

6.0 Appendices

59 Gower Street London WC1

Heritage Assessment For the Bedford Estate

Anthony Walker
Dip arch (dist), grad dip (cons) AA, RIBA



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1 Scope of Assessment

- 1.1 This Heritage Assessment has been prepared to accompany applications for planning and listed building consent for alterations to 59 Gower Street.
- 1.2 It has been prepared by Anthony Walker who is a chartered architect with a postgraduate diploma in Building Conservation from the Architectural Association, he has been a Visiting Professor at Kingston University, on the Register of Architects Accredited in Building Conservation, and lectures on the MSt Courses at Cambridge and Leicester Universities.
- 1.3 This assessment is based on an examination of the building and the setting, together with a review of relevant conservation policy documents including the Camden Local Plan, the Bloomsbury Conservation Area Appraisal, the National Planning Policy Framework 2018, and other relevant material.

2.0 Site – historical context

2.1 Origins

- 2.1.1 The area was developed as part of the expansion of the major estates to the north of Oxford Street during the second half of the eighteenth century. Rocque's map of 1746 shows it as an area which is still of a largely rural nature, with development close to the major roads such as Tottenham Court Road; by the time of Horwood's map of 1799 however the area had been substantially developed.
- 2.1.2 This was part of a systematic development of the area which started with Bedford Square and was intended to be a grand, primarily residential, district. The uniformity of the elevations in Gower Street reflected an increase in contractual control by the Bedford Estate over matters such as dimensions and materials. The form of narrow-fronted terraces in the area reflected the desire to maximise the number of dwellings within one frontage.
- 2.1.3 The Bloomsbury Conservation Area Appraisal describes the area as follows:
Sub Area 5: Bedford Square/Gower Street
5.60 This sub area is a virtually intact and exemplary piece of late 18th century town planning, consisting of terraced housing built speculatively by a number of different builders to a plan produced by the Bedford Estate. Also in the area are smaller-scale mews to the rear of the square which serviced the townhouses, and an early 20th century terrace on the south side of Store Street which is of a similar scale and grain.
5.61 The terrace frontages have a strong uniformity since they are of similar scale and proportion and share neo-classical architectural elements. They are of three or four storeys with mansard attic storeys, raised on basements, with iron railings around basement areas. The blocks maintain a continuous parapet line at roof level and banding at first-floor level, coinciding with decorative iron balconies to first-floor windows of the piano nobile. There is a strong urban grain: townhouses within terraces have consistent widths, containing three windows of vertical proportions. Window openings mostly have rubbed brick heads, and window frames are recessed, sliding sashes, subdivided into small panes by slender glazing

bars. Doorways mostly have semi-circular arches containing fanlights with decorative radiating glazing bars. The terraces in Bedford Square are the most ornate, whilst those in Gower Street tend to be plainer in architectural detail.

Gower Street

5.65 Although the eastern side of Gower Street has been largely replaced by institutional buildings associated with the expansion of the university (in Sub Area 3), there is a strong interrelationship between both sides of this long north-south street contributing to a strong linear character.

5.66 Along the west side of Gower Street is a significant stretch of grade II listed terraced houses, between Bedford Square and UCL Medical School. Development progressed northwards from 1780 to 1820.

5.67 The west side of the street is characterised by the repeated yellow stock brick fronts with tuck pointing, fenestration pattern, window detailing, the frontage railings, stucco banding and parapets, chimney stacks and pots, and the shared height of the three storey blocks with mansard roofs (with the exceptions of Nos 25, 39, 91 and 103 which are of four stories). The most notable variation is the treatment of doorways.

5.68 Whereas the street was originally entirely residential, its uses now consist of a combination of university halls of residence, other educational uses, hotels and offices (many of the university buildings are situated on the east side of the street, which falls in Sub Area 3). There are also a few townhouses which have been converted to flats, and an increasing but small number returning to single family dwellings.

2.1.4` Notwithstanding the listing of the buildings and the Conservation Area Appraisal, Pevsner says that Ruskin considered Gower Street to be 'the nec plus ultra of ugliness in street architecture' and records that the Bedford Estate made concessions to 19th century taste by adding some stuccoed entrances further to the north along the street.

