



# **MEDIUS HOUSE - STRUCUTRAL METHOD STATEMENT**

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Report to Discharge Condition 44

December 2018

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# 1.0 Introduction

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## INTRODUCTION

This report has been prepared by CBRE in conjunction with Davies Maguire for the discharge of Condition 44 of the approved planning consent reference no. 2017/0618/P. It includes a detailed survey of the Medius House façade undertaken by Davies Maguire in October 2018 and recommendations for remedial works to be undertaken to the façade during the development. It also includes a detailed structural method statement with supporting drawings that outlines how the façade will be protected and restrained during the demolition and development works. The report also includes 3D visuals of the proposed façade retention system as well as a detailed schedule of demolition and redevelopment works. The information included in this report seeks to demonstrate the actions that will be taken to safeguard the building and immediate area in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017.

## 2.0 Condition Survey

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### CONDITION SURVEY

The following pages have been prepared by Davies Maguire and set out the details of the condition survey undertaken to Medius House. The report sets out the extent of any damage observed to the façade and proposed works to repair and update the façade.

# Medius House

15-21

**Façade Survey**  
DMAG-1521-02-FS  
October 2018

Produced for **Royal London Asset Management**



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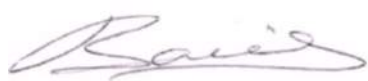
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### REVISION HISTORY:

Rev	Date	Purpose/Status	Document Ref.
P01	1/11/2018	Information	DMAG-1521-02-FS
P02	06/12/2018	For planning conditions	DMAG-1521-02-FS-P02

### QUALITY CONTROL:

Prepared by:



Jessica Davies  
Senior Engineer

Approved by:



Gareth Davies  
Director

## 1 Introduction

The proposed scheme includes a retained façade, and pre-commencement conditions from Camden include a façade survey. This initial survey has taken place to document any current issues with the façade and its condition.

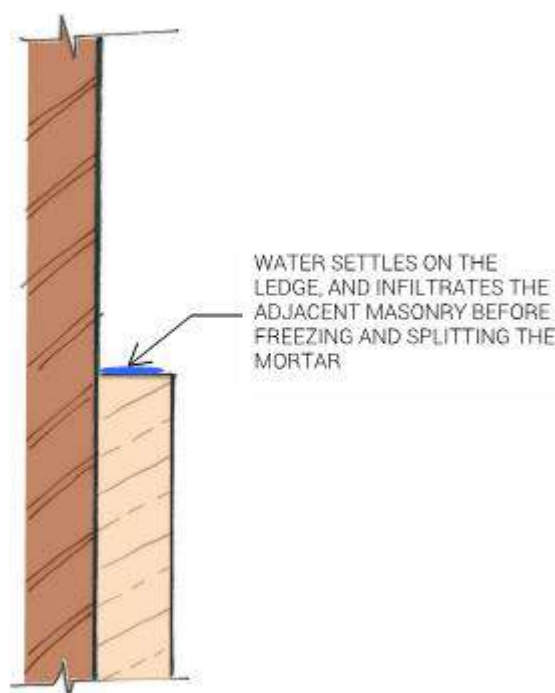
The survey took place on 25<sup>th</sup> October 2018, in clear conditions. It was undertaken with a camera and binoculars from pavement level. This limited the visibility of the façade; there may be additional areas of damage or movement which were not apparent from our viewpoint. Once the façade retention system is in place, the façade will be further inspected at close range. Any further areas of damage or movement found can then be reviewed and the repairs included in the contractor's scope as required.

There are a number of required repairs identified which should be undertaken prior to demolition of the building frame, behind the façade. This will ensure the façade is stabilised prior to the demolition works. These are separated into two sections; general observations (section 2.0) and specific issues (section 3.0). A number of these issues and observations will require regular repair as part of the building's regular maintenance cycle, such as repointing where rainwater has washed away mortar.

## 2 General Observations

### 2.1 Freeze Thaw

There are multiple areas where water has settled on ledges in the façade, where the stone steps out creating features and sills. The water has then infiltrated the neighbouring masonry and frozen, causing expansion which has cracked the mortar and masonry above.



*Figure 1: Water settling on ledges*

It is proposed that the ledges are sanded off on the top, in order to create a fall so water does not collect in these areas in the future. Local mortar repairs will also be necessary to repair existing damage.



*Figure 2: Evidence of damage to the mortar above the sill*

## 2.2 Mortar Washout

The facade has decorative stone work around some of the windows. Where there are porticos, rainwater has washed down the sides and washed mortar out of the joints.

The mortar will need repair and repointing prior to the frame demolition. This should be completed periodically as part of the building's regular maintenance.





*Figure 3: Water damage down the side of the windows*

## 2.3 Scaffold Ties

Across the façade, there are multiple existing scaffold ties. Some are obvious whilst others have been previously masked with infill grout. These can remain in situ.





*Figure 4: An existing scaffold tie in the masonry*

## 2.4 Bucknall Street Warehouse

There is evidence the rain water down pipe has been blocked in the past, which has created overflow issues. There are currently plants growing in the gutter work at high level. This has caused significant damage to the surrounding brickwork, and the brickwork going down the drainpipe. There is washout of the mortar and cracks to the bricks. It is recommended that the gutter is cleared regularly, and repair work is undertaken such as repointing and helifix repairs where cracks are evident.



*Figure 5: Evidence the downpipe has previously been blocked, with vegetation growing*


There are also a number of cracks beneath the windows on Bucknall street warehouse elevation, which highlights there may be further structural issues with this façade. We would therefore recommend an internal survey is undertaken of the structure, and how the façade is tied to the frame.




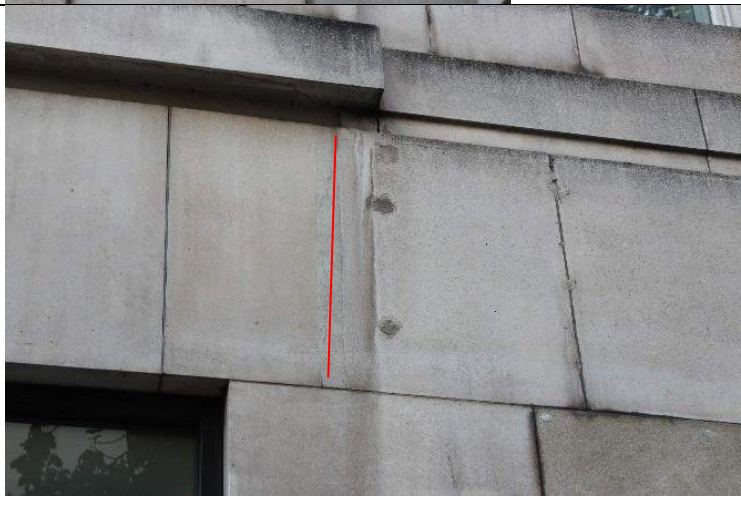

*Figure 6: Bucknall St warehouse, showing cracks behind the drain and around the windows*




### 3 Specific Issues



Please refer to sketches 129-130 (appended) for the location of the numbered points.

Number	Issue	Image	Repair Required
1	Ambiguity in the building line, there are elements of stonework from each building which overlap. Medius façade is due to be demolished at this level.		Additional propping is likely to be required during construction, and careful detailing of the proposed works.





2	The boundary between Toni&Guy and Medius house is not straight vertically, with the stone stepping below first floor level		Additional propping is likely to be required during construction, and careful detailing of the proposed works.
3	Cracks in façade stone with evidence of previous repair		Structure to be reviewed internally to assess if cracks are result of ongoing movement or previous damage to the structure, and any repairs specified as necessary.
4	Wash out of mortar around portico		Mortar repairs required and repointing





5	Loose mortar and damage to masonry from water sitting on cornice		Local repairs to the masonry and repointing
6	Cracks to stone façade around column head, with evidence of previous repair		Structure to be reviewed internally to assess if cracks are result of ongoing movement or previous damage to the structure, and any repairs specified as necessary.
7	Wash out of mortar around portico		Local repairs to the masonry and repointing



8	Loose brick and mortar wash out		Local repairs to the masonry and repointing
9	Cracks to stone façade		Structure to be reviewed internally to assess if cracks are result of ongoing movement or previous damage to the structure, and any repairs specified as necessary.





10	Wash out of mortar around portico		Local repairs to the masonry
11	Cracking to mansard return and evidence of previous repair		This section is to be demolished and replaced in the proposed works; note there may be damage to the structure behind the cracked masonry.







12	Cracks to stone façade around column head, with evidence of previous repair		Structure to be reviewed internally to assess if cracks are result of ongoing movement or previous damage to the structure, and any repairs specified as necessary.
13	Mortar cracking and damage to masonry from water sitting on cornice		Local repairs to the masonry and repointing
14	Wash out of mortar around portico		Local repairs to the masonry and repointing
15	Cracking to bottom of bay window structure		This implies the cantilever structure behind may be damaged or otherwise inadequate. Structure to be investigated during strip out; allow for

			local repairs to façade such as helifix repair details
16	Wash out of mortar		Local repairs to the masonry and repointing
17	Cracking and damage to the stonework from water sitting on cornice		Local repairs to the stonework

18	Evidence of freeze thaw damage to the bricks above the ledge		Local repairs to the masonry
19	Wash out of mortar around portico		Local repairs to the masonry and repointing



20	Washed out mortar		Local repairs to the masonry and repointing
21	Crack running down through masonry and causing expansion in the stone cornice joint at high level		Part of this is to be demolished at higher level as part of the proposed works. The structure internally is to be reviewed during strip out to assess any inadequacies. Allow for repair to masonry including helifix bars

22	Bucknell street warehouse drain evidently blocked in the past, leading to widespread damage to the masonry		The drain should be unblocked on Bucknell street warehouse, and the structure reviewed more locally for any permanent damage. Allowance to be made for any repairs required.
23	Water damage washed out mortar		Local repairs to the masonry and repointing



NEW OXFORD STREET FACADE



DYOTT STREET ELEVATION



## 3.0 Structural Method Statement

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### STRUCTURAL METHOD STATEMENT

The following pages have been prepared by Davies Maguire and set out the structural methodology that will be employed to restrain and protect the façade of Medius House throughout the demolition and redevelopment works. Davies Maguire have liaised with various demolition contractors who have validated their proposed methodology.

Davies Maguire propose to install a façade retention system prior to demolition to anchor and laterally restrain the façade. This system will remain in place through demolition and until the new concrete structure has been tied into the façade. After the façade has been secured to the new building structure, the façade retention system will be taken down so that the building can be completed.

Details of the proposed demolition and construction sequence are outlined in the following sections.

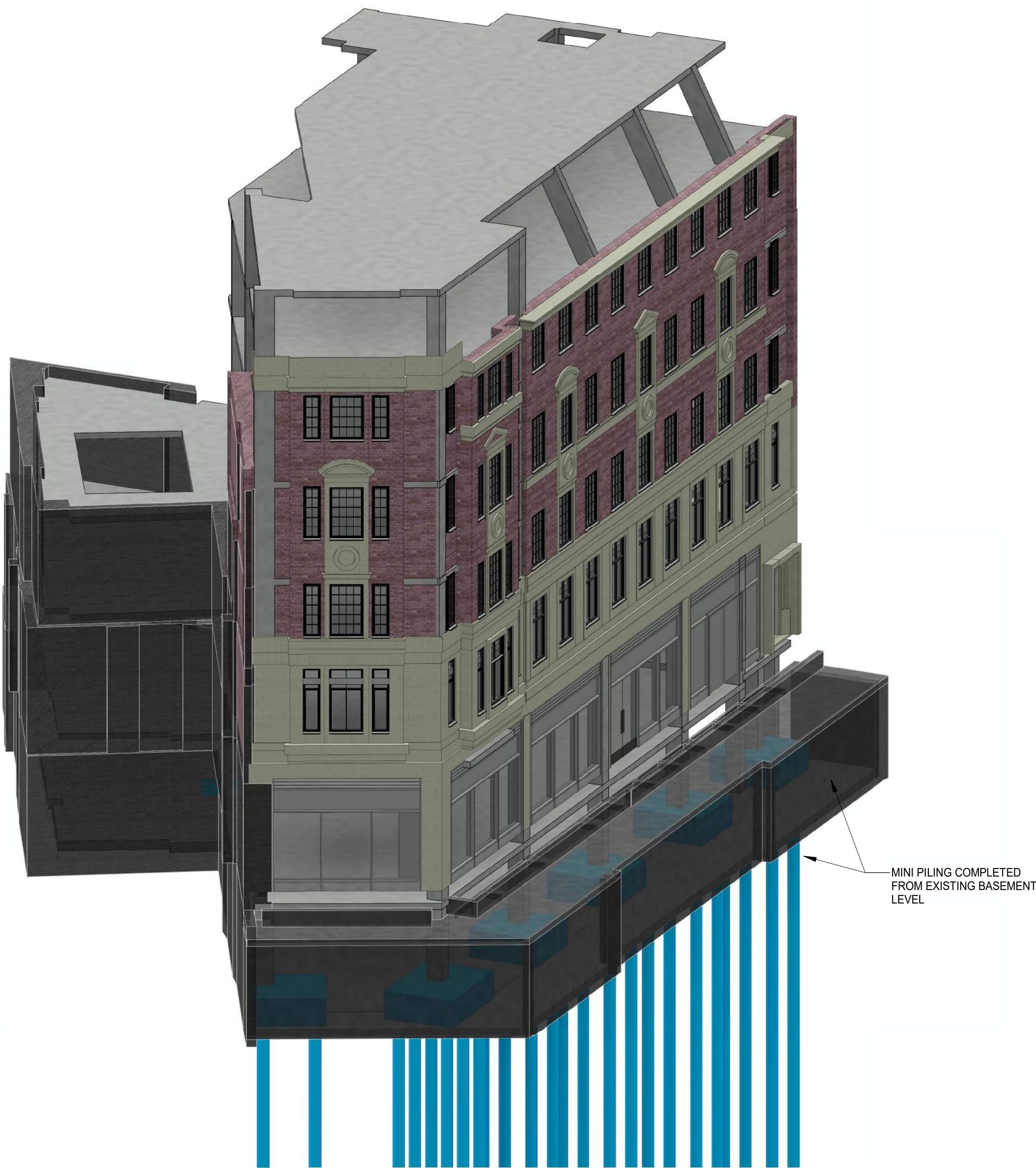


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AND TEMPORARY WORKS SHOWN  
INDICATIVELY ONLY. DESIGN RESPONSIBILITY  
RESTS WITH THE CONTRACTOR.




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0 3D VIEW - TEMPORARY WORKS - SEQUENCE 0  
EXISTING BUILDING.



1 3D VIEW - TEMPORARY WORKS - SEQUENCE 1  
TEMPORARY WORKS  
PILES INSTALLED.

TEMPORARY WORKS LEGEND			
	EXISTING:	EXISTING STRUCTURE TO REMAIN	
	DEMOLITION:	EXISTING STRUCTURE TO BE DEMOLISHED	
	TEMPORARY WORKS:	TEMPORARY WORK TO BE INSTALLED PRIOR TO PROPOSED WORKS STARTING	

P02	UPDATED PRELIMINARY ISSUE	01/11 2018	DSC	JD
P01	PRELIMINARY ISSUE	19/10 2018	DSC	JD
Rev	Description	Date	By	App

