

Application ref: 2018/1556/P
Contact: Charles Thuaire
Tel: 020 7974 5867
Date: 26 February 2019

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE

Phone: 020 7974 4444

planning@camden.gov.uk
www.camden.gov.uk/planning

Nicholas Taylor + Associates
31 Windmill Street
London W1T 2JN

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Approval of Details Granted

Address:

Former Belsize Fire Station
36 Lancaster Grove
London
NW3 4PB

Proposal: Details required by conditions 4 (cycle storage), 6 (sustainable urban drainage system), 8 (drainage strategy) and 9 (lighting strategy) of planning permission dated 28/06/2017 ref 2016/5813/P (for Change of use of part of former fire station to provide 5 self-contained residential units and installation of cycle parking enclosure).

Drawing Nos: BFS THA PR AL 450-P4; Light spillage modelling report by Twinearth dated March 2018; L1805-IN2-00-00-DR-E-0101 rev P3, L1805-IN2-00-XX-DR-E-0101 rev P3, L1805-IN2-00-XX-DR-E-0102 rev P3; HRWallingford surface water storage requirements data sheet; 17-172: P-300B, P-301; Drainage lifetime maintenance schedule by Coyle Kennedy dated March 2018.

The Council has considered your application and decided to grant permission.

Informative(s):

1 Reasons for granting approval-

Condition 4- the submitted details for secure cycle storage for 14 bicycles are acceptable in location and design; despite not being covered, this is considered acceptable in the context of the site layout and listed building constraints.

Condition 6 and 8- the details of a sustainable urban drainage system and a drainage strategy are considered acceptable as they will satisfactorily reduce the rate of surface water run-off from the buildings and limit the impact on the storm-water drainage and sewage system. Thames Water has also confirmed it is happy with the design and will accept the discharge to the combined sewer.

Condition 9- the lighting strategy as revised is considered acceptable in terms of limiting the impact of light pollution on bats.

The full impact of the proposed development has already been assessed. The proposed details would not have a harmful impact on the appearance of the host building, on the character of the conservation area or on neighbouring amenity.

As such, the proposed details are in general accordance with policies CS11, CS13, CS15 and CS16 of the London Borough of Camden Local Development Framework Core Strategy, and policies DP17, DP22, DP23 and DP32 of the London Borough of Camden Local Development Framework Development Policies.

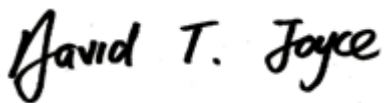
- 2 You are reminded that conditions 5 (water use) and 7 (SUDS implementation) of planning permission dated 28/06/2017 ref 2016/5813/P are outstanding and require details to be submitted and approved.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2018.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully



David Joyce
Director of Regeneration and Planning