3.0 Appraisal of the building

3.1 First Listed in March 1969 as part of the terrace of properties 51-85 Gower Street as described below.

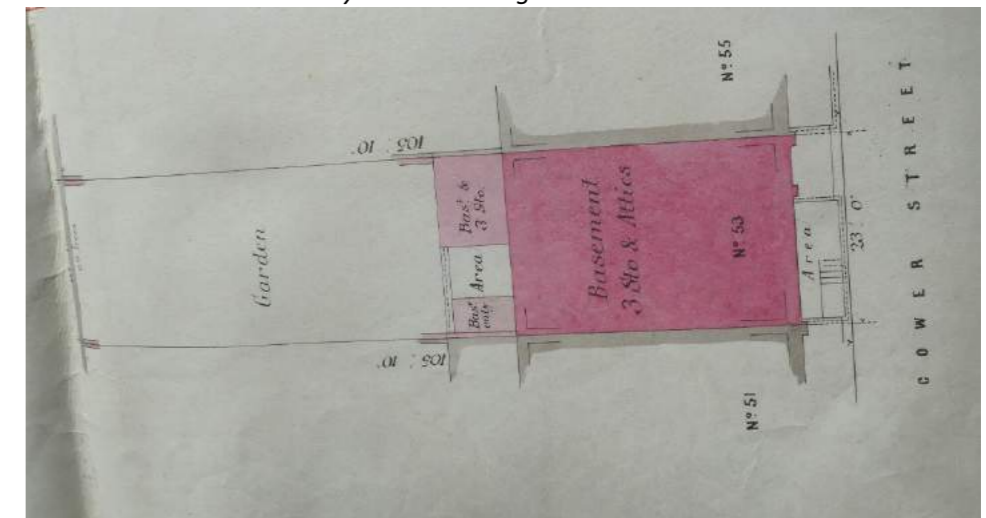
3.2 TQ2982SE GOWER STREET 798-1/94/606 (West side) 28/03/69 Nos.51-85 (Odd) and attached railings
GV II

Terrace of 18 houses. Nos 51-59 built 1786; Nos 61-85, 1787. Darkened yellow stock brick. Stucco band at ground floor level and to 1st floor sills. Slated mansard roofs with dormers. 3 storeys, attics and basements. Nos 65, 67 & 73, 4 storeys. 3 windows each. Entrances with stucco surrounds with pilasters and dentil cornices; alternating round and segmental-arched doorways with fanlights and panelled doors. Gauged brick flat arches to recessed sash windows, most with original glazing bars. Ground and 1st floor windows with bracketed sills and cast-iron window guards. Nos 65 & 67 ground floor windows in segmental-arched recesses with stucco archivolts, impostes and keys. Stone dentil cornices; Nos 65, 67 & 73 cornices at 3rd floor level. Parapets. INTERIORS: not inspected. SUBSIDIARY FEATURES: attached cast-iron railings, mostly with urn finials, to areas. .

3.3 The original lease of 59, for 99 years from 1783-1882 between the Duke of Bedford to Mr Charles Connelly, shows a long garden with a variety of small basements at the back and a coach-house or stables at the end of the garden, facing on to Chenies Mews which at that time was the name of the street now known as Ridgemount Gardens.

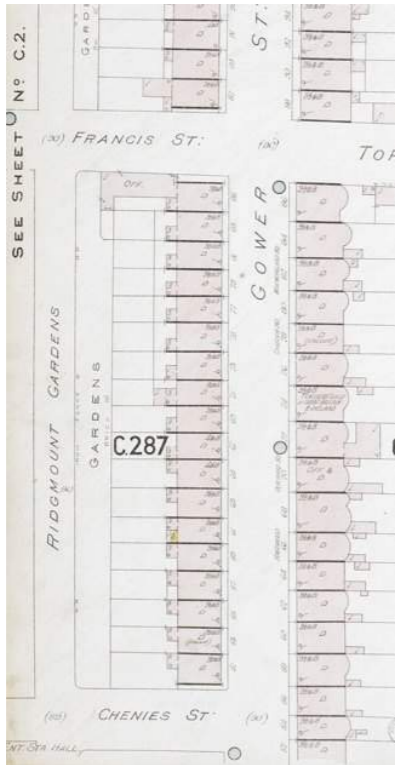


3.4 When the leases were renewed after 99 years, the lease plan was changed omitting the stable block and shortening the overall length of the site but annotated with 'stables beyond the back garden wall'