Stage:	PRELIMINARY
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Client:	ROYAL LONDON ASSET MANAGEMENT
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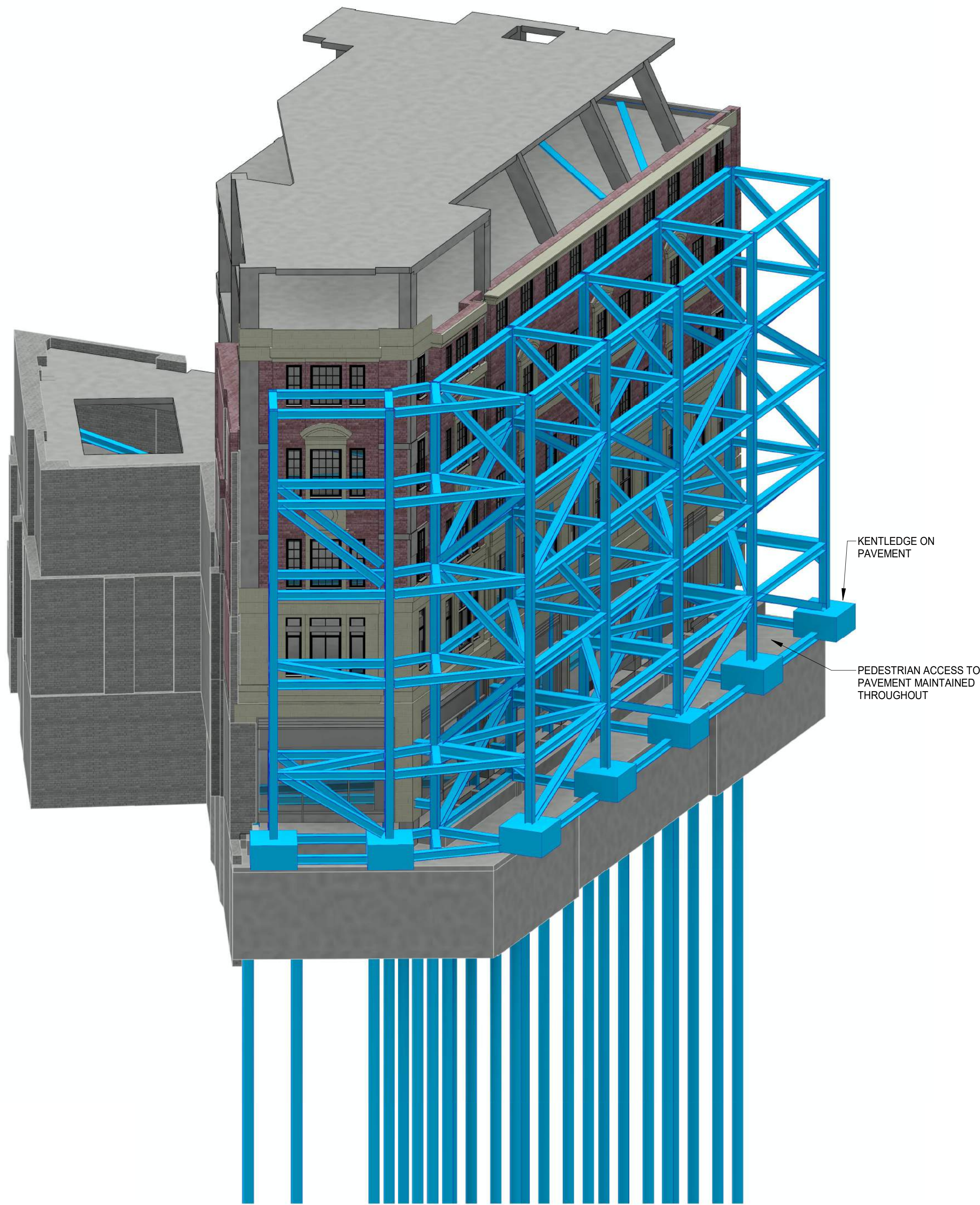
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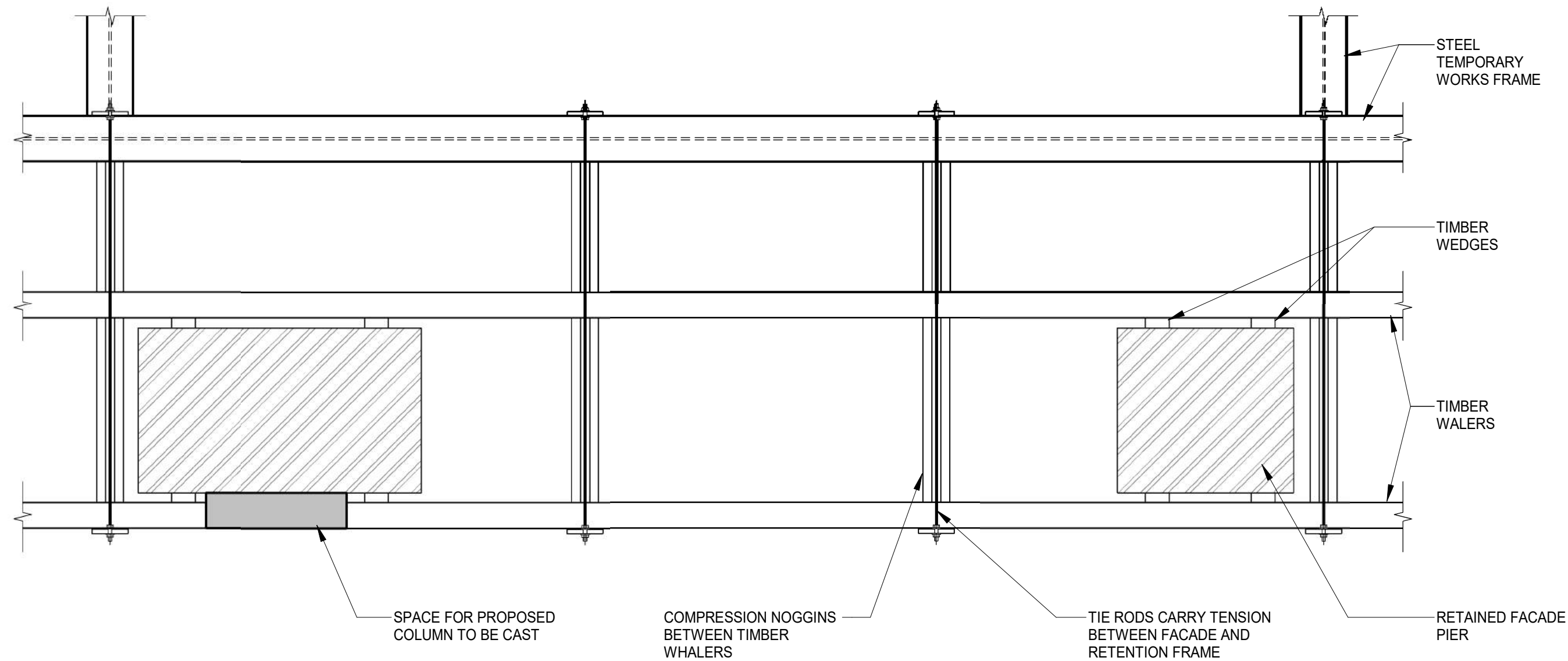
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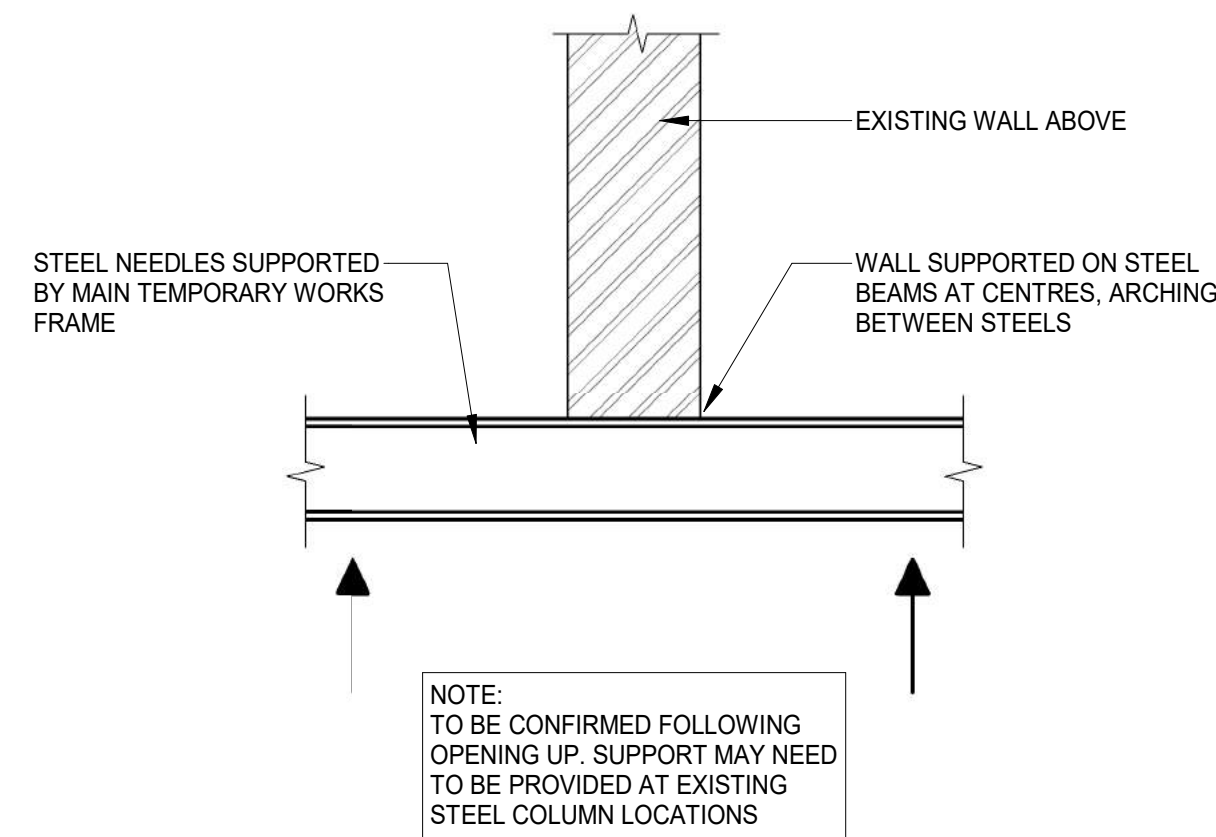


2 3D VIEW - TEMPORARY WORKS - SEQUENCE 2

FACADE RETENTION  
TEMPORARY STEELWORK  
ERECTED AND FACADE  
SUPPORTED VERTICALLY  
AT FIRST FLOOR.



A PLAN OF FACADE RETENTION DETAIL  
1 : 25



B SUPPORT DETAIL AT FIRST FLOOR  
1 : 20

ENVISAGED CONSTRUCTION SEQUENCE AND TEMPORARY WORKS SHOWN INDICATIVELY ONLY. DESIGN RESPONSIBILITY RESTS WITH THE CONTRACTOR.

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Project Title: CASTLEWOOD HOUSE LONDON W1A

Drawing Title: MEDIUS HOUSE 3D VIEWS TEMPORARY WORKS SHEET 2

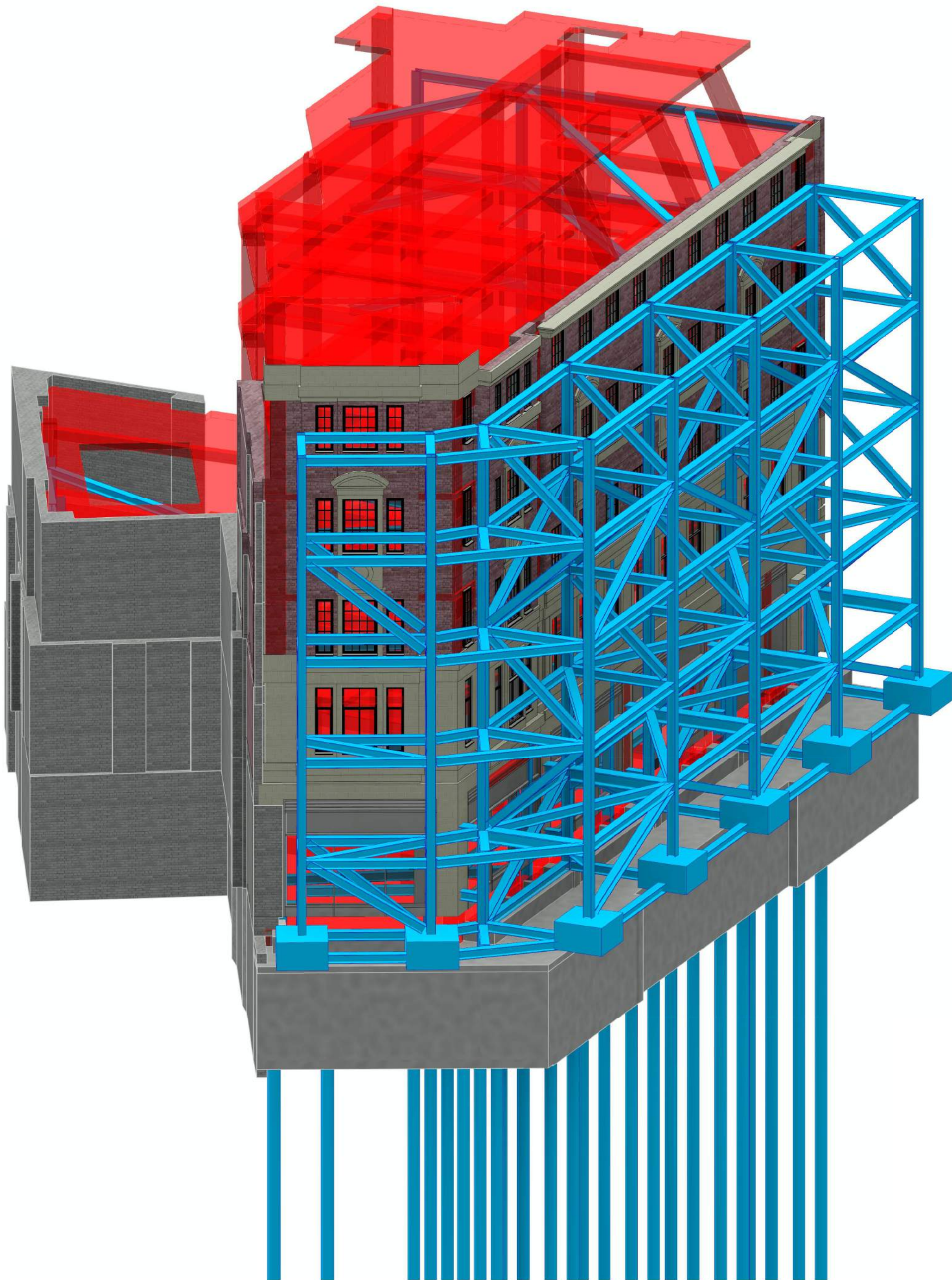
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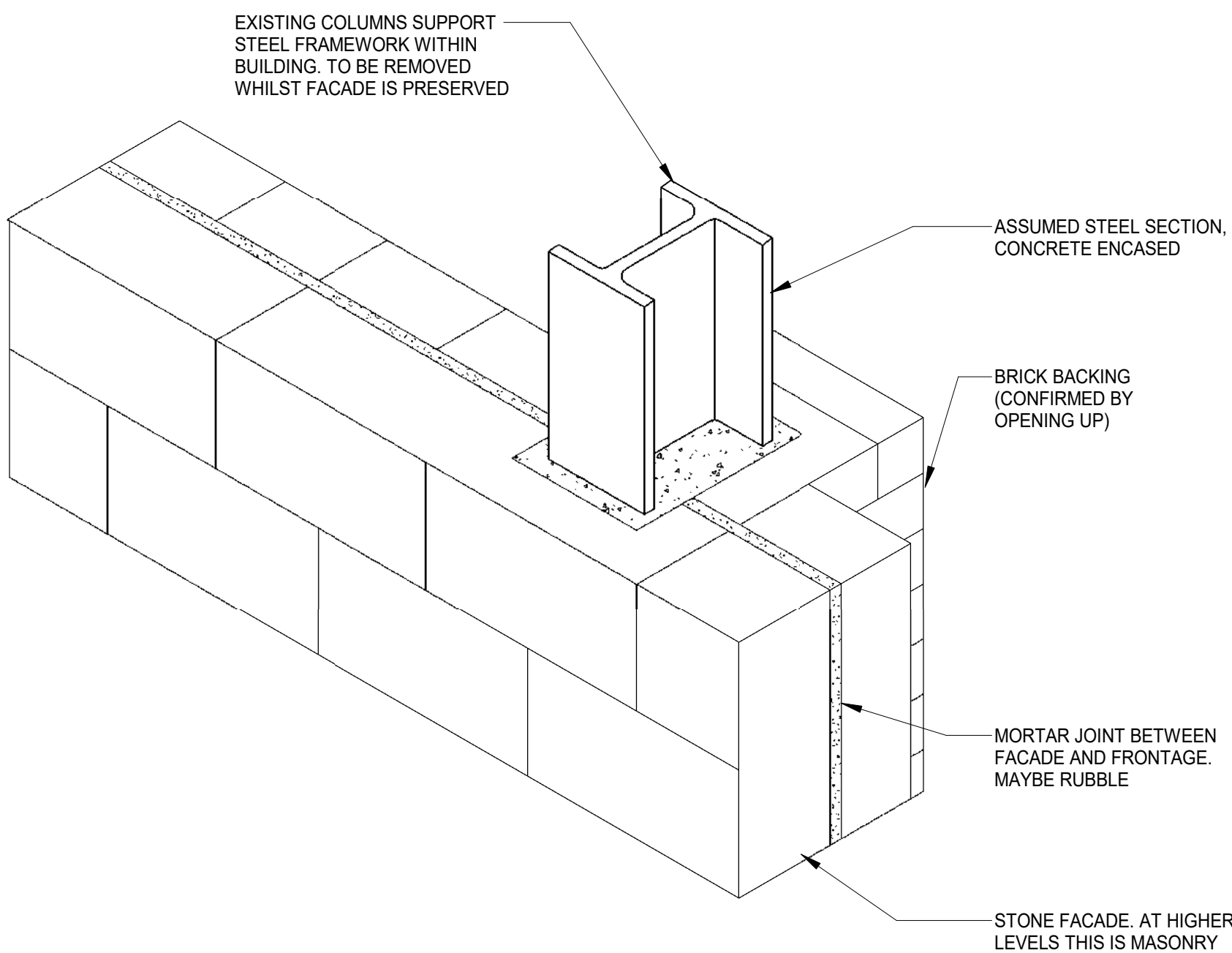
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3 3D VIEW - TEMPORARY WORKS - SEQUENCE 3

EXISTING FRAME  
DEMOLISHED IN A  
TOP DOWN SEQUENCE.



