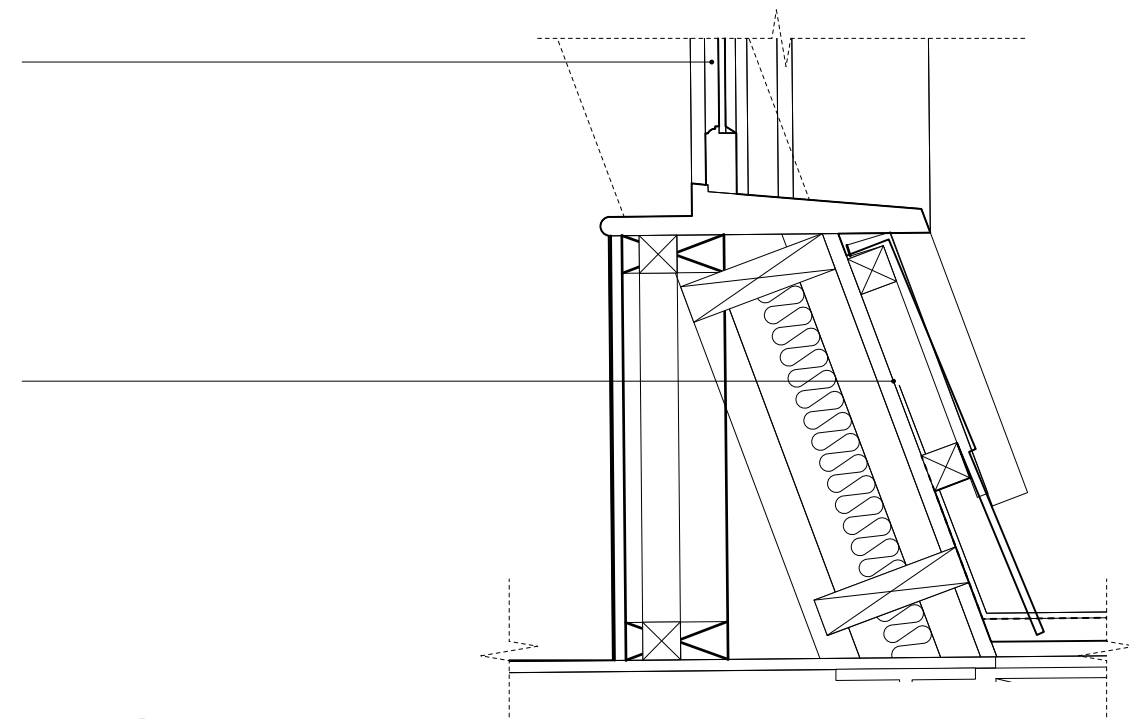


de64 Detail Showing Block E Dormer Window Detail
1:5 @ A1, 1:10 @ A3

NEW TIMBER SLIDE AND SASH WINDOW.