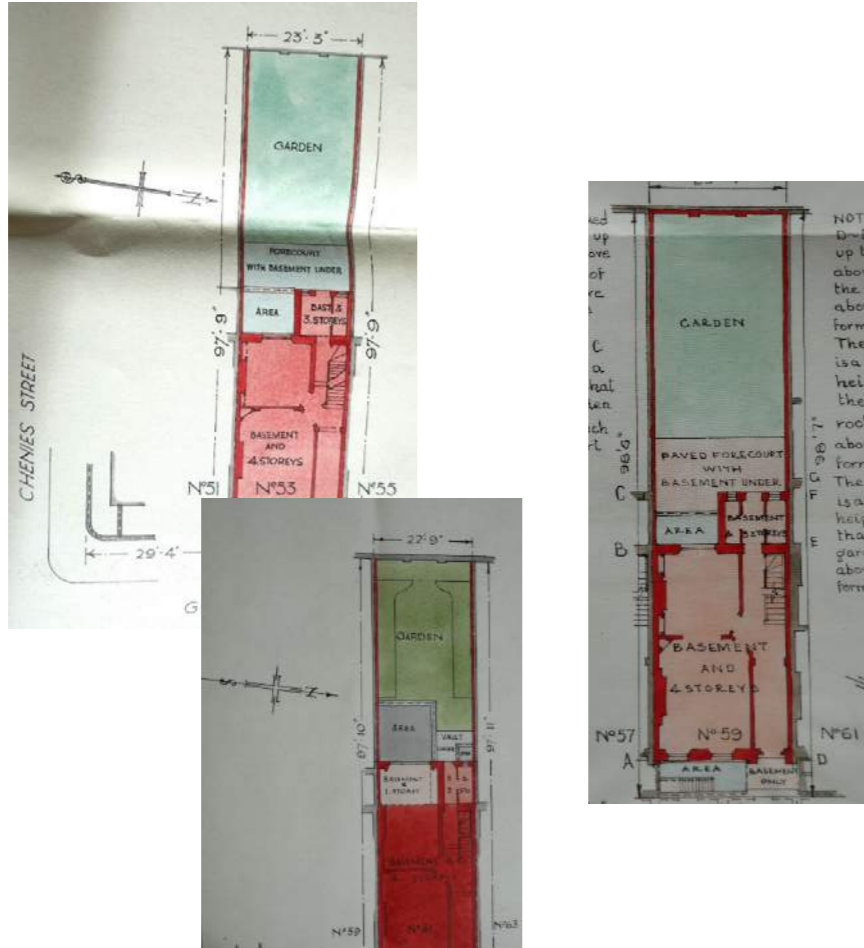


3.5 The lease plan granted in to Mr Samuel Jacobs, Lady Day 1882 to 1912 is similar to the previous lease but includes vaults under the back garden.

3.6 Donald Olsen states in 'Town Planning in London' that the Estate took down the block of houses between Store Street and Chenies Street to widen Chenies Mews, and changed the name to Ridgmount Street. Soon after this the redevelopment of the area north of Chenies Street was carried out, resulting in the buildings in Huntley Street and Ridgmount Gardens. A long strip of ornamental gardens was set out along the east side of Ridgmount Gardens at the ends of the gardens to the properties in Gower Street. These proposals are shown on the 1900 Fire Insurance Plan below. Similar plans were undertaken for other parts of the Estate, including Montague and Southampton Mews.

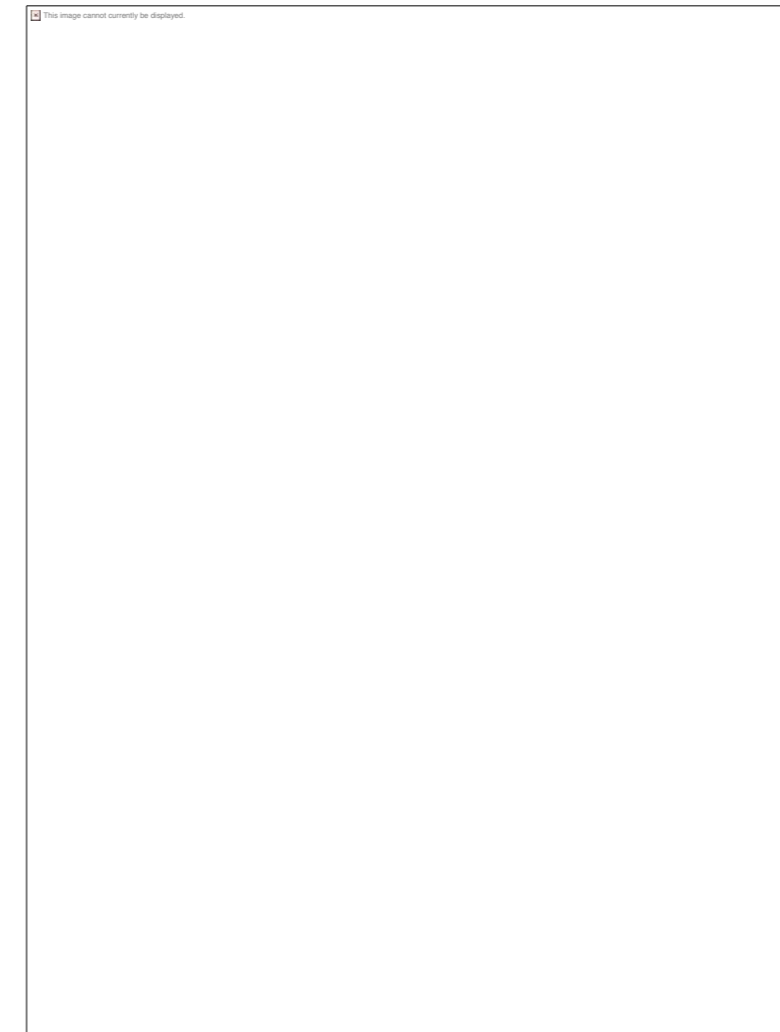


3.7 Lease Plans for the properties in the terrace between Chenies Street and Francis Street show a similarity in the main floor layout but with variations in the basements and the areas at the backs of the buildings.