X EXPECTED EXISTING FACADE COLUMN DETAIL  
1 : 10

TEMPORARY WORKS  
LEGEND

EXISTING:  
EXISTING STRUCTURE TO  
REMAIN

DEMOLITION:  
EXISTING STRUCTURE TO BE  
DEMOLISHED

TEMPORARY WORKS:  
TEMPORARY WORK TO BE  
INSTALLED PRIOR TO  
PROPOSED WORKS STARTING

P02	UPDATED PRELIMINARY ISSUE	01/11 2018	DSC	JD
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Drawing Title:	MEDIUS HOUSE 3D VIEWS TEMPORARY WORKS SHEET 3
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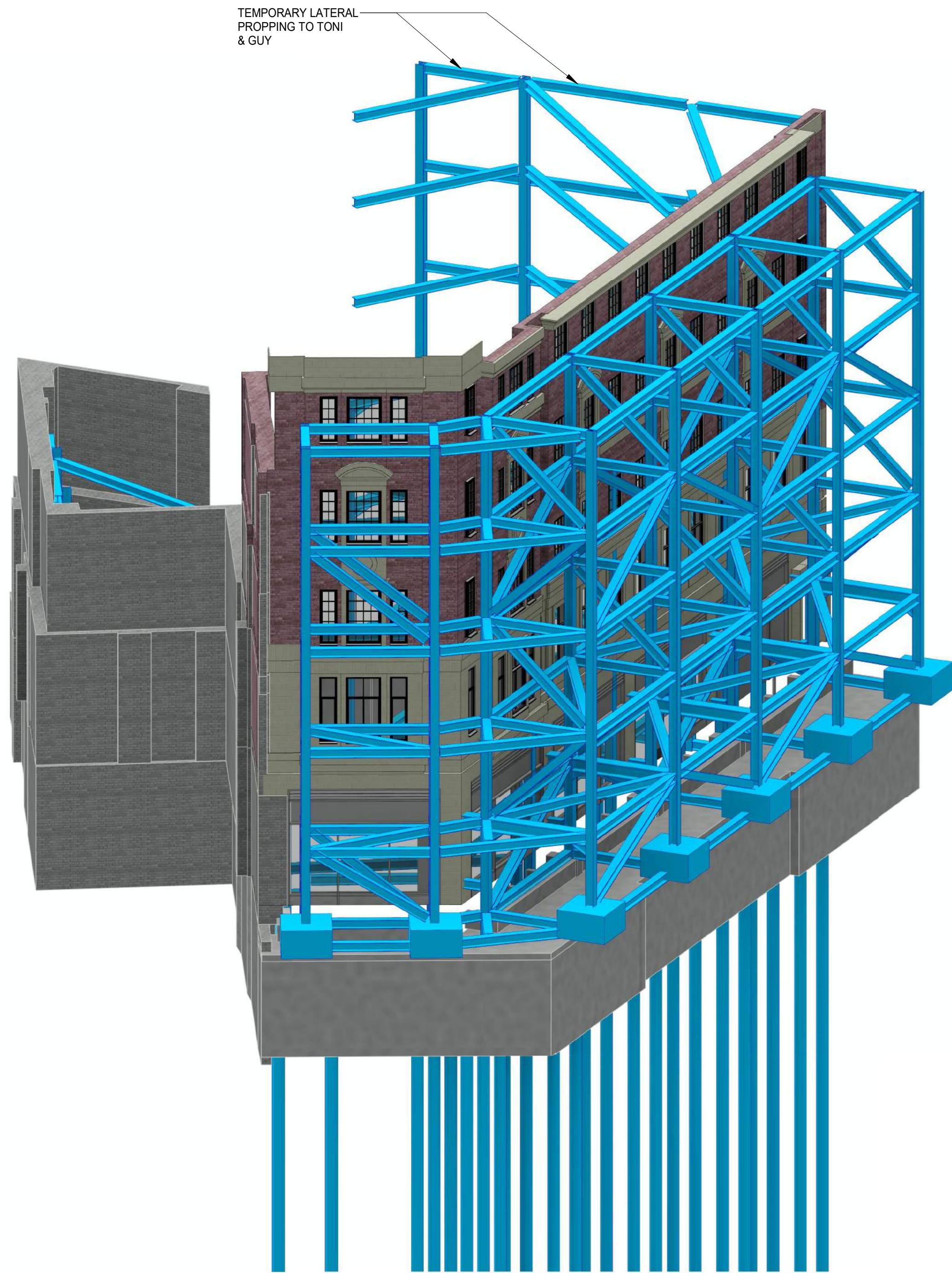
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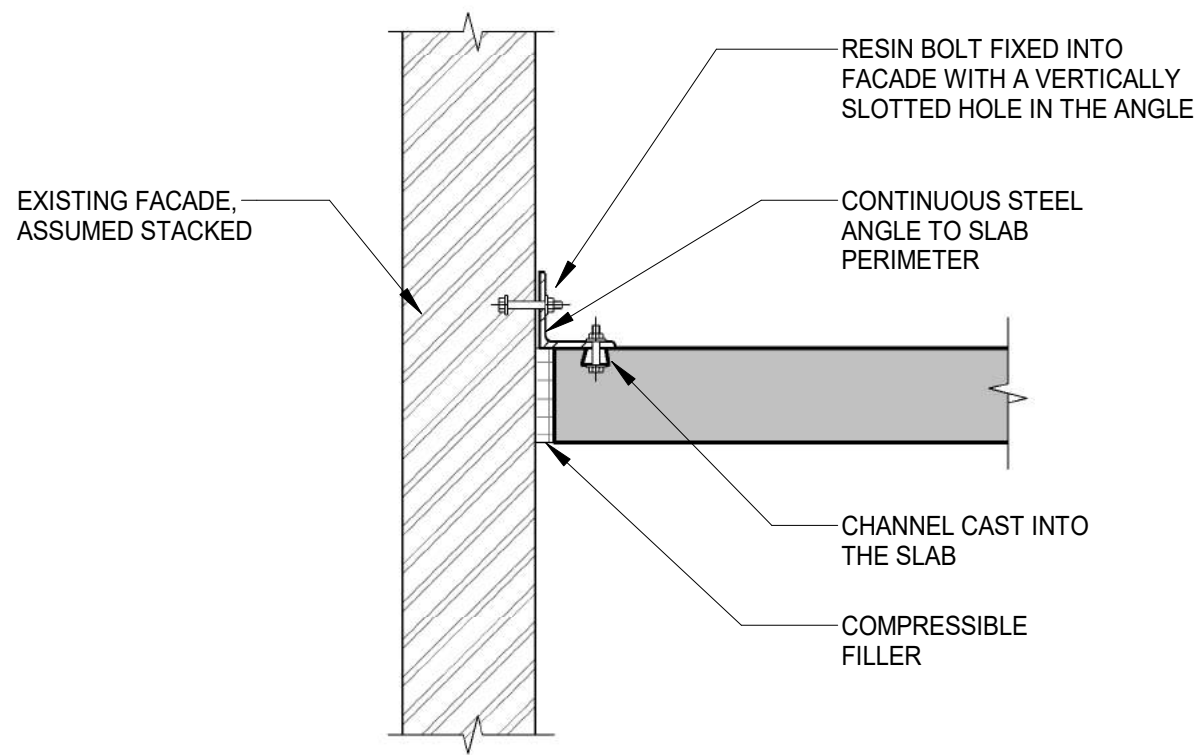


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4 3D VIEW - TEMPORARY WORKS - SEQUENCE 4  
FACADE RETAINED  
DEMOLITION COMPLETED



Y RESTRAINT DETAIL FROM NEW SLAB TO EXISTING FACADE  
1 : 20

**TEMPORARY WORKS  
LEGEND**

EXISTING:  
EXISTING STRUCTURE TO  
REMAIN

DEMOLITION:  
EXISTING STRUCTURE TO BE  
DEMOLISHED

TEMPORARY WORKS:  
TEMPORARY WORK TO BE  
INSTALLED PRIOR TO  
PROPOSED WORKS STARTING

P02	UPDATED PRELIMINARY ISSUE	01/11 2018	DSC	JD
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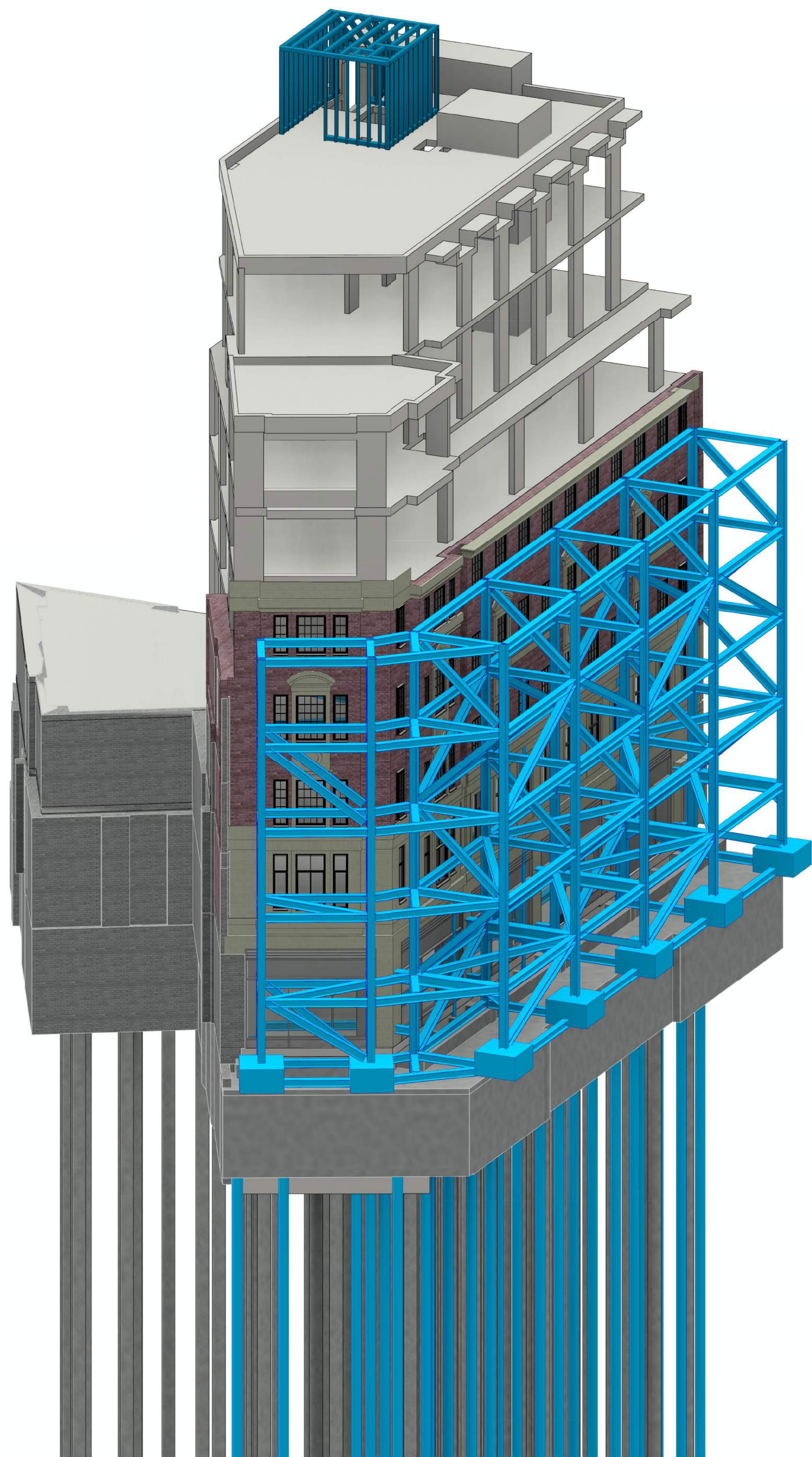
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Drawing Title:  
**MEDIUS HOUSE  
3D VIEWS  
TEMPORARY WORKS  
SHEET 4**

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Project No.:	Originator	Zone	Level	Type	Role	Number
15-21	DM-02-ZZ-DR-S-213					P02





5 3D VIEW - TEMPORARY WORKS - SEQUENCE 5  
NEW R.C. FRAME ERECTED.



6 3D VIEW - TEMPORARY WORKS - SEQUENCE 6  
TEMPORARY WORKS REMOVED.

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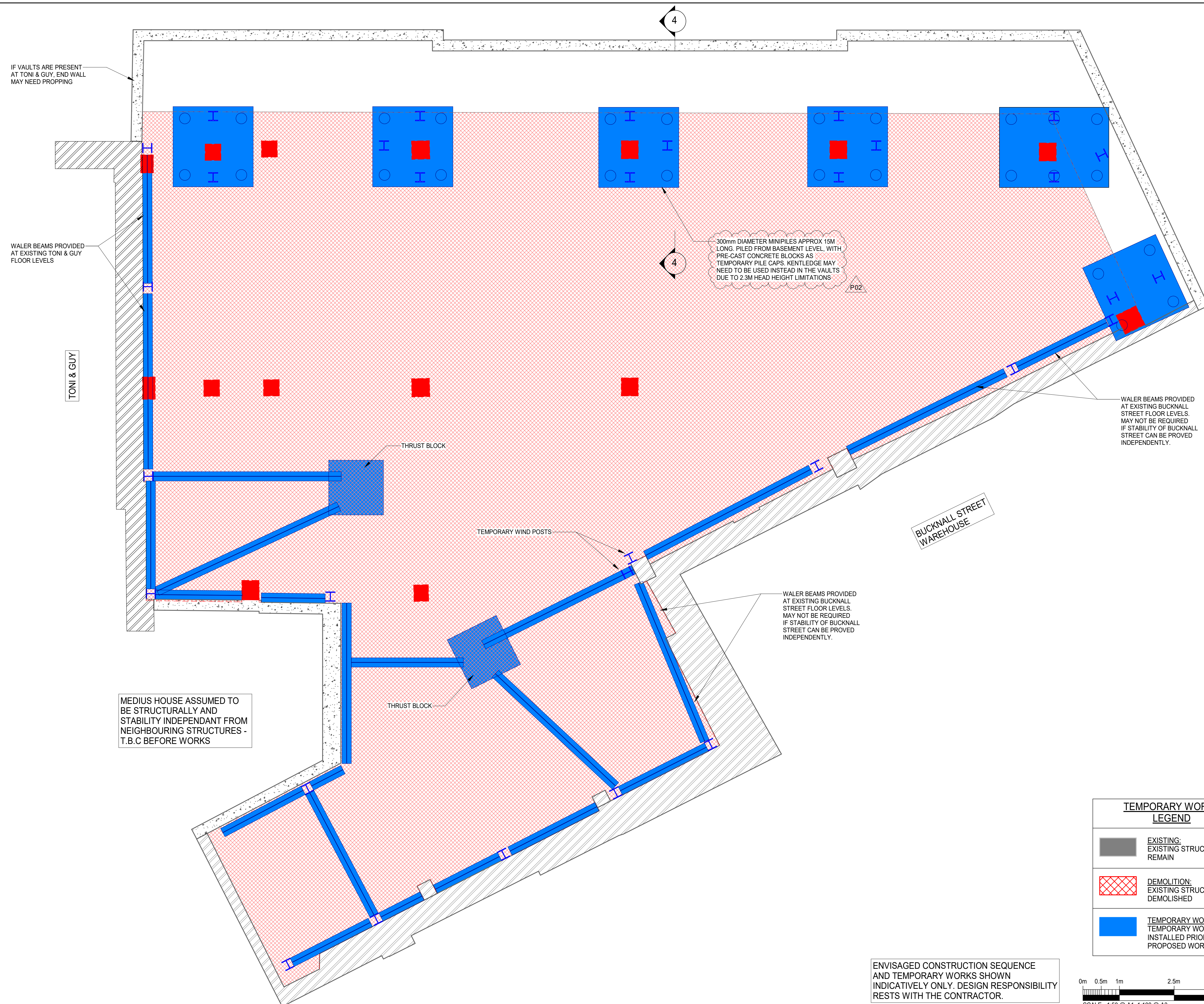
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	DEMOLITION: EXISTING STRUCTURE TO BE DEMOLISHED
	TEMPORARY WORKS: TEMPORARY WORK TO BE INSTALLED PRIOR TO PROPOSED WORKS STARTING





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P02	NOTES REVISED WHERE CLOUDED	06/12 2018	DSC	J
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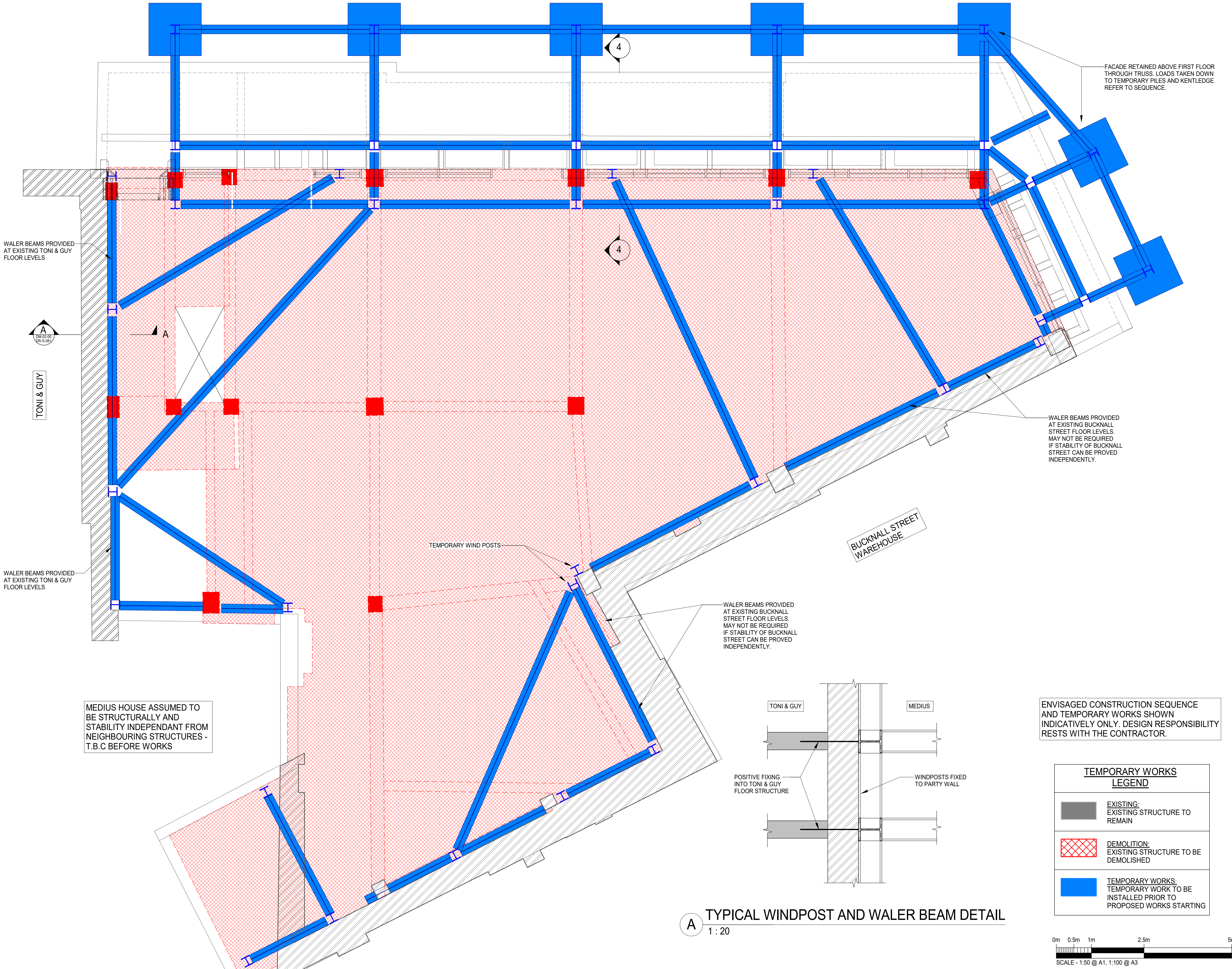
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LONDON W1A