dE65
04_02

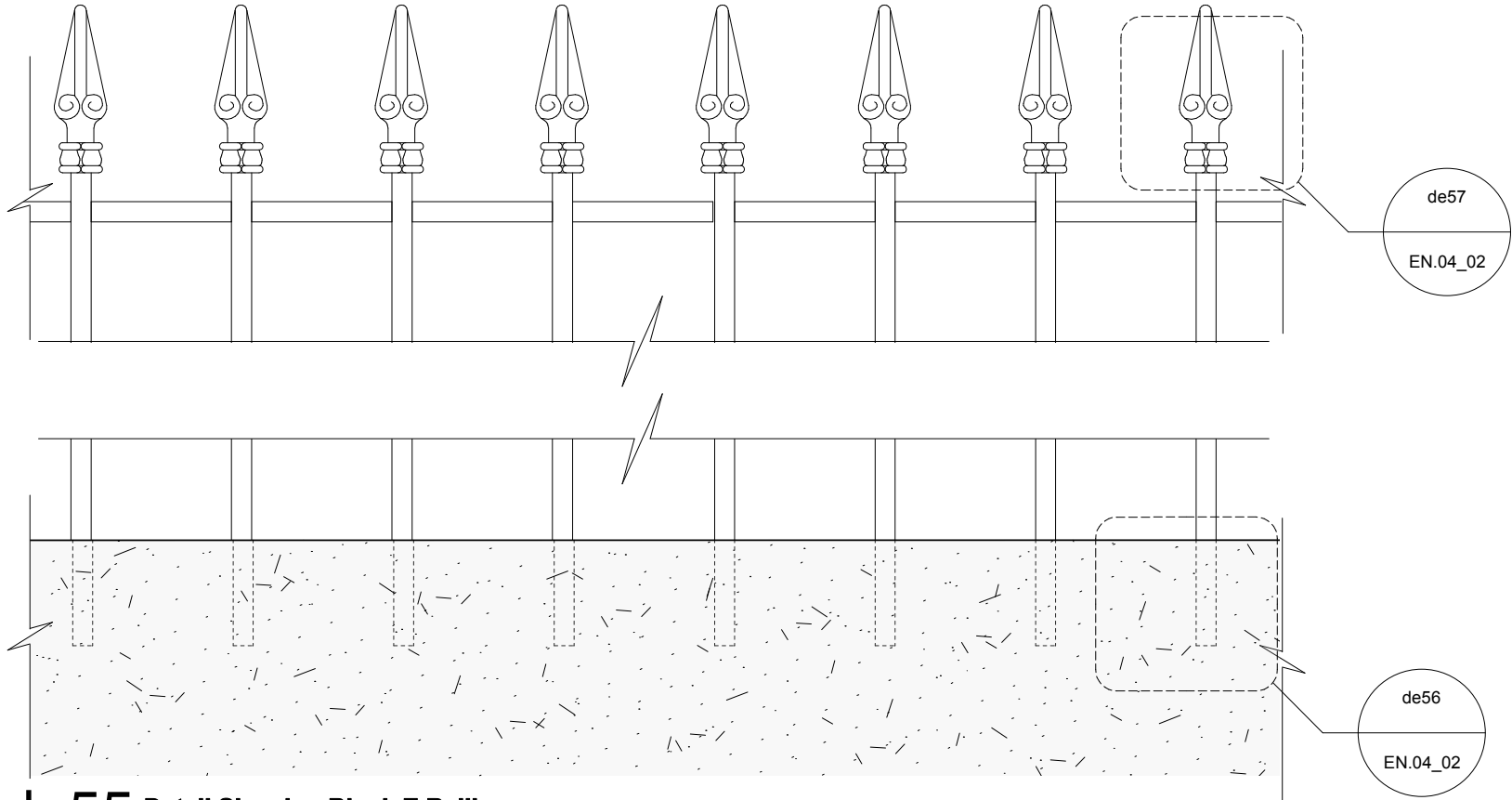
DAMP PROOF MEMBRANE



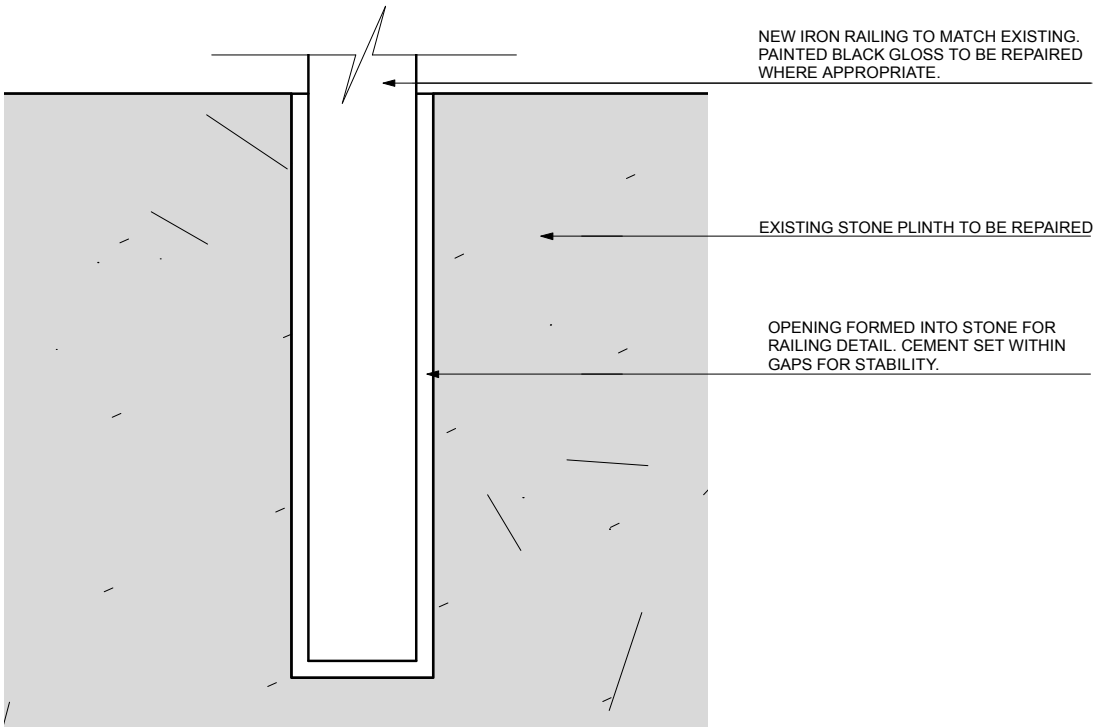
de65 Detail Showing Block E Dormer Window detail
1:5 @ A1, 1:10 @ A3