Above lease plans for 53..... for 59 and 61.

- 3.8 The front rooms and entrance hall of each property follow a similar layout with the main staircase on the northern side of each property in the southern part of the terrace, and a small back closet wing consisting of basement and two storeys. The main building in each case is a basement with four upper floors including an attic.
- 3.9 Many of the houses in the terrace have apparently been used as boarding houses and/or hotels although not consistently. All suffered bomb damage during WWII. On the 16th November 1941, a high explosive bomb was reported as having hit the roadway outside 53 which caused extensive damage. The building had to be evacuated and on the 30th January 1946 the Borough of Holborn took possession of it.
- 3.10 The War Department took possession of number 59 on the 11th April 1945 and the owner had recorded in a letter of 21st February 1944 that her house was bombed in 1941 and was uninhabitable for several months



- 3.11 Christian Doll, Consultant to the Bedford Estate, wrote to the Steward at the Estate Office on the 6th May 1941 confirming that he had inspected 61 Gower Street and found that there was extensive damage following the air raid on the 16th/17th April 1941, although it was not of a serious nature.

- 3.12 In May 1946 the Town Clerk to Holborn Council wrote to the Estate confirming that the transfer of number 61 to the War Department had now been passed on to the Ministry of Health.
- 3.13 A lease was granted between the Trustees of the Woburn Estate to Holborn Borough Council for ten years from 1st April 1960 to 25th March 1970. By the end of this lease the property, together with the rest of the terrace, had been listed.
- 3.14 Plans were prepared in May 1975 by architects working with the Council to split each of the above properties into self-contained ground floor and basement flats, with two further flats formed on the upper floors. These latter flats shared the use of the bathroom formed in the back closet wing. Within the flats the front rooms were subdivided and lobbies were provided leading off the main staircase. The staircase was divided at ground level to separate the flights to provide fire separation between the ground/basement flat and those above this level.

4.0 Proposals

- 4.1 The proposals seek to increase the useable space and to provide totally self-contained flats.
- 4.2 This has been achieved with a reduction in the degree of subdivision at the front, thereby re-establishing the principle of large rooms across the front of the buildings on the first and second floors, with a subdivision to provide a bathroom on the third floor for 53. In numbers 59 and 61 a major large room has been reinstated at the front of the building, echoing the large room on the ground floor. In these two buildings a bathroom is formed on the third floor as in number 53 which creates an openness and lightness while providing an enclosed kitchen.
- 4.3 The 1970 alterations included changes to the staircases to provide a degree of separation and much of this is retained. The basic form of the stair wells and decorative work is retained.
- 4.4 Links have been formed between the back room at the main floor levels and the small back closet wing rooms at the half level between floors. Similar links have been used at 24-25 Bloomsbury Square and properties in Bedford Place. This is not required on the top floors (second and third floors)
- 4.5 Externally the appearance of the fronts of the buildings remains as existing. At the back the principle of the main building is retained, rising from basement to ground and three upper floors, with a small back closet wing accessed from the half landing on the staircase and stopping below the attic floor. The closet wing is extended at ground level to provide a kitchen overlooking the garden.
- 4.6 The existing vaults at the back of each of the buildings vary as can be seen from the submitted drawings. These variations are generally hidden from view and are only seen if looking over the edge of the back light wells.
- 4.7 The setting at the backs of the buildings retains the open garden space facing west, with original brick walls which form the boundary with the garden, now lining the eastern side of Ridgmount Gardens, and this helps to shield the view of the properties.
- 4.8 This use of the vaults as part of the lower maisonette makes beneficial use of what would otherwise be redundant spaces. By being grouped round the original light wells they do not detract from the appearance of the buildings.
- 4.9 There is modest extension at ground level behind the existing closet wing and over the existing basement area which is noted on the lease plan shown in paragraph 3.7 above. This provides a dining kitchen looking out over the garden.