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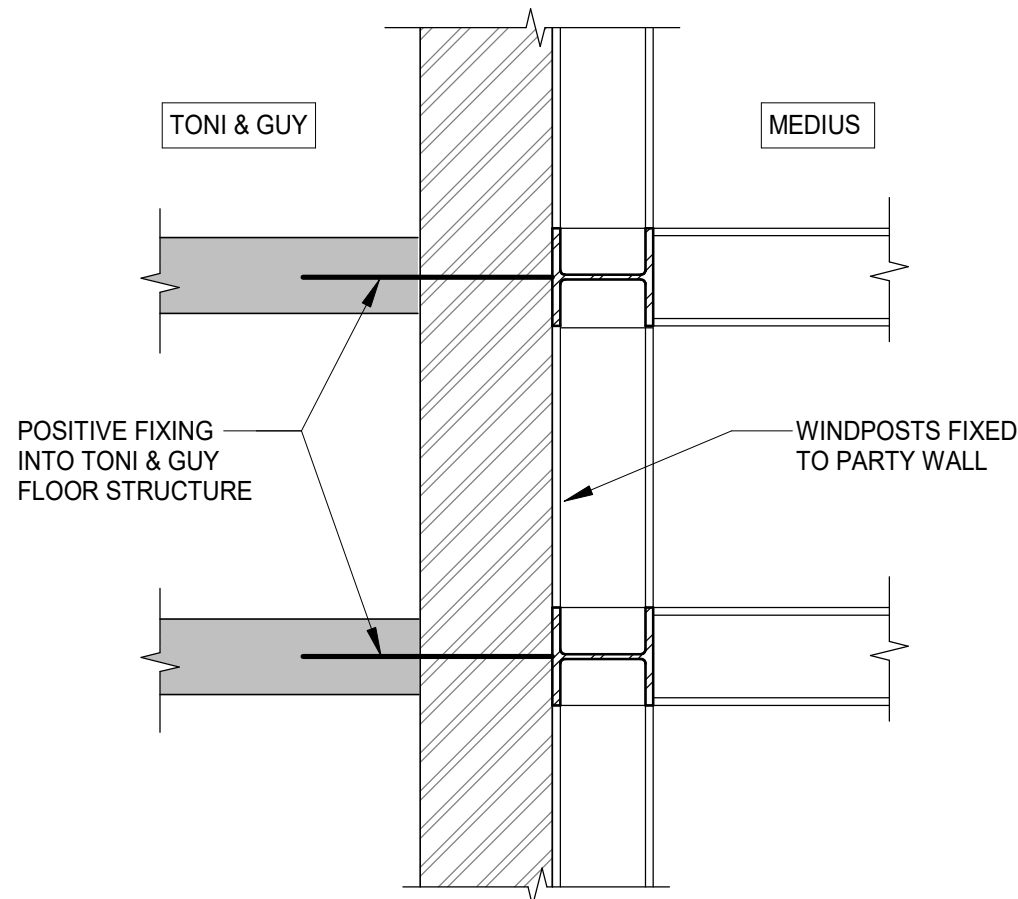
MEDIUS HOUSE  
EXISTING BASEMENT  
TEMPORARY WORKS  
GENERAL ARRANGEMENT

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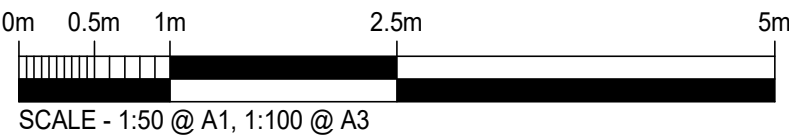


**A** TYPICAL WINDPOST AND WALER BEAM DETAIL  
1 : 20



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TEMPORARY WORKS LEGEND	
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Rev	Description	Date	By	App

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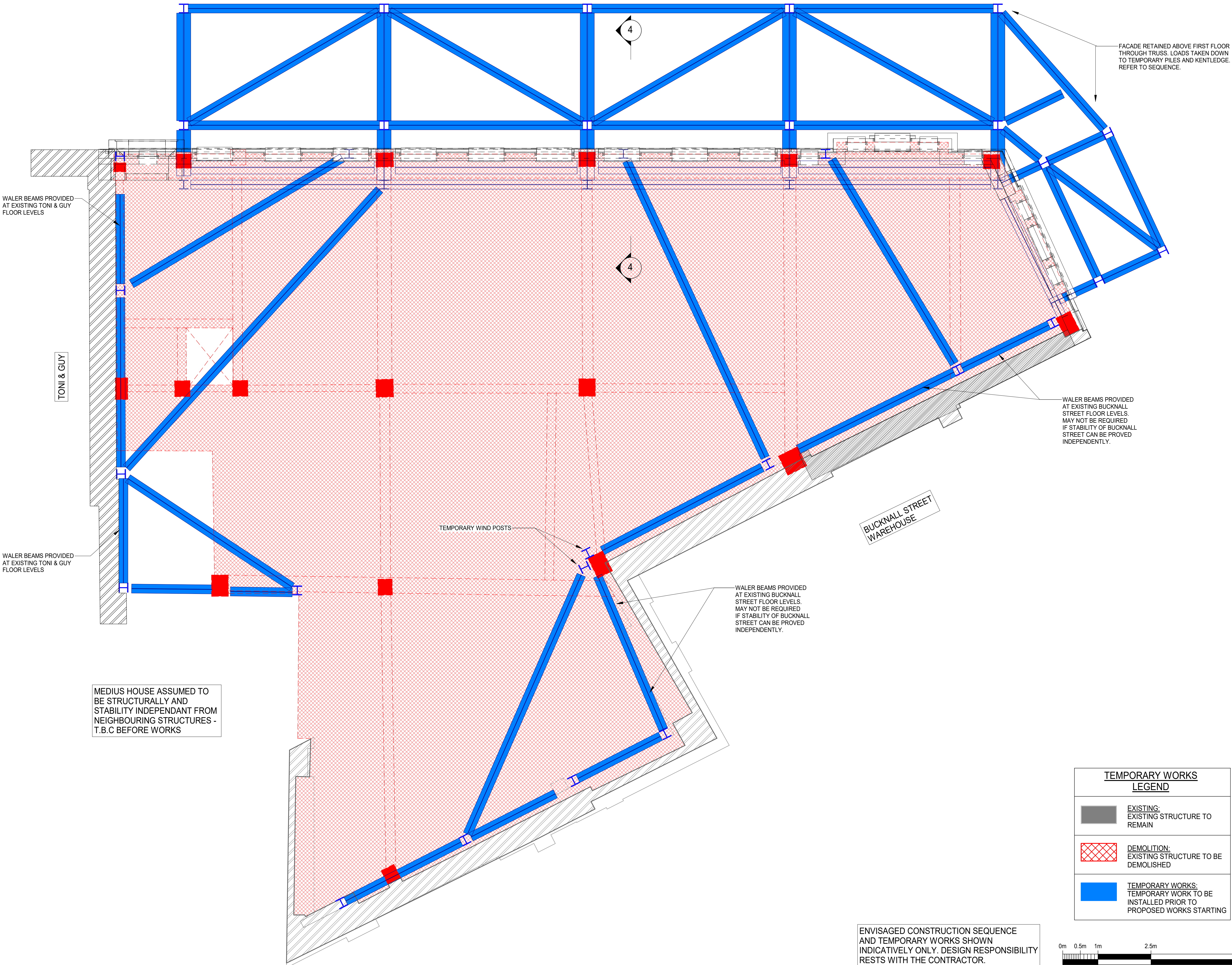
Client:	ROYAL LONDON ASSET MANAGEMENT
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Project Title:	CASTLEWOOD HOUSE LONDON W1A
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Drawing Title:	MEDIUS HOUSE EXISTING GROUND FLOOR TEMPORARY WORKS GENERAL ARRANGEMENT
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Drawn by: DSC	Date Issued: 10/10/18	Scale @ A1: 1 : 50				
Project No.: 15-21	Originator DM-02-00-DR-S-081	Zone P01	Level	Type	Role	Number



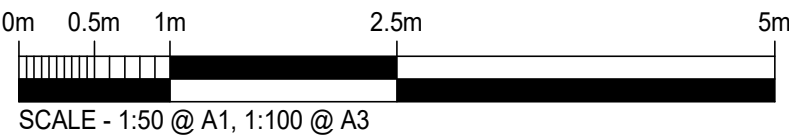


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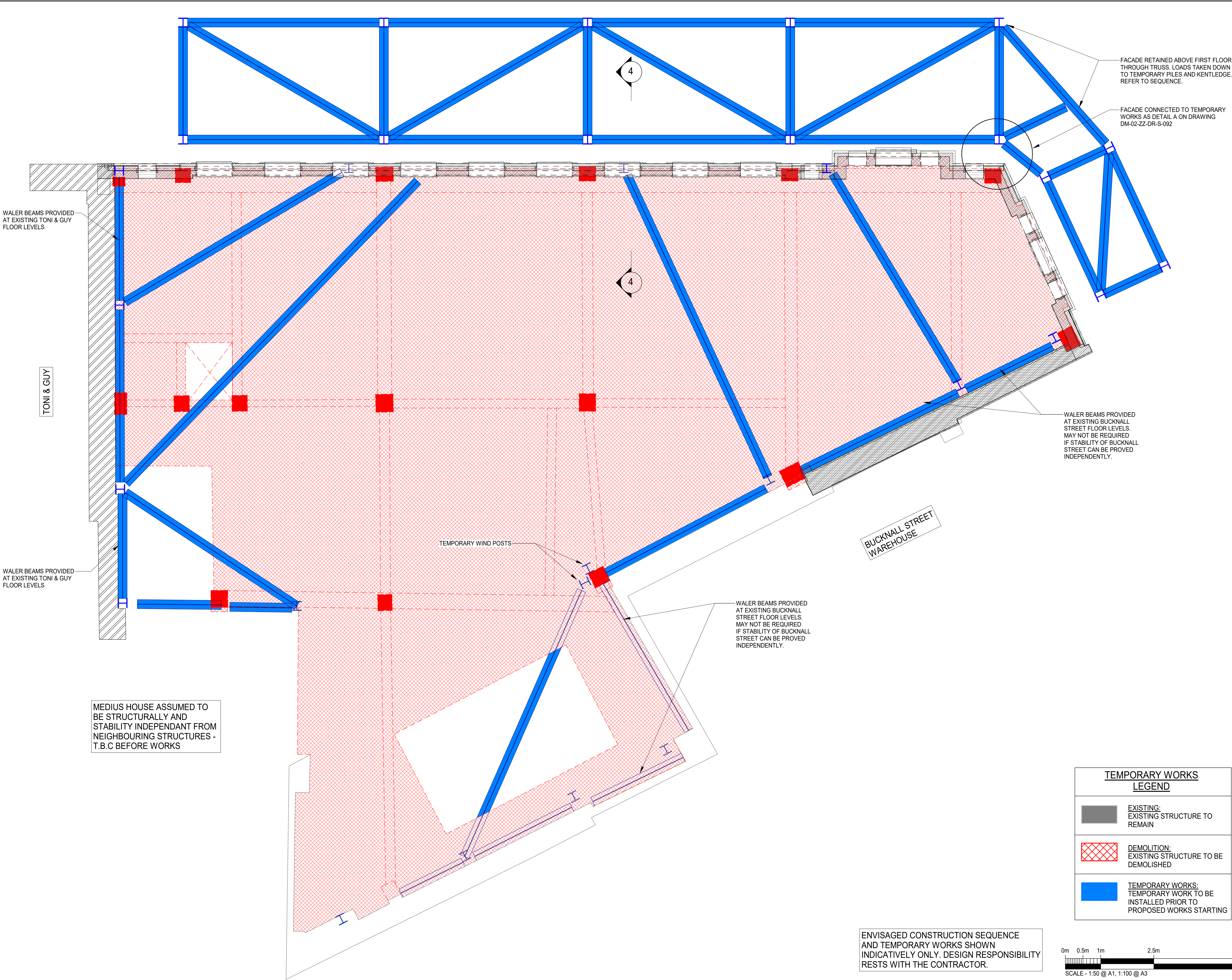
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Rev	Description	Date	By	App
Stage: PRELIMINARY				
<b>Davies Maguire</b> 20 Flaxman Terrace London WC1H 9AT T +44 (0)20 7388 9406 E info@dmag.com W dmag.com				
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Project No.: 15-21	Originator: DM-02-01-DR-S-082	Zone: P01	Level:	Type:

TEMPORARY WORKS LEGEND	
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	DEMOLITION: EXISTING STRUCTURE TO BE DEMOLISHED
	TEMPORARY WORKS: TEMPORARY WORK TO BE INSTALLED PRIOR TO PROPOSED WORKS STARTING

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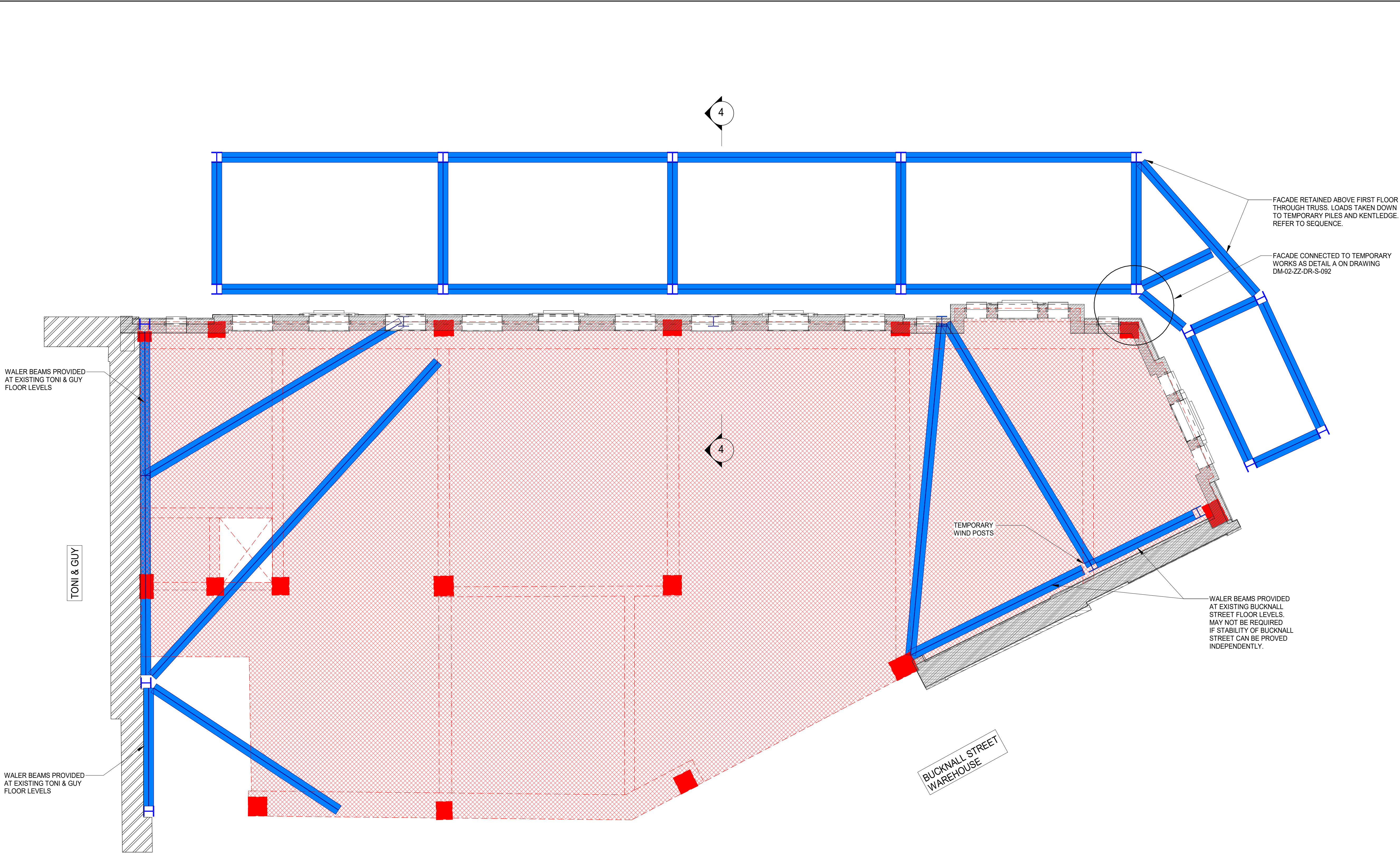