<p>Setting out and all G.A. drawings prepared from survey information provided by others.</p> <p>All setting out must be checked on site</p> <p>All levels must be checked on site and refer to Ordnance Datum Newlyn unless alternative Datum given</p> <p>All fixings and weatherings must be checked on site</p> <p>All dimensions must be checked on site</p> <p>This drawing must not be scaled</p> <p>This drawing must be read in conjunction with the relevant specification clauses</p> <p>This drawing must not be used for land transfer purposes</p> <p>This drawing must not be used on site unless issued for construction</p> <p>Information contained within this drawing is the sole copyright of 21st Architecture Ltd. and is not to be reproduced without express permission. No implied licence exists. This drawing not to be used for land transfer or valuation purposes. Do not scale from this drawing. All dimensions & levels are to be checked on site by the contractor. Issued for purposes indicated only. Drawing errors and omissions to be reported to the architect.</p>		<p>WARNING TO HOME BUYERS</p> <p>Property Misdescriptions Act 1991</p> <p>Buyers are warned that this is a working drawing and not intended to be treated as descriptive material describing in relation to any particular property or development, any of the specified matters prescribed by any order and under the above act. The contents of this drawing may be subject to change at any time and alterations and variations can occur, during the progress of the works without revision of the drawing. Consequently the layout, form, content and dimensions of the finished construction may differ materially from those shown. Nor do the contents of this drawing constitute a contract, part of any contract or warranty.