5.0 Impact of the proposals

- 5.1 Externally the face of the building overlooking Gower Street is unchanged and the back is screened by the planting along Ridgmount Gardens. Thus the character and appearance of the building and the Conservation Area is unaffected.
- 5.2 At the back of the building the form at the upper levels is unchanged and there is a consistency in basic form along the length of the terrace. At the lower levels there is a greater variety with variations in the form of the lightwells, paved areas and back closet wings. These variations both existing and proposed are effectively screened by the belt of planting along the western side of the terrace. The changes to the buildings are relatively minor and consistent with the established appearance of the buildings and do not affect their character or appearance, nor that of the Conservation Area.
- 5.3 It is considered that these changes are part of the evolution of the building and its use and thereby secures it optimum use in accordance with paragraph 196 of the NPPF 2018.
- 5.4 Internally it is recognised that there are changes to the building which involve less than substantial harm to the designated heritage asset.
- 5.5 It is considered that these changes are of three kinds:
1. first the alterations which allow all the units to be self-contained thereby providing significant benefits to those living in the flats and the availability of suitable accommodation in the area;
 2. secondly there are alterations which have reinstated the principle of simple, large rooms across the frontage of the building which, in the case of 53, extend to the full width; in the case of 59 and 61, in providing visual links between the two front rooms they create the sense of a single space. These enhance the architectural and historic interest of the buildings;
 3. thirdly, in restoring and or modifying the vaults, these areas are brought back into beneficial use thereby enhancing the general housing stock.
- 5.6 In general there will be restoration and repair of the building fabric which will be beneficial to the appearance and to the enduring use of the buildings.
- 5.7 A preapplication assessment of the proposals was made in November 2018. For number 59 it stated that the works were very similar to 53 and those comments were applicable. This recognised that '*In listed building terms the subdivision of the building into separate units is already established*'. In the final pre-app response there were comments specific to number 59 and these have been addressed in the finalised design.
- 5.8 Comments were made with regard to some of the details in particular there were proposals for corridors linking the back closet wing room with the front rooms which have now been removed. There are precedents for the link formed in the corner of the main back room of properties nearby as noted above in 4.4. Many of the items such as the subdivision of the staircase were established as part of the works originally approved as part of the works in the 1970's and are part of the principle of subdivision into individual self-contained units and the current upgrading of the units as recognised is necessary in 5.7 above.
- 5.9 It is therefore considered that, in accordance with paragraph 196 of the 2018 NPPF, these proposals do secure the optimum viable use of the building and are a carefully considered balance in preserving the heritage interest of the building.
- 6.0 Summary**
- 6.1 In conclusion it is recognised that the proposals do involve alterations to the designated heritage asset and as such necessitate less than substantial harm to deal with the lack of upgrading of the accommodation over many years as

identified in the pre-app response. It is considered that the proposals do preserve and enhance the designated heritage asset and in doing so comply with both national and local conservation policies.

6.2 In addition to this, the proposals preserve and protect the appearance and character of the Bloomsbury Conservation Area.

Anthony Walker
Dip arch (dist), grad dip (cons) AA, RIBA

NOTE: All vegetation to be removed from the wall
and walls to be repointed

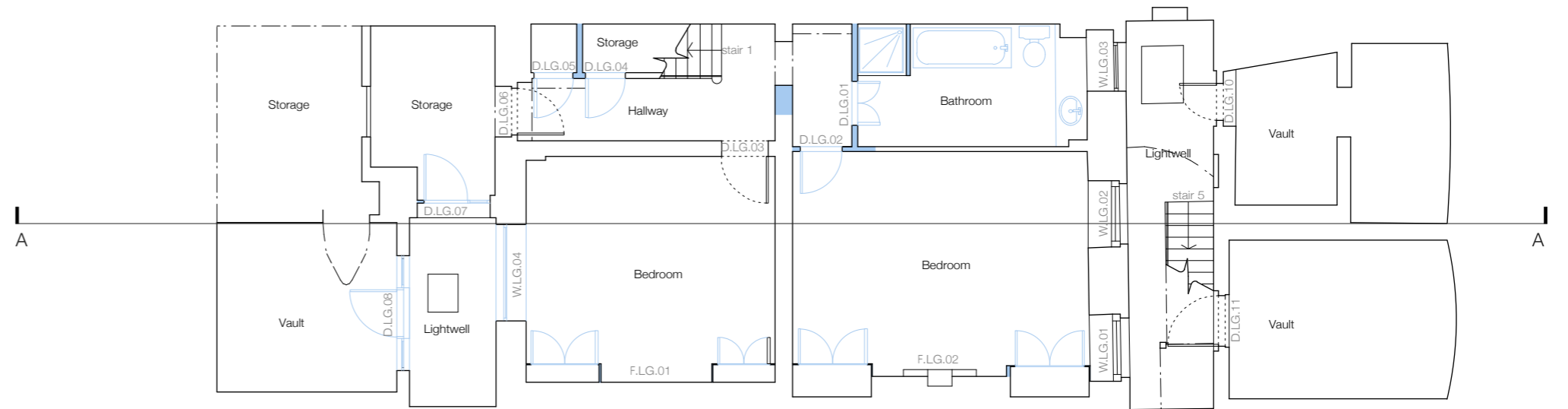
NOTE: Full facade and building inspection will be
required following vacant possession of the building