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P01	PRELIMINARY ISSUE	19/10/2018	DSC	JD
Rev	Description	Date	By	App
Stage: PRELIMINARY				
<b>Davies Maguire</b> 20 Flaxman Terrace London WC1H 9AT T +44 (0)20 7388 9406 E info@dmag.com W dmag.com				
Client: ROYAL LONDON ASSET MANAGEMENT				
Project Title: CASTLEWOOD HOUSE LONDON W1A				
Drawing Title: MEDIUS HOUSE EXISTING LEVEL 02 TEMPORARY WORKS GENERAL ARRANGEMENT				
Drawn by: DSC	Date Issued: 10/10/18	Scale @ A1: 1 : 50		
Project No.: 15-21	Originator: DM-02-02-DR-S-083	Zone: P01	Level: 02	Type: 15

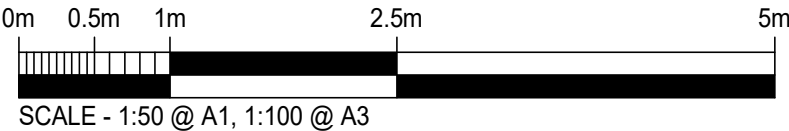




MEDIUS HOUSE ASSUMED TO BE STRUCTURALLY AND STABILITY INDEPENDANT FROM NEIGHBOURING STRUCTURES - T.B.C BEFORE WORKS

TEMPORARY WORKS LEGEND	
	EXISTING: EXISTING STRUCTURE TO REMAIN
	DEMOLITION: EXISTING STRUCTURE TO BE DEMOLISHED
	TEMPORARY WORKS: TEMPORARY WORK TO BE INSTALLED PRIOR TO PROPOSED WORKS STARTING

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Rev	Description	Date	By	App

Stage:	PRELIMINARY
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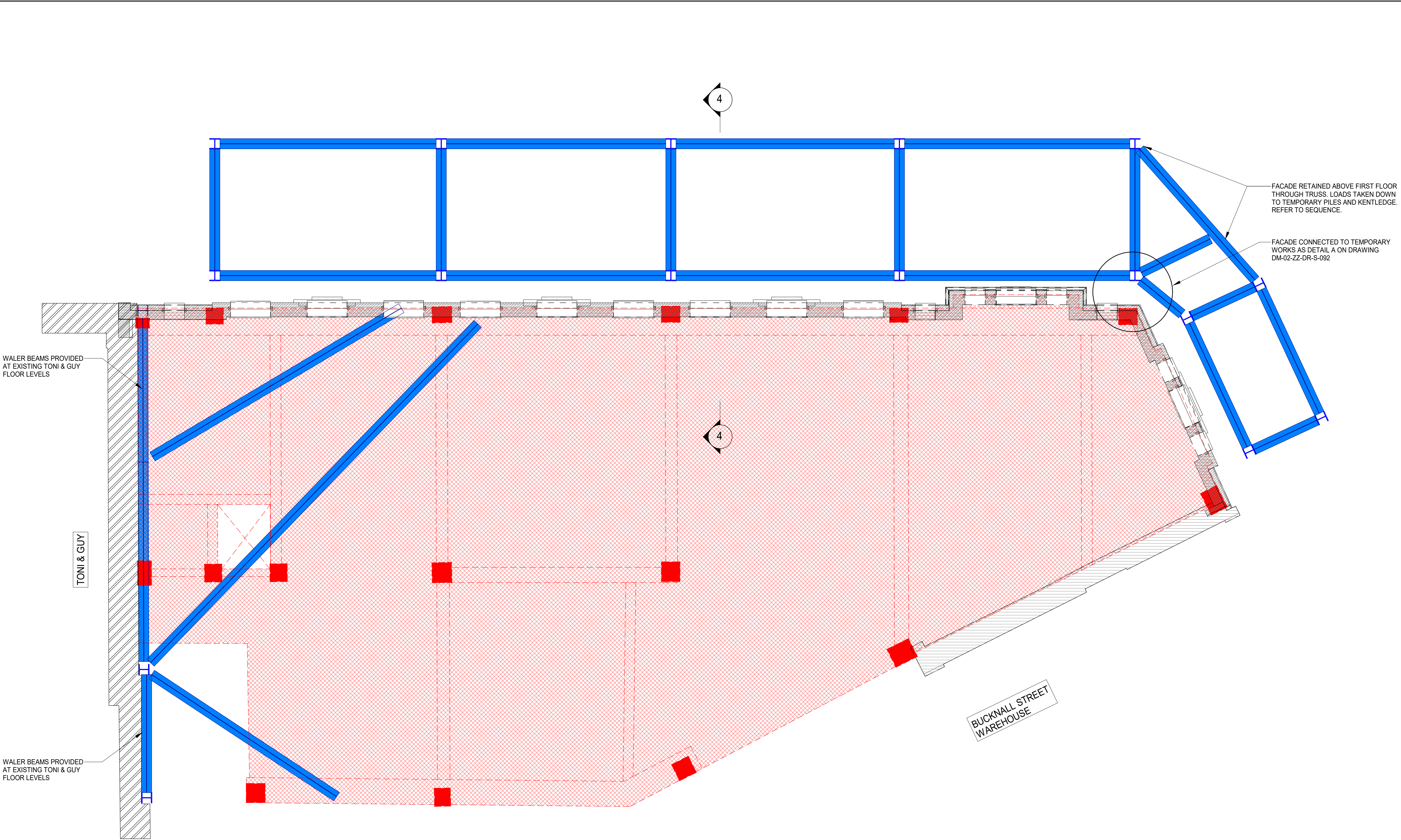
Client:	ROYAL LONDON ASSET MANAGEMENT
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Project Title:	CASTLEWOOD HOUSE LONDON W1A
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Drawing Title:	MEDIUS HOUSE EXISTING LEVEL 03 TEMPORARY WORKS GENERAL ARRANGEMENT
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Drawn by: DSC	Date Issued: 10/10/18	Scale @ A1: 1 : 50
Project No.: 15-21	Originator   Zone   Level   Type   Role   Number: DM-02-03-DR-S-084	P01





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P01	PRELIMINARY ISSUE	19/10/2018	DSC	JD
Rev	Description	Date	By	App

Stage:	PRELIMINARY
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**ROYAL LONDON ASSET MANAGEMENT**

Project Title:  
**CASTLEWOOD HOUSE LONDON W1A**

Drawing Title:  
**MEDIUS HOUSE PROPOSED LEVEL 04 TEMPORARY WORKS GENERAL ARRANGEMENT**

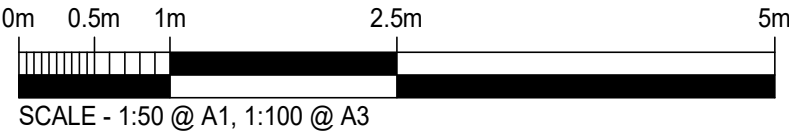
Drawn by:	Date Issued:	Scale @ A1:
DSC	10/10/18	1 : 50

Project No.:	Originator	Zone	Level	Type	Role	Number
15-21	DM-02-04-DR-S-085					P01

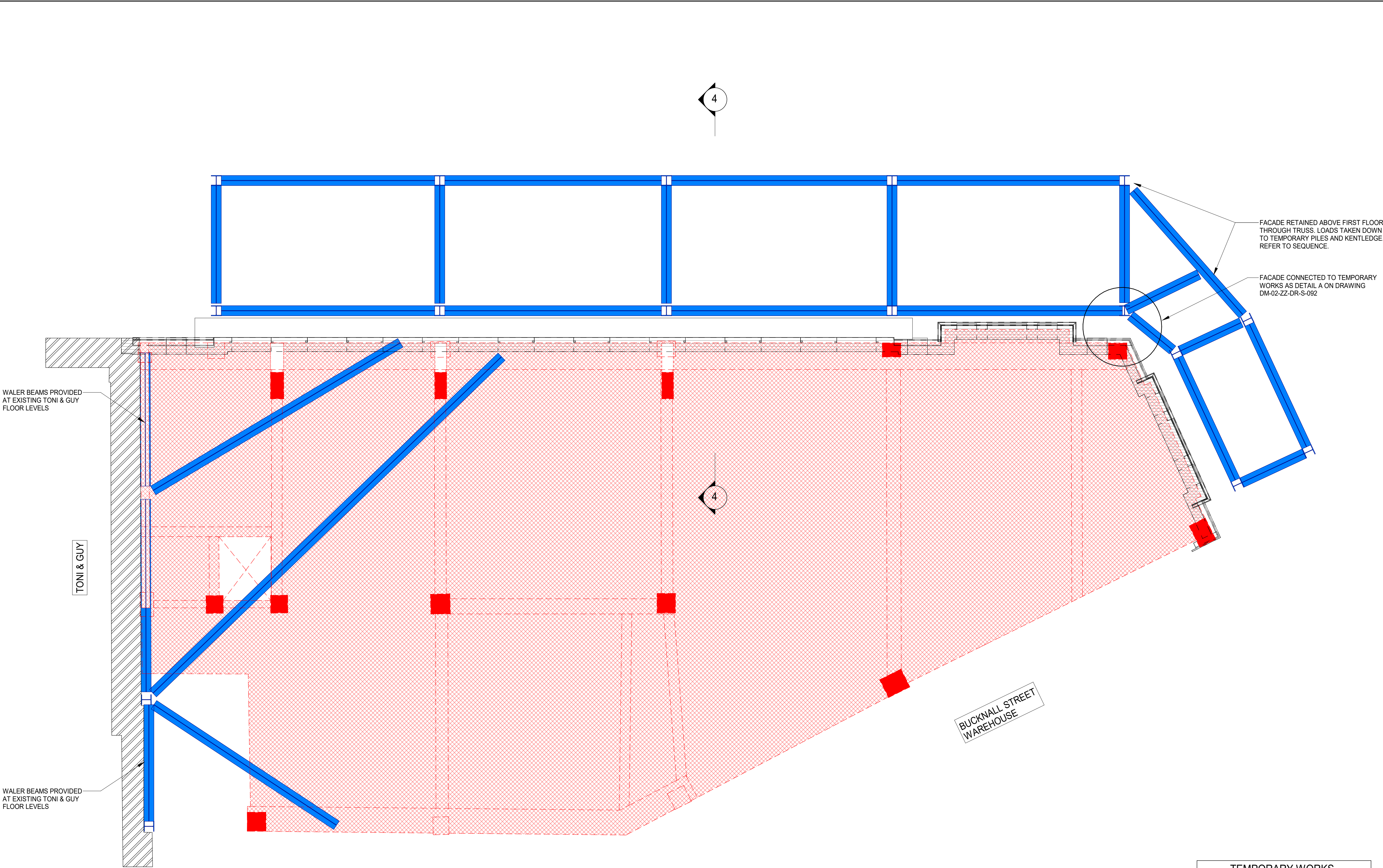
MEDIUS HOUSE ASSUMED TO BE STRUCTURALLY AND STABILITY INDEPENDANT FROM NEIGHBOURING STRUCTURES - T.B.C BEFORE WORKS

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TEMPORARY WORKS LEGEND	
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P01	PRELIMINARY ISSUE	19/10 2018	DSC	JD
Rev	Description	Date	By	App

Stage:	PRELIMINARY
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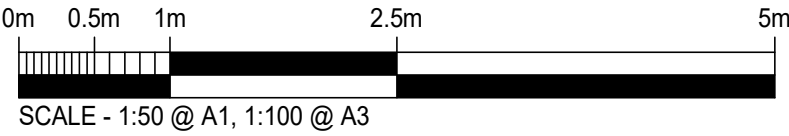
Project Title:	CASTLEWOOD HOUSE LONDON W1A
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Drawing Title:	MEDIUS HOUSE PROPOSED LEVEL 05 TEMPORARY WORKS GENERAL ARRANGEMENT
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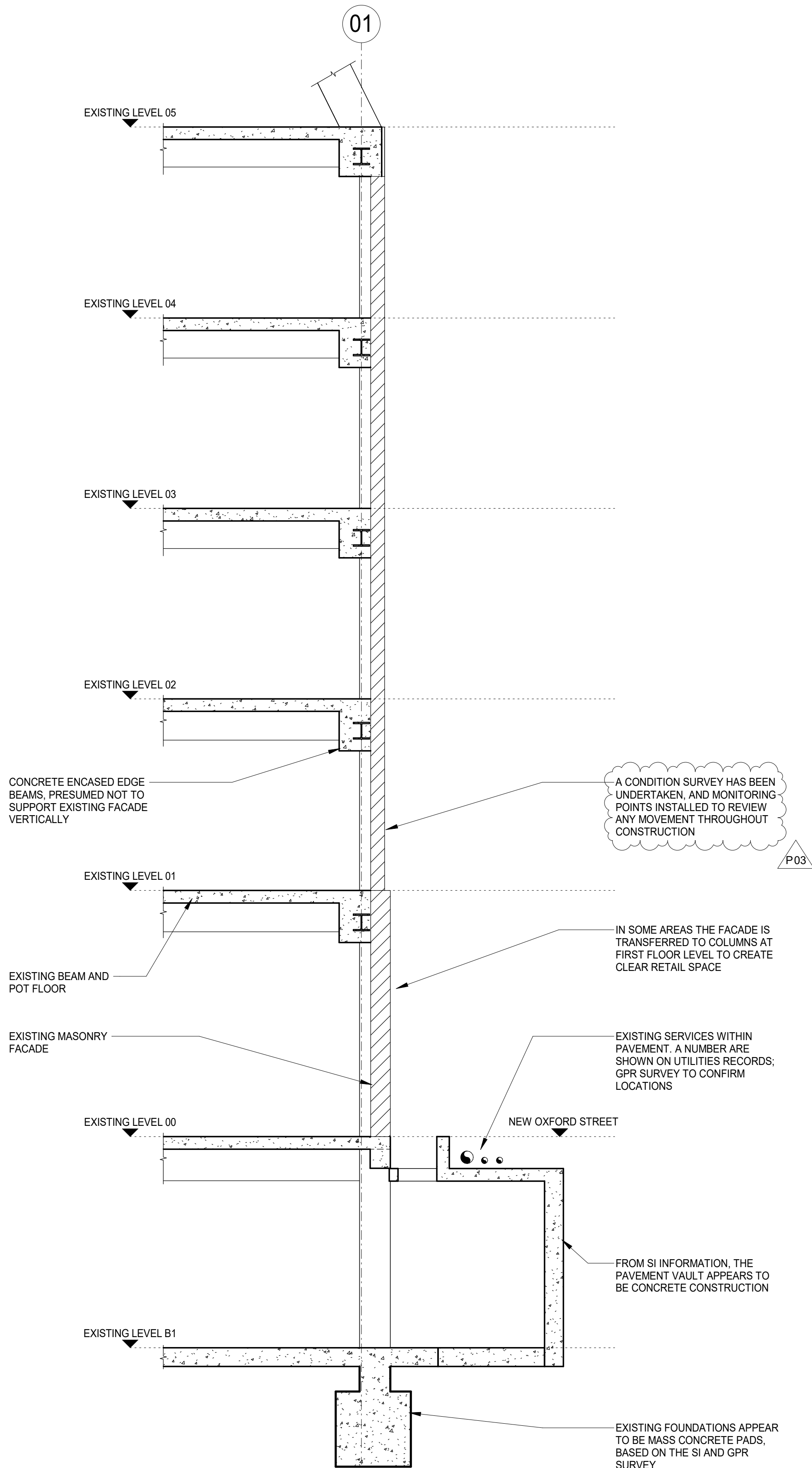
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Project No.: 15-21	Originator: DM-02-05-DR-S-086	Role: P01

TEMPORARY WORKS LEGEND	
	EXISTING: EXISTING STRUCTURE TO REMAIN
	DEMOLITION: EXISTING STRUCTURE TO BE DEMOLISHED
	TEMPORARY WORKS: TEMPORARY WORK TO BE INSTALLED PRIOR TO PROPOSED WORKS STARTING

