

Application ref: 2019/0062/P
Contact: Charlotte Meynell
Tel: 020 7974 2598
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Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE

Phone: 020 7974 4444

planning@camden.gov.uk
www.camden.gov.uk/planning

WHP Wilkinson Helsby
Acquisition Design and Construction
The Ponderosa
Scotland Lane
Horsforth
Leeds
LS18 5SF

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)
Prior Approval Required - Approval Given

Address:

**Pavement on North of Railway Cutting on Loudoun Road
South West of 24 Hilgrove Road
London
NW8 0DJ**

Proposal: Installation of telecommunications equipment comprising of 1 x new 12.5m high monopole and 2 x new associated equipment cabinets on the pavement.

Drawing Nos: 79902-01 Rev. A4; 79902-02 Rev. A4; 79902-03 Rev. A4; 79902-04 Rev. A4; 79902-05 Rev. A4; 79902-06 Rev. A4; 79902-07 Rev. A4; 79902-08 Rev. A4; 79902-09 Rev. A4; 79902-10 Rev. A4; 79902-11 Rev. A4; Cover Letter (prepared by WHP Wilkinson Helsby, dated 27/12/2018); Declaration of Conformity with ICNIRP Public Exposure Guidelines; Site Specific Supplementary Information (prepared by WHP Wilkinson Helsby, dated 27/12/2018).

The Council has considered your application for prior approval of siting and appearance in respect of the telecommunications equipment described above and hereby determines that prior approval is required and **gives approval**.

Condition(s) and Reason(s):

- 1 The cabinets and monopole hereby approved shall be given a stippled black paint finish within one month of being installed.

Reason: In order to prevent flyposting and minimise the impact on the streetscene and local environment in accordance with the requirements of

requirements of policy D1 of the London Borough of Camden Local Plan 2017.

Informative(s):

1 Reason for granting permission

The scheme is assessed only for its acceptability in siting and appearance. The proposed mast would be shared by the Emergency Services Network (for the Home Office) and the mobile phone operator EE to provide reception to these services and users within the nearby railway cutting and tunnel mouth.

The proposal has been relocated to the opposite side of the railway bridge following the refusal of prior approval application ref. 2017/7095/P on 05/02/2018 and subsequent dismissal of the appeal ref. APP/X5210/W/18/3196921 against this refusal on 28/09/2018. The new site is not located within the Alexandra Road Conservation Area, nor adjacent to any listed buildings; however, it is located within close proximity of the flank wall of the locally listed building Nos. 22-24 Hilgrove Road.

The proposed monopole would be higher than the flank elevation of the adjacent locally listed building, and as such it is considered that it would cause less than substantial harm to the setting of this non-designated heritage asset. However, the applicants have demonstrated that the new site is the only remaining site that can adequately provide the specific coverage required. Therefore, it is considered that there is sufficient justification for the proposed mast in this location, and that the public benefits of the proposal outweigh the harm to the locally listed building. It is considered that the new site location would not cause harm to the character and appearance of the adjacent Alexandra Road Conservation Area, nor to the setting of the Grade II listed buildings to the south of the site or the wider Grade II* Alexandra Road Estate, and the previous reason for refusal has therefore been overcome.

The proposed equipment would be painted black to match the surrounding posts and lampposts, and it is considered that the 2 x proposed equipment cabinets would be small structures that would have no significant impact on the character and appearance of the streetscene.

The siting of the proposal to the rear of the pavement would not obstruct pedestrian flows. The proposed removal of the redundant 7.9m high solar panel pole within the middle of the pavement at the site required to facilitate the proposal would benefit pedestrian movement and is welcomed by the Council's Transport Planner. The relocation of the existing communal recycling bins on the pavement at this location to accommodate the proposed equipment cabinets is considered acceptable by the Council's Environmental Health Officer. The proposal is not visible from private views from the adjacent building Nos. 22-24 Hilgrove Road, and it is not considered that it would have a detrimental impact on the outlook of Nos. 59-65 Belsize Road on the opposite side of the road.

One objection was received prior to making this decision, and the supporting consultation summary addresses these comments. The planning history of the

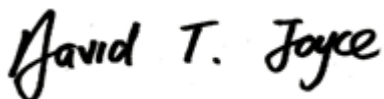
site has been taken into account when coming to this decision.

As such, the proposed development is in general accordance with policies A1, T1, D1, D2 and CC5 of the Camden Local Plan 2017. The proposed development also accords with the London Plan 2016 and the National Planning Policy Framework 2018.

- 2 You are advised to contact the Highways department prior to the commencement of the works to arrange for the removal or relocation of the existing posts and street signage at the site.
- 3 You are advised to contact Environmental Services prior to commencement of the works to arrange for the relocation or removal of the existing communal recycling bins at the site.
- 4 High Speed 2 (HS2) construction related activity is planned in the Alexandra Place area. You are advised to follow the ongoing progress of the HS2 programme at: <https://www.gov.uk/government/organisations/highspeed-two-limited> and to contact HS2 Ltd directly in the event of any potential overlaps of proposed works in the area.
- 5 You are reminded of the need to ensure that the apparatus shall be removed as soon as reasonably practicable when no longer required, in accordance with condition A.2(2) of Part 24 of the Town & Country Planning (General Permitted Development) Order (as amended).
- 6 You are advised that the telecommunications equipment cabinet hereby approved should be maintained in good condition for as long as it remains in place. The cabinet should be kept free of posters and graffiti and repainted if the cabinet becomes damaged or worn.
- 7 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Noise and Licensing Enforcement Team, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (Tel. No. 020 7974 4444 or search for 'environmental health' on the Camden website or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2018.

Yours faithfully

A handwritten signature in black ink that reads "David T. Joyce". The signature is written in a cursive, slightly slanted style.

David Joyce
Director of Regeneration and Planning