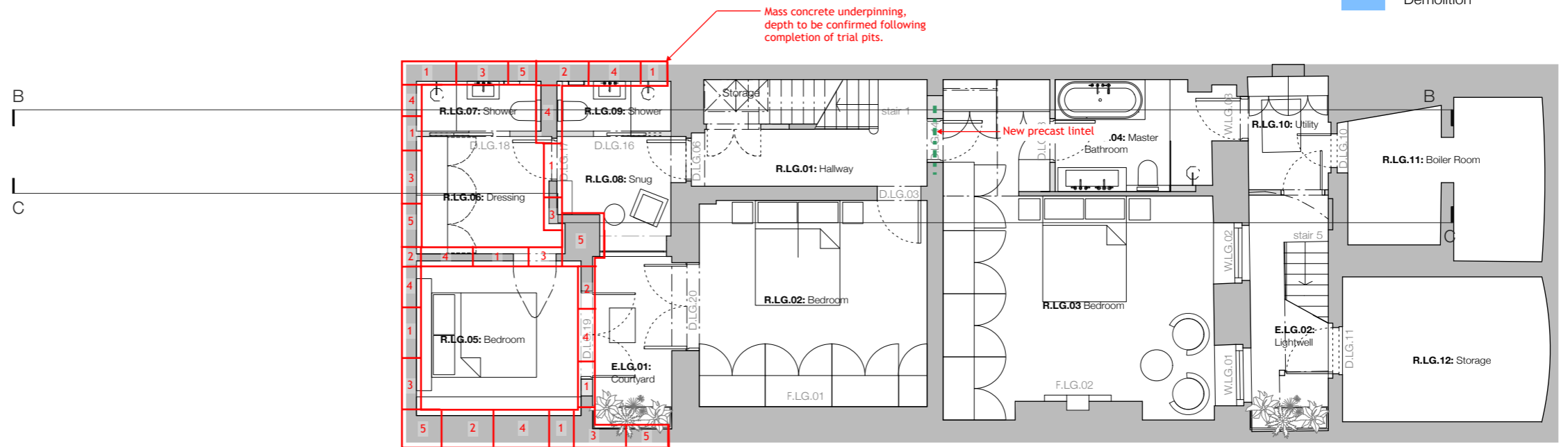
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Ref:218342

Project:59 Gower St



Demolition



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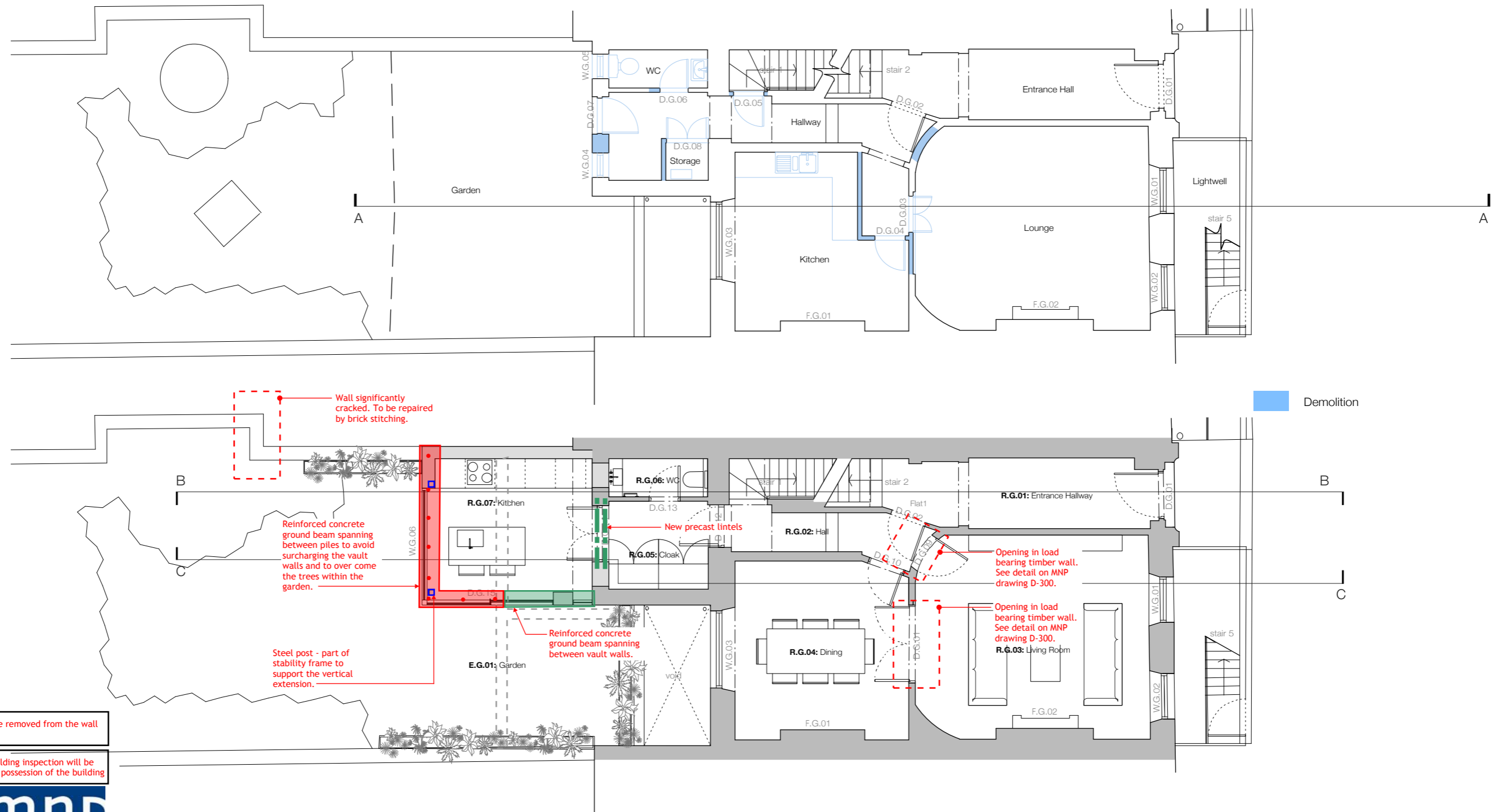
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Project:59 Gower St