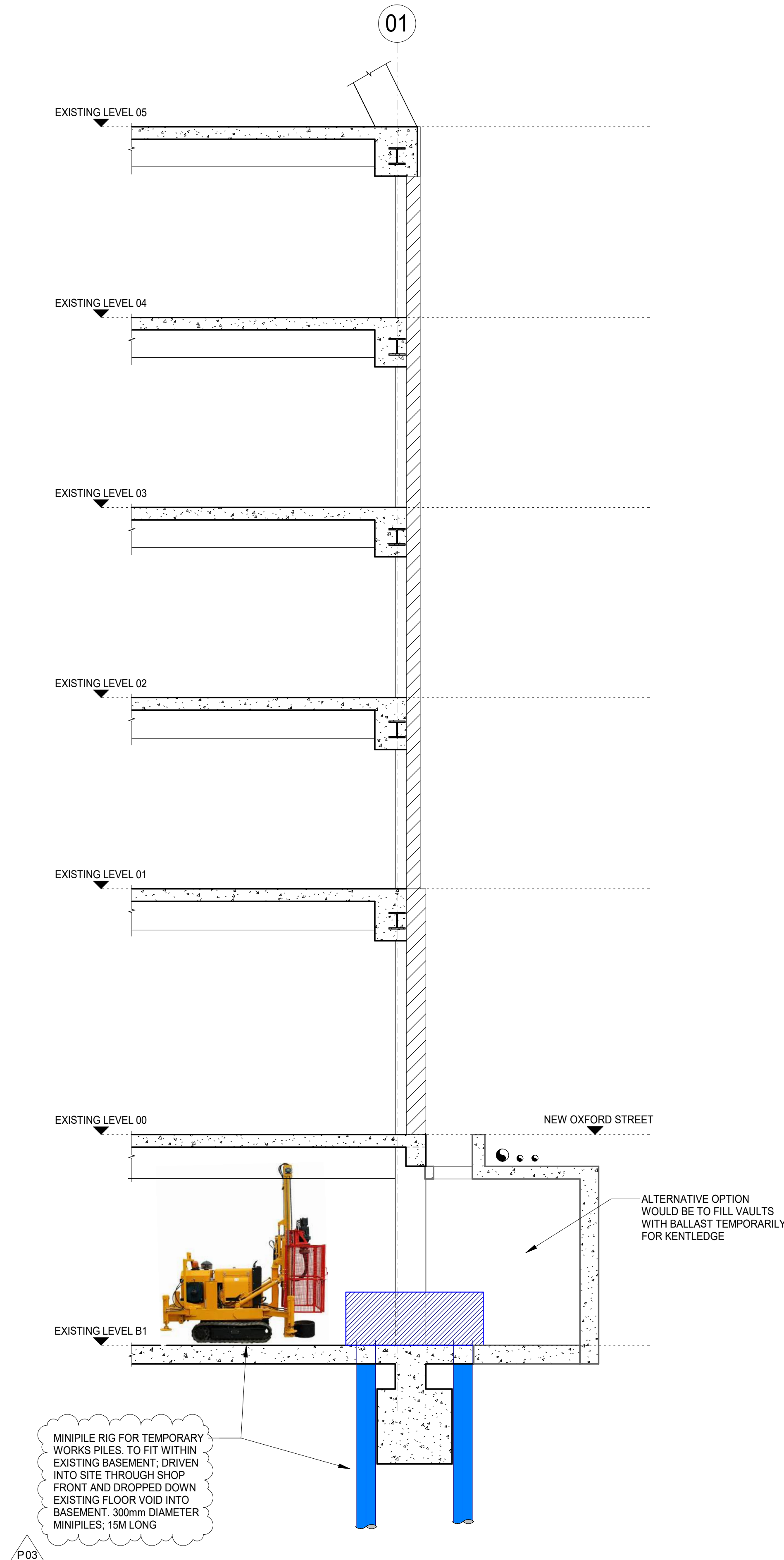
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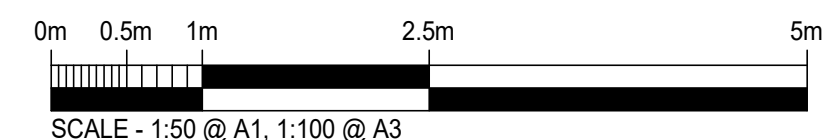
0 SEQUENCE 0 - EXISTING BUILDING  
1 : 50



1 SEQUENCE 1 - TEMPORARY WORKS PILES INSTALLED  
1 : 50

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TEMPORARY WORKS LEGEND	
	EXISTING: EXISTING STRUCTURE TO REMAIN
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	TEMPORARY WORKS: TEMPORARY WORK TO BE INSTALLED PRIOR TO PROPOSED WORKS STARTING



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P03	NOTES REVISED WHERE CLOUDED	06/12 2018	DSC	JD
P02	UPDATED PRELIMINARY ISSUE	07/11 2018	DSC	JD
P01	PRELIMINARY ISSUE	19/10 2018	DSC	JD
Rev	Description	Date	By	App

Stage:	PRELIMINARY
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Client: ROYAL LONDON ASSET MANAGEMENT

Project Title: CASTLEWOOD HOUSE LONDON W1A

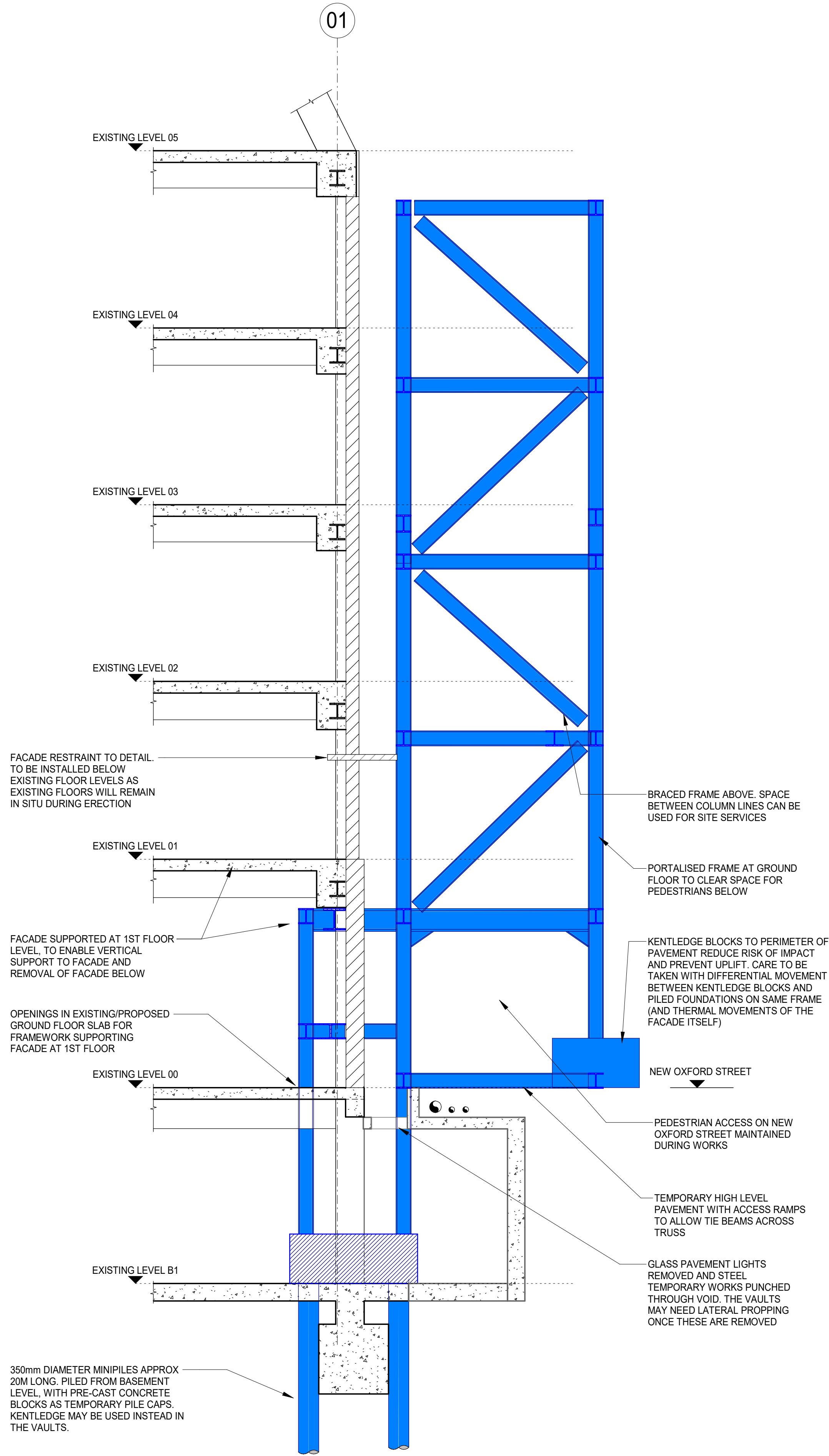
Drawing Title: MEDIUS HOUSE CONSTRUCTION SEQUENCE SHEET 1

Drawn by: DSC	Date Issued: 10/10/18	Scale @ A1: 1 : 50
Project No.: 15-21	Originator: DM-02-ZZ-DR-S-090	Number: P03



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P02	UPDATED PRELIMINARY ISSUE	01/11 2018	DSC	JD
P01	PRELIMINARY ISSUE	19/10 2018	DSC	JD
Rev	Description	Date	By	App

Stage:	PRELIMINARY
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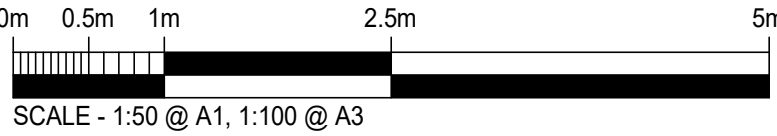
Client: ROYAL LONDON ASSET MANAGEMENT

Project Title: CASTLEWOOD HOUSE LONDON W1A

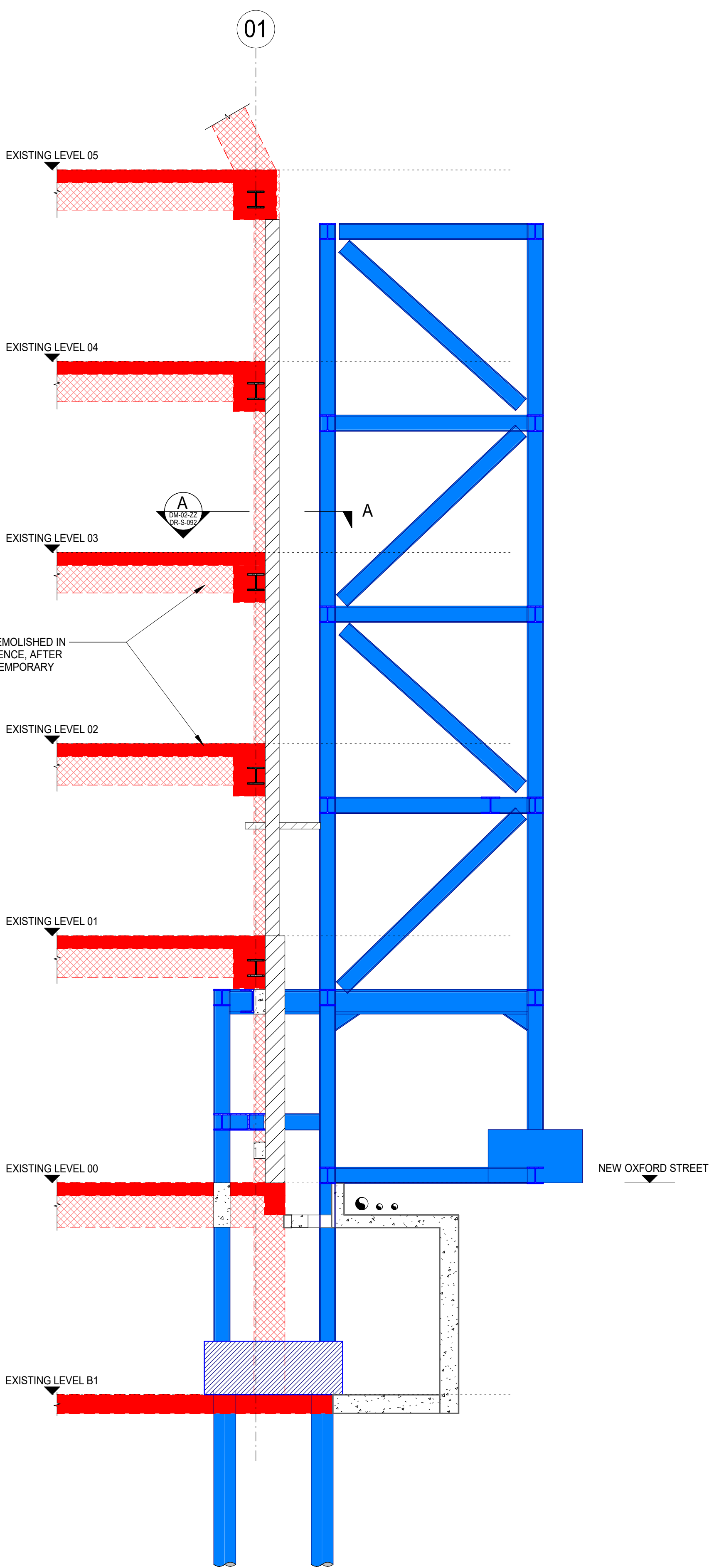
Drawing Title: MEDIUS HOUSE CONSTRUCTION SEQUENCE SHEET 2

Drawn by: DSC	Date Issued: 10/10/18	Scale @ A1: 1 : 50
Project No.: 15-21	Originator: DM-02-ZZ-DR-S-091	Role: P02

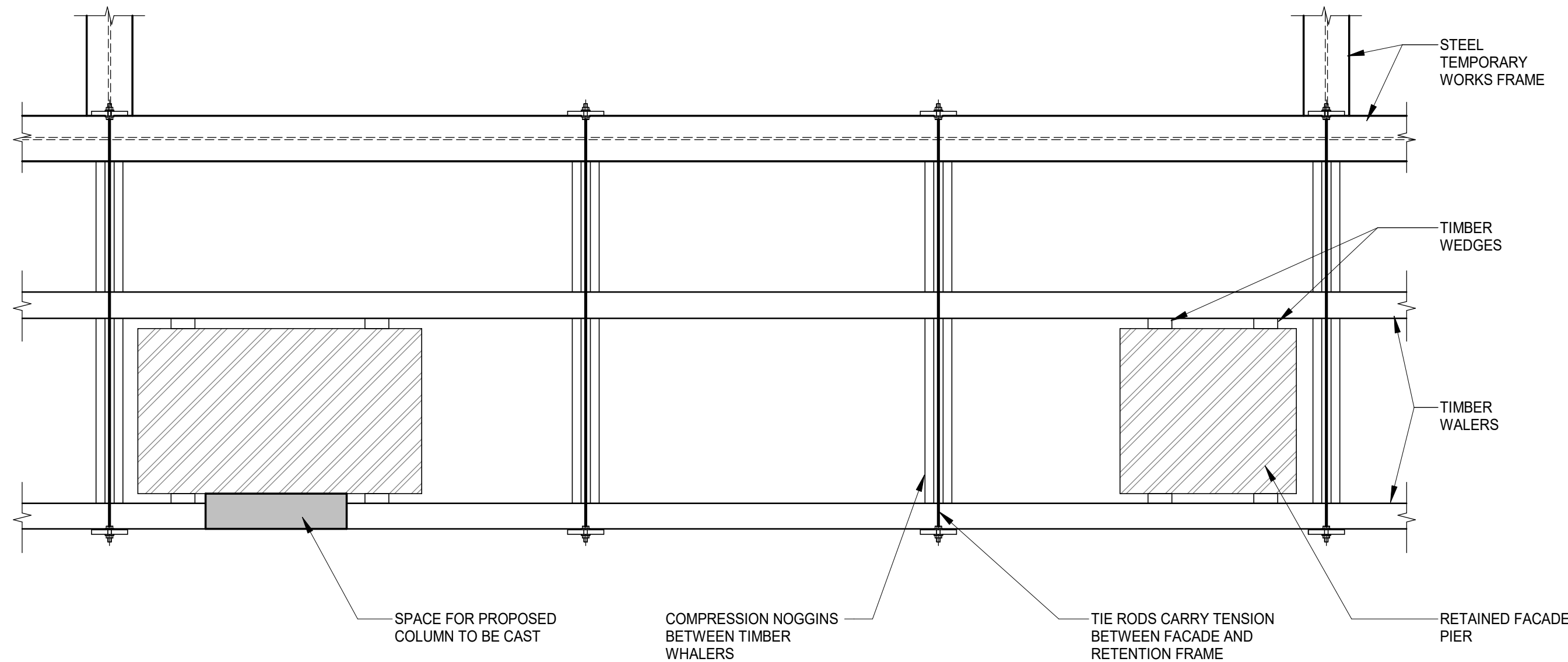
TEMPORARY WORKS LEGEND	
	EXISTING: EXISTING STRUCTURE TO REMAIN
	DEMOLITION: EXISTING STRUCTURE TO BE DEMOLISHED
	TEMPORARY WORKS: TEMPORARY WORK TO BE INSTALLED PRIOR TO PROPOSED WORKS STARTING