</p> <p>THIS IS A DESIGN INTENT DRAWING. SUB-CONTRACTOR / SUPPLIERS DETAILED DRAWINGS AND SPECIFICATIONS TO BE SUBMITTED FOR DESIGN TEAM INFORMATION AND/OR COMMENT</p>		<p>Notes</p> <p>NEW BUILD RESIDENTIAL AND COMMERCIAL CONSTRUCTION TO ACHIEVE THE FOLLOWING MINIMUM U-VALUES (w/m2k)</p> <table><tr><td>ROOFS</td><td>0.2</td></tr><tr><td>WALLS</td><td>0.15</td></tr><tr><td>FLOORS</td><td>0.2</td></tr><tr><td>WINDOWS</td><td>1.4</td></tr><tr><td>DOORS</td><td>1.4</td></tr><tr><td>AIR PERMEABILITY</td><td>5</td></tr></table> <p>REFURBISHMENT COMMERCIAL CONSTRUCTION TO ACHIEVE THE FOLLOWING MINIMUM U-VALUES (w/m2k)</p> <table><tr><td>ROOFS</td><td>0.2</td></tr><tr><td>WALLS</td><td>0.5</td></tr><tr><td>FLOORS</td><td>0.25</td></tr><tr><td>WINDOWS</td><td>2.0</td></tr><tr><td>DOORS</td><td>2.0</td></tr><tr><td>AIR PERMEABILITY</td><td>10</td></tr></table> <p>* Floor finishes in front of the lifts to be "feathered-up" to give FFL+25mm at the lift entrance thresholds.</p>		ROOFS	0.2	WALLS	0.15	FLOORS	0.2	WINDOWS	1.4	DOORS	1.4	AIR PERMEABILITY	5	ROOFS	0.2	WALLS	0.5	FLOORS	0.25	WINDOWS	2.0	DOORS	2.0	AIR PERMEABILITY	10	<p>B Issued For Condition Discharge 05/02/19</p>				<p>Client St Ermins Property Company Limited</p> <p>Project 44 Gloucester Avenue London NW1 8JD</p> <p>Drawing Title Proposed Envelope Drawings - Window Detail Parapet and Dormer Detail</p>		<p>Twenty First Architecture Ltd, 314 Goswell Road, London, EC1V 7AF Tel: +44(0)20 7952 0252 www.21starchitecture.com</p> <table><tr><td>Status</td><td>Construction</td><td>Drawn</td><td>CM</td><td>Checked</td><td>TJS</td></tr><tr><td>Scale</td><td>1:5 @ A1, 1:10 @ A3</td><td>Date</td><td colspan="3">Feb 2019</td></tr><tr><td>Drwg. No.</td><td colspan="5">173_E_PL-COND_04_06B</td></tr></table>		Status	Construction	Drawn	CM	Checked	TJS	Scale	1:5 @ A1, 1:10 @ A3	Date	Feb 2019			Drwg. No.	173_E_PL-COND_04_06B				
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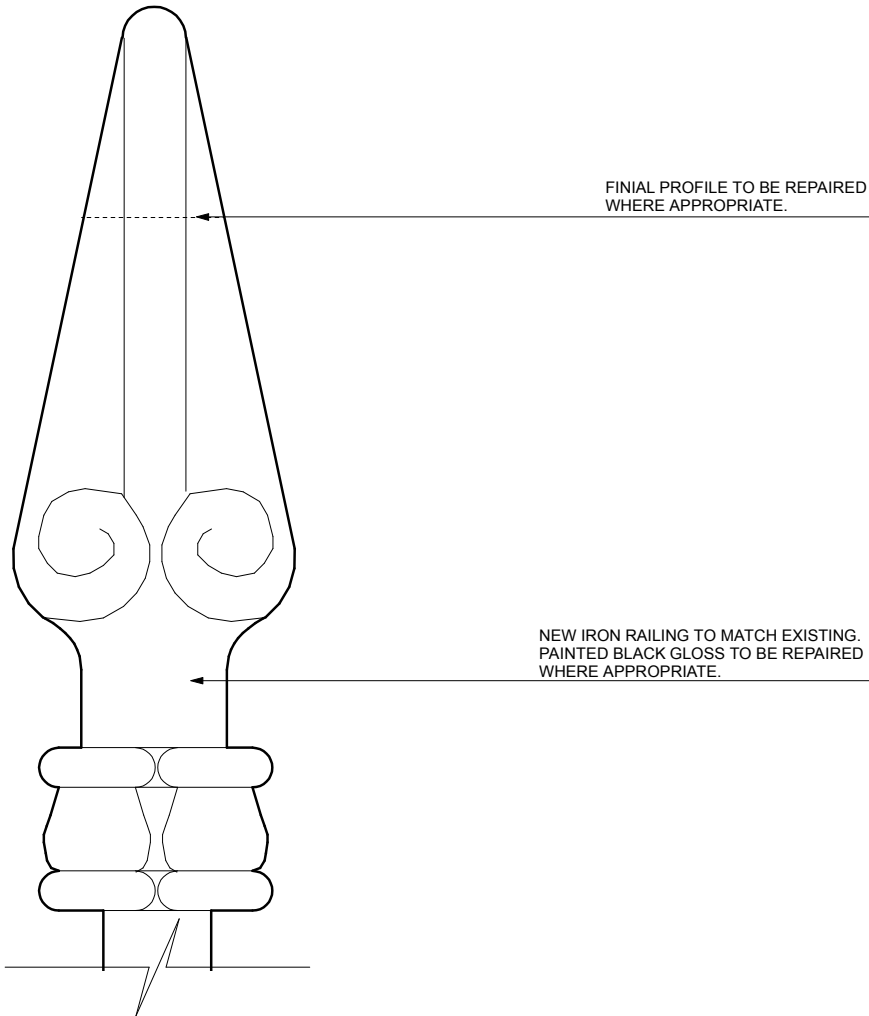
3.2 NEW RAILING DETAIL



de55 Detail Showing Block E Railings
1:5 @ A1, 1:10 @ A3



de56 Detail Showing Block E Railings Fixture
1:1 @ A1, 1:2 @ A3



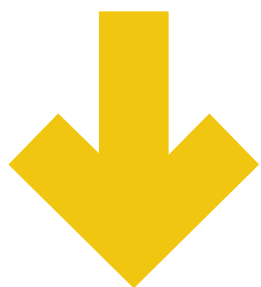
de57 Detail Showing Block E Railings Head
1:1 @ A1, 1:2 @ A3

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