Title: Proposed Lower Ground GA

Notes:
All original features to be retained and refurbished where possible.



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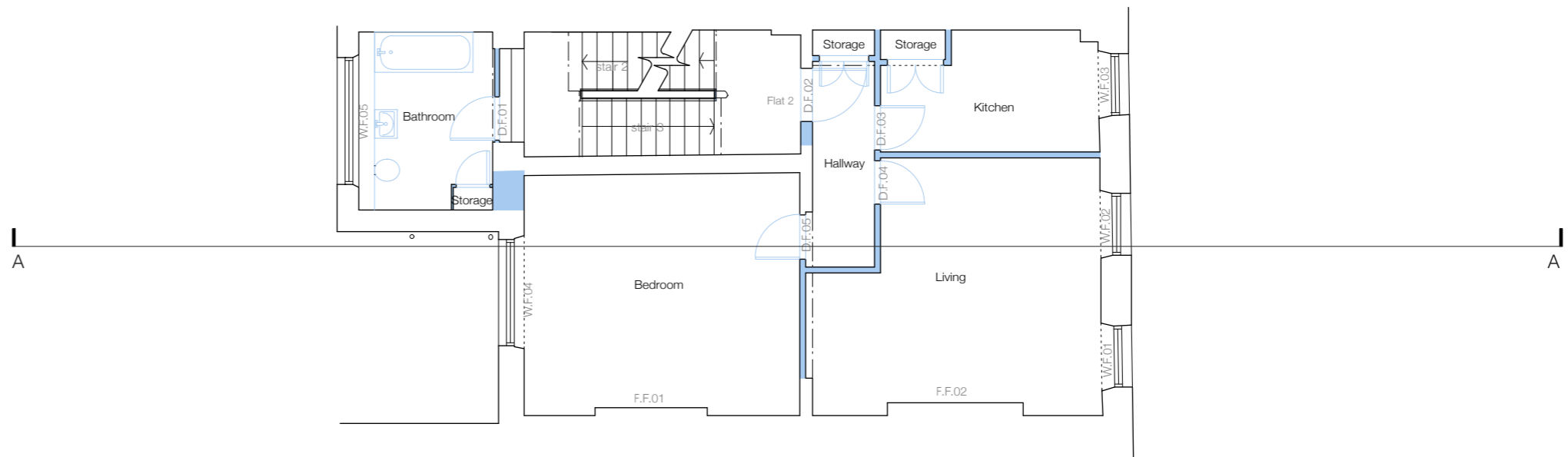
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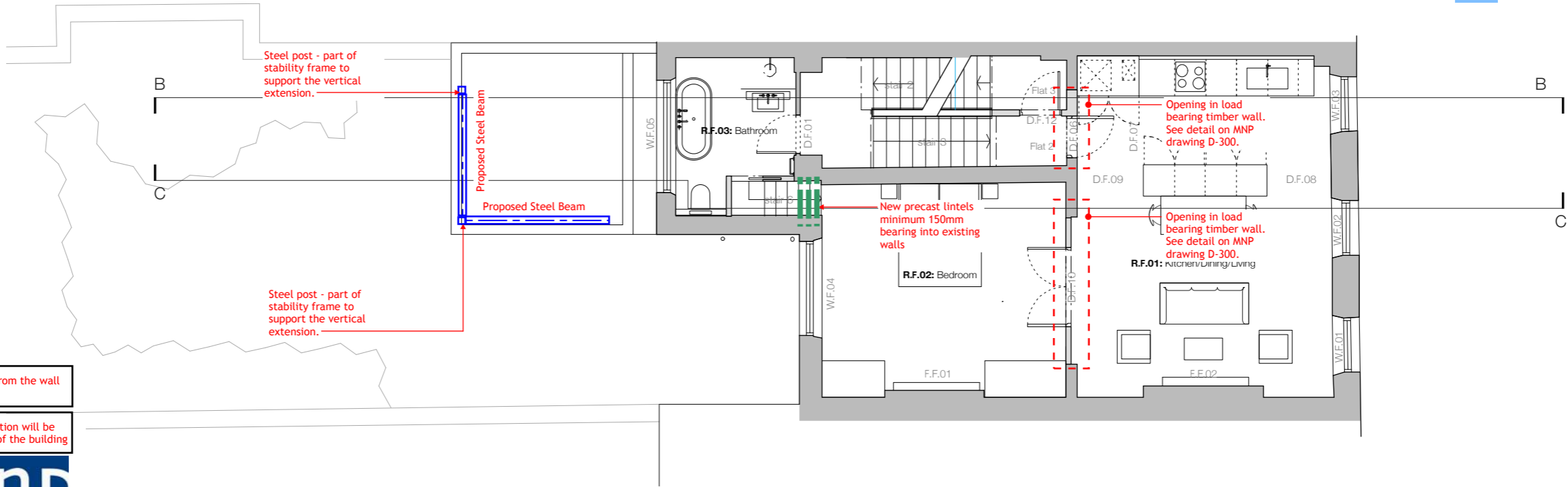
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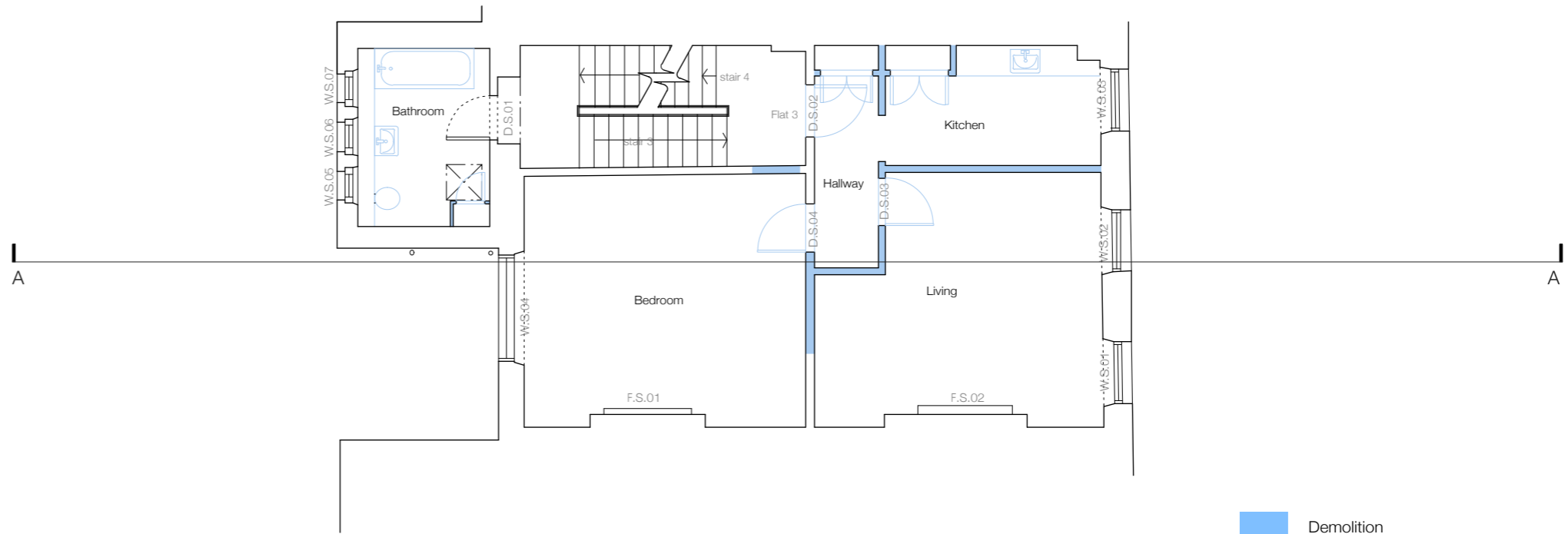
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