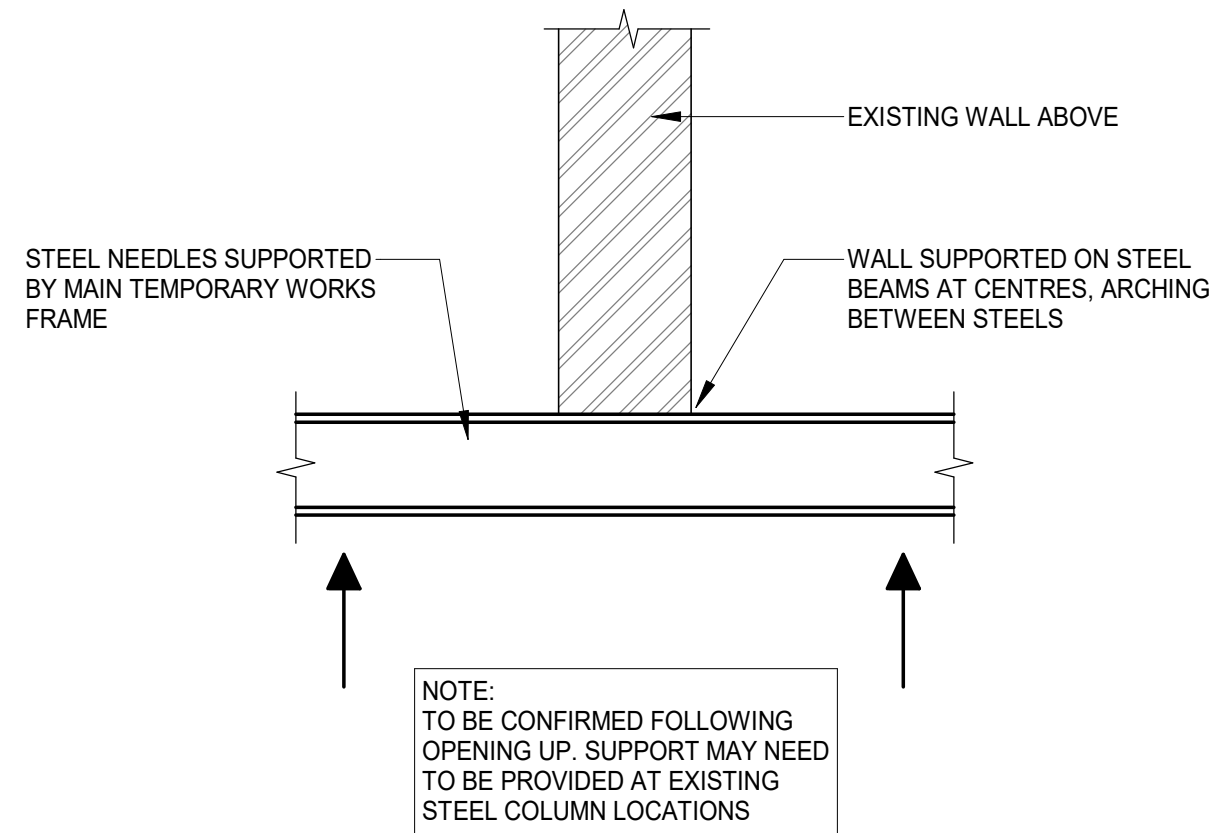
2 SEQUENCE 2 - FACADE RETENTION STEELWORK ERECTED  
1 : 50



3 SEQUENCE 3 - EXISTING FRAME DEMOLISHED  
1 : 50



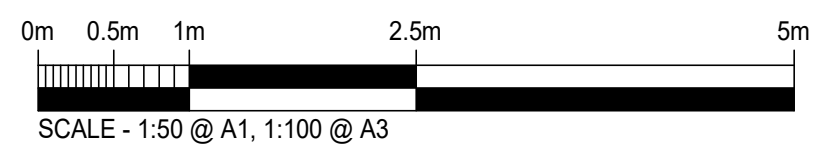
A PLAN OF FACADE RETENTION DETAIL  
1 : 25



B SUPPORT DETAIL AT FIRST FLOOR  
1 : 20

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TEMPORARY WORKS LEGEND	
	EXISTING: EXISTING STRUCTURE TO REMAIN
	DEMOLITION: EXISTING STRUCTURE TO BE DEMOLISHED
	TEMPORARY WORKS: TEMPORARY WORK TO BE INSTALLED PRIOR TO PROPOSED WORKS STARTING



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P02	UPDATED PRELIMINARY ISSUE	01/11 2018	DSC	JD
P01	PRELIMINARY ISSUE	19/10 2018	DSC	JD
Rev	Description	Date	By	App

Stage:	PRELIMINARY
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Client: ROYAL LONDON ASSET MANAGEMENT

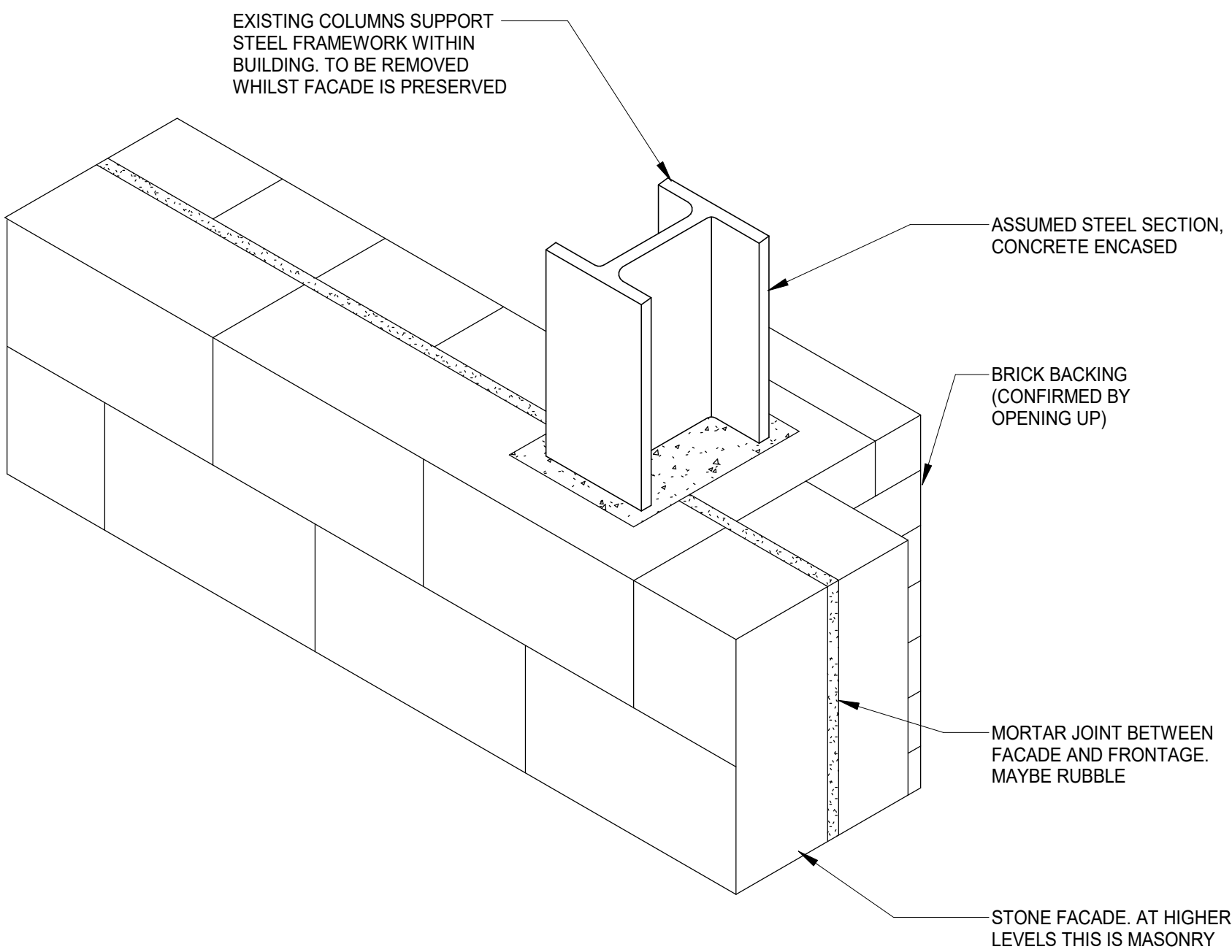
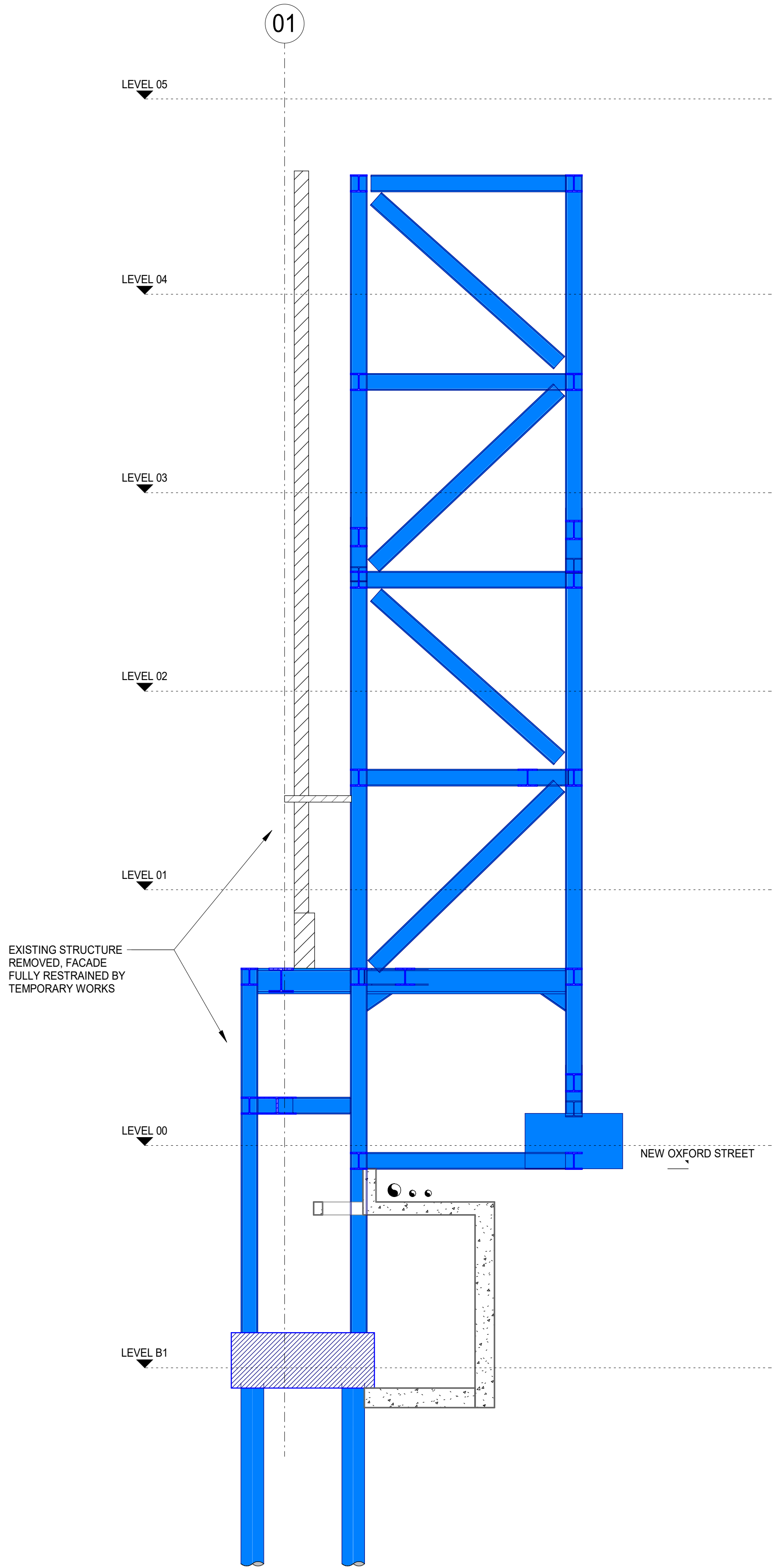
Project Title: CASTLEWOOD HOUSE LONDON W1A

Drawing Title: MEDIUS HOUSE CONSTRUCTION SEQUENCE SHEET 3

Drawn by: DSC	Date Issued: 10/10/18	Scale @ A1: 1 : 50
Project No.: 15-21	Originator: DM-02-ZZ-DR-S-092	Type: P02

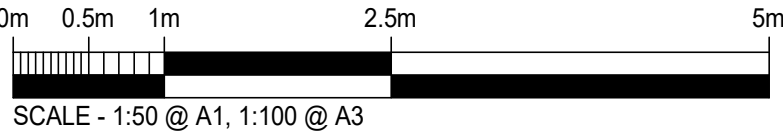
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X EXPECTED EXISTING FACADE COLUMN DETAIL  
1 : 10

TEMPORARY WORKS LEGEND	
	EXISTING: EXISTING STRUCTURE TO REMAIN
	DEMOLITION: EXISTING STRUCTURE TO BE DEMOLISHED
	TEMPORARY WORKS: TEMPORARY WORK TO BE INSTALLED PRIOR TO PROPOSED WORKS STARTING



4 SEQUENCE 4 - FACADE RETAINED - DEMOLITION COMPLETE  
1 : 50

P02	UPDATED PRELIMINARY ISSUE	01/11 2018	DSC	JD
P01	PRELIMINARY ISSUE	19/10 2018	DSC	JD
Rev	Description	Date	By	App

Stage:	PRELIMINARY
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Client:	ROYAL LONDON ASSET MANAGEMENT
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Project Title:	CASTLEWOOD HOUSE LONDON W1A
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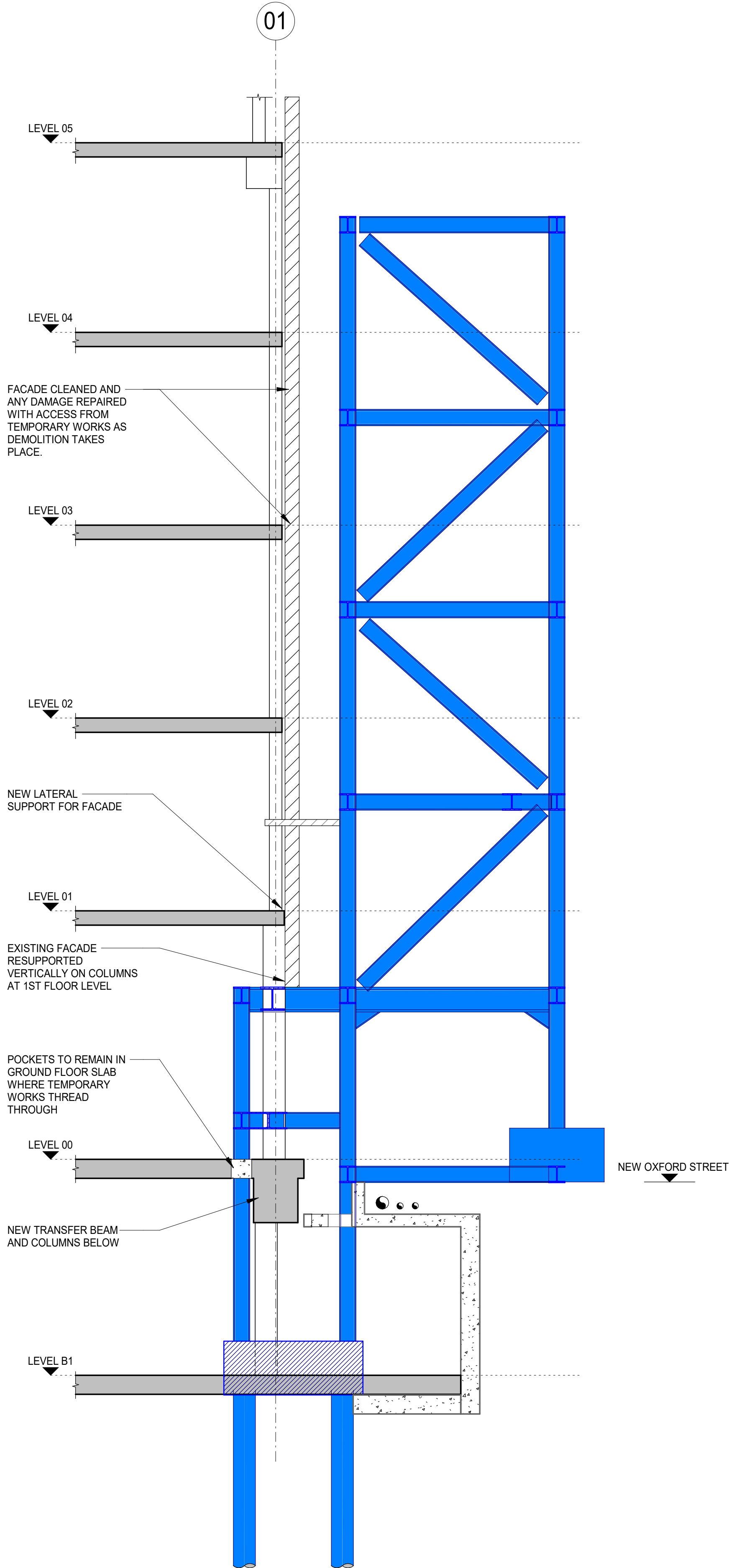
Drawing Title:	MEDIUS HOUSE CONSTRUCTION SEQUENCE SHEET 4
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Drawn by: DSC	Date Issued: 10/10/18	Scale @ A1: 1 : 50
Project No.: 15-21	Originator Zone Level Type Role Number DM-02-ZZ-DR-S-093	P02

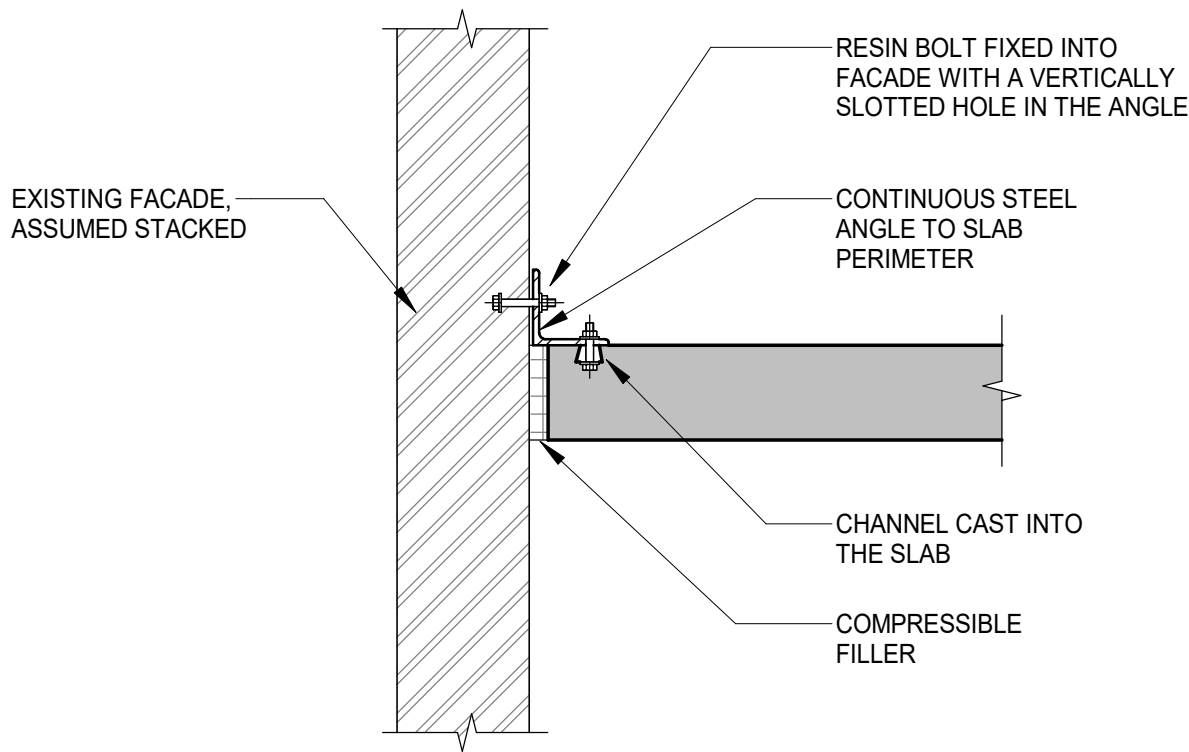



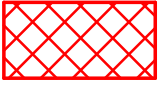

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RESTS WITH THE CONTRACTOR.

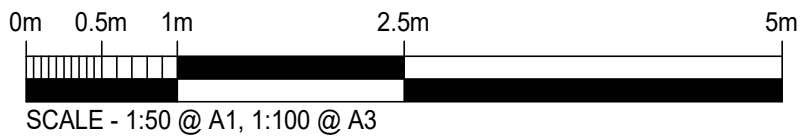
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Y RESTRAINT DETAIL FROM NEW SLAB TO EXISTING FACADE  
1 : 20



TEMPORARY WORKS LEGEND	
	EXISTING: EXISTING STRUCTURE TO REMAIN
	DEMOLITION: EXISTING STRUCTURE TO BE DEMOLISHED
	TEMPORARY WORKS: TEMPORARY WORK TO BE INSTALLED PRIOR TO PROPOSED WORKS STARTING



P02	UPDATED PRELIMINARY ISSUE	01/11 2018	DSC	JD
P01	PRELIMINARY ISSUE	19/10 2018	DSC	JD
Rev	Description	Date	By	App

Stage:	PRELIMINARY
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Client: ROYAL LONDON ASSET MANAGEMENT

Project Title: CASTLEWOOD HOUSE LONDON W1A

Drawing Title: MEDIUS HOUSE CONSTRUCTION SEQUENCE SHEET 5

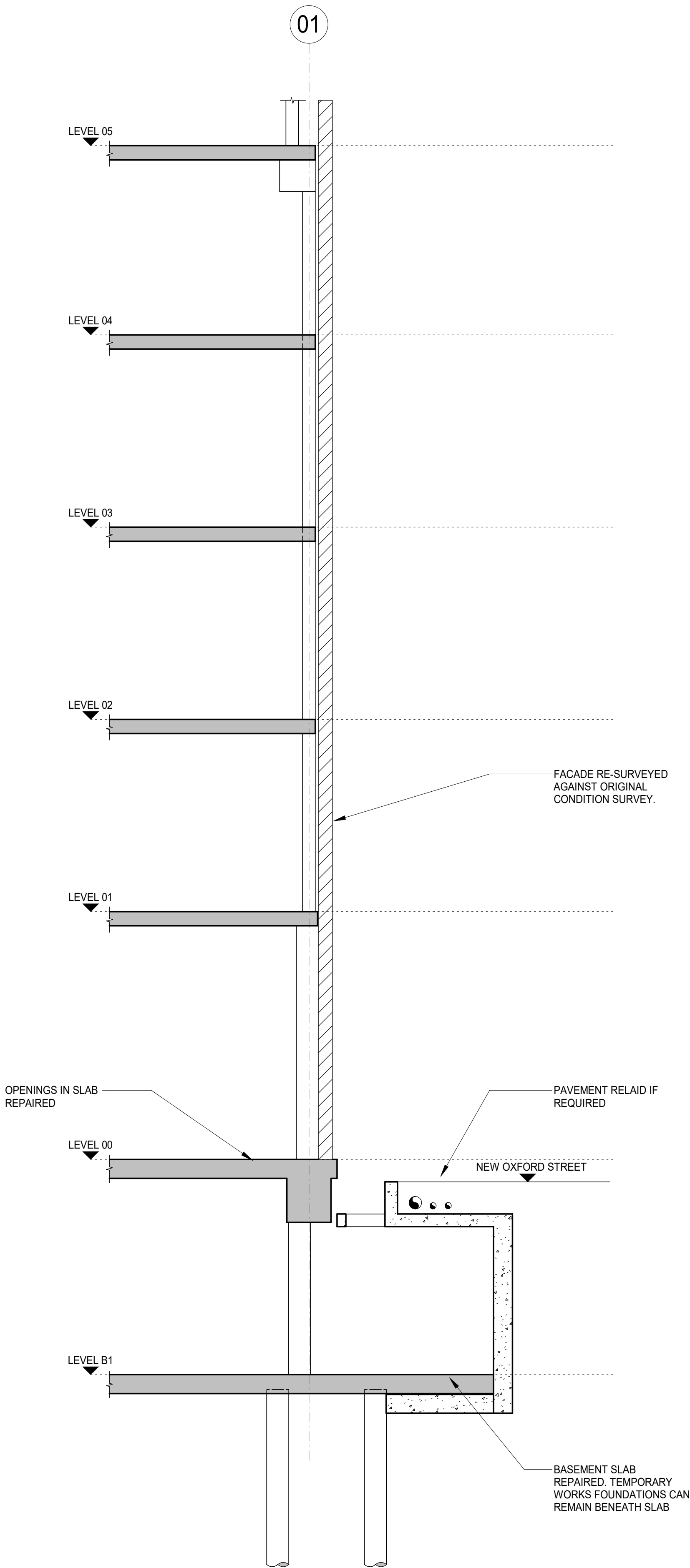
Drawn by: DSC	Date Issued: 10/10/18	Scale @ A1: 1 : 50
Project No.: 15-21	Originator: DM-02-ZZ-DR-S-094	Type: P02

5 SEQUENCE 5 - NEW R.C FRAME ERECTED  
1 : 50




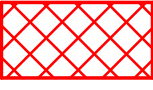
ENVISAGED CONSTRUCTION SEQUENCE  
AND TEMPORARY WORKS SHOWN  
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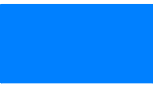
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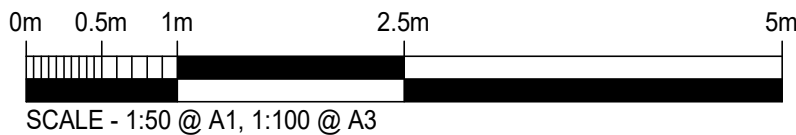


**TEMPORARY WORKS  
LEGEND**

 **EXISTING:**  
EXISTING STRUCTURE TO  
REMAIN

 **DEMOLITION:**  
EXISTING STRUCTURE TO BE  
DEMOLISHED

 **TEMPORARY WORKS:**  
TEMPORARY WORK TO BE  
INSTALLED PRIOR TO  
PROPOSED WORKS STARTING



**6** SEQUENCE 6 - TEMPORARY WORKS REMOVED  
1 : 50

P02	UPDATED PRELIMINARY ISSUE	01/11 2018	DSC	JD
P01	PRELIMINARY ISSUE	19/10 2018	DSC	JD
Rev	Description	Date	By	App

Stage:	PRELIMINARY
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Client:	ROYAL LONDON ASSET MANAGEMENT
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Project Title:	CASTLEWOOD HOUSE LONDON W1A
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Drawing Title:	MEDIUS HOUSE CONSTRUCTION SEQUENCE SHEET 6
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Drawn by: DSC	Date Issued: 10/15/18	Scale @ A1: 1 : 50
Project No.: 15-21	Originator   Zone   Level   Type   Role   Number DM-02-ZZ-DR-S-095	P02

## 4.0 Detailed Schedule of Works

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### DETAILED SCHEDULE OF WORKS

The following schedule of works has been prepared by CBRE Project Management with the input of various contractors, whom they liaised with to obtain early market advice and expertise on the likely method and sequence of construction. It sets out in detailed the proposed demolition and construction sequence as well as the programme duration for each activity.

Medius House Demolition and Construction Programme																																				
ID	Task Name	Duration	Start	Finish	Jun	Qtr 3, 2019				Qtr 4, 2019			Qtr 1, 2020			Qtr 2, 2020			Qtr 3, 2020			Qtr 4, 2020			Qtr 1, 2021			Qtr 2, 2021			Qtr 3, 2021			Qtr 4, 2021		
						Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov		
1																																				
2																																				
3	Medius House Façade Retention and Construction Works	701 days	Mon 01/07/19	Mon 07/03/22																																
4	Early and Enabling Works	60 days	Mon 01/07/19	Fri 20/09/19																																
5	Site set up and Welfare	2 wks	Mon 01/07/19	Fri 12/07/19																																
6	Asbestos Level 3 Survey and removal	20 days	Mon 15/07/19	Fri 09/08/19																																
7	Enabling Works and Soft Strip	30 days	Mon 12/08/19	Fri 20/09/19																																
8	Installation of Façade Retention Frame	109 days	Mon 23/09/19	Thu 20/02/20																																
9	Installation of temporary mini piles through existing existing basement	20 days	Mon 23/09/19	Fri 18/10/19																																
10	Installation of Kentaledge protectors on pavement	2 days	Mon 21/10/19	Tue 22/10/19																																
11	Pavement hoarding and pedestrain access erected	2 days	Wed 23/10/19	Thu 24/10/19																																
12	Pavement lights removed and temporary works installed	5 days	Fri 25/10/19	Thu 31/10/19																																
13	Installation of portal frame at 1st Floor	10 days	Fri 01/11/19	Thu 14/11/19																																
14	Installation of façade retention frame above first floor	60 days	Fri 15/11/19	Thu 06/02/20																																
15	Installation of temporary works internally in preparation for demolition	8 days	Fri 07/02/20	Tue 18/02/20																																
16	Detailed condition survey undertaken from retention frame	2 days	Wed 19/02/20	Thu 20/02/20																																
17	Demolition	26 days	Fri 21/02/20	Fri 27/03/20																																
18	Existing Roof demolished	1 day	Fri 21/02/20	Fri 21/02/20																																
19	Existing 5th floor demolished	2 days	Mon 24/02/20	Tue 25/02/20																																
20	Existing 4th floor demolished	2 days	Wed 26/02/20	Thu 27/02/20																																
21	Existing 3rd floor demolished	2 days	Fri 28/02/20	Mon 02/03/20																																
22	Existing 2nd floor demolished	2 days	Tue 03/03/20	Wed 04/03/20																																
23	Existing 1st floor demolished	2 days	Thu 05/03/20	Fri 06/03/20																																
24	Temporary lateral propping installed to adjoining properties	5 days	Mon 09/03/20	Fri 13/03/20																																
25	Temporary works installed to vertically support façade	2 days	Mon 16/03/20	Tue 17/03/20																																
26	Portion of façade at 1st floor demolished	1 day	Wed 18/03/20	Wed 18/03/20																																
27	Existing ground floor demolished	2 days	Thu 19/03/20	Fri 20/03/20																																
28	Demolish basement slab and pile prob between propos	5 days	Mon 23/03/20	Fri 27/03/20																																
29																																				
30																																				
31	Façade Cleaning and Repair	13 days	Mon 13/04/20	/																																
32	Façade cleaned via non-abrasive method advised by façade consultant	5 days	Mon 13/04/20	Fri 17/04/20																																
33	Façade repaired as recommended by design team based on condition survey	8 days	Mon 20/04/20	Wed 29/04/20																																
34	Substructure	132 days	Mon 06/04/20	Tue 06/10/20																																
35	Install temporary works to support adjoining strucutres	8 days	Mon 06/04/20	Wed 15/04/20																																
36	Removal of ground obstructions and pile probing	10 days	Thu 16/04/20	Wed 29/04/20																																
37	Installation of piling mat	5 days	Thu 30/04/20	Wed 06/05/20																																
38	Installation of piles	10 days	Thu 07/05/20	Wed 20/05/20																																
39	Excavation for piling caps	9 days	Thu 21/05/20	Tue 02/06/20																																
40	Installation of capping beam	5 days	Wed 03/06/20	Tue 09/06/20																																
41	Temporary propping of capping beam	20 days	Wed 03/06/20	Tue 30/06/20																																
42	Basement excavation	20 days	Wed 01/07/20	Tue 28/07/20																																
43	Installation of basement propping	10 days	Wed 01/07/20	Tue 14/07/20																																
44	Installation of reinforced concrete suspended B1 slab, 350mm thick	10 days	Wed 15/07/20	Tue 28/07/20																																
45	Installation of concrete linings to existing/new retaining walls	20 days	Wed 29/07/20	Tue 25/08/20																																
46	Install basement concrete columns	20 days	Wed 26/08/20	Tue 22/09/20																																
47	Additional Supplementary Works	10 days	Wed 23/09/20	Tue 06/10/20																																

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Medius House Demolition and Construction Programme																																			
ID	Task Name	Duration	Start	Finish																															
					Jun	Qtr 3, 2019				Qtr 4, 2019			Qtr 1, 2020			Qtr 2, 2020			Qtr 3, 2020			Qtr 4, 2020			Qtr 1, 2021			Qtr 2, 2021			Qtr 3, 2021			Qtr 4, 2021	
						Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	
48	Superstrucutre Construction	176 days	Wed 14/10/20	Wed 16/06/21																															
49	Cores constructed	16.4 wks	Wed 14/10/20	Thu 04/02/21																															
50	Columns installed B1 to GF	8 days	Wed 28/10/20	Fri 06/11/20																															
51	New B1 Slab installed	12 days	Mon 09/11/20	Tue 24/11/20																															
52	Transfer beamed installed at GF	5 days	Wed 25/11/20	Tue 01/12/20																															
53	New GF installed and tied to façade	12 days	Wed 02/12/20	Thu 17/12/20																															
54	Columns installed GF to 1st Floor	8 days	Fri 18/12/20	Tue 29/12/20																															
55	Façade resupported onto columns	10 days	Wed 30/12/20	Tue 12/01/21																															
56	New L1 slab installed and tied to façade	12 days	Wed 13/01/21	Thu 28/01/21																															
57	New L2 slab installed and tied to façade	12 days	Fri 29/01/21	Mon 15/02/21																															
58	New L3 slab installed and tied to façade	12 days	Tue 16/02/21	Wed 03/03/21																															
59	New L4 slab installed and tied to façade	12 days	Thu 04/03/21	Fri 19/03/21																															
60	New L5 slab installed and tied to façade	12 days	Mon 22/03/21	Tue 06/04/21																															
61	New L6 slab installed and tied to façade	12 days	Wed 07/04/21	Thu 22/04/21																															
62	New L7 slab installed and tied to façade	12 days	Fri 23/04/21	Mon 10/05/21																															
63	New L8 slab installed and tied to façade	12 days	Tue 11/05/21	Wed 26/05/21																															
64	Install Roof strucutre	15 days	Thu 27/05/21	Wed 16/06/21																															
65	Main Construction Works	235 days	Thu 27/05/21	Wed 20/04/22																															
66	Roof	6 wks	Thu 17/06/21	Wed 28/07/21																															
67	Envelope	25 wks	Thu 27/05/21	Wed 17/11/21																															
68	Fit-out	44 wks	Thu 17/06/21	Wed 20/04/22																															
69	Commissioning for Heat On	10 wks	Thu 18/11/21	Wed 26/01/22																															
70	Commissioning	10 days	Thu 27/01/22	Wed 09/02/22																															
71	Removal of Façade Retention Frame	23 days	Tue 22/06/21	Thu 22/07/21																															
72	Condition Survey of façade and snagging	3 days	Tue 22/06/21	Thu 24/06/21																															
73	Façade retention frame deconstructed and removed	15 days	Fri 25/06/21	Thu 15/07/21																															
74	Making good of GF slab and L1 façade	5 days	Fri 16/07/21	Thu 22/07/21																															
75	Making good of pavement and lightwell as requiried	5 days	Fri 16/07/21	Thu 22/07/21																															
76	Demobilisation	18 days	Thu 10/02/22	Mon 07/03/22																															
77	Desnagging all trades	10 days	Thu 10/02/22	Wed 23/02/22																															
78	Install front door	1 day	Thu 24/02/22	Thu 24/02/22																															
79	Removal of plant and materials	4 days	Thu 24/02/22	Tue 01/03/22																															
80	Removal of temporary services	2 days	Wed 02/03/22	Thu 03/03/22																															
81	Sparkle Clean	2 days	Fri 04/03/22	Mon 07/03/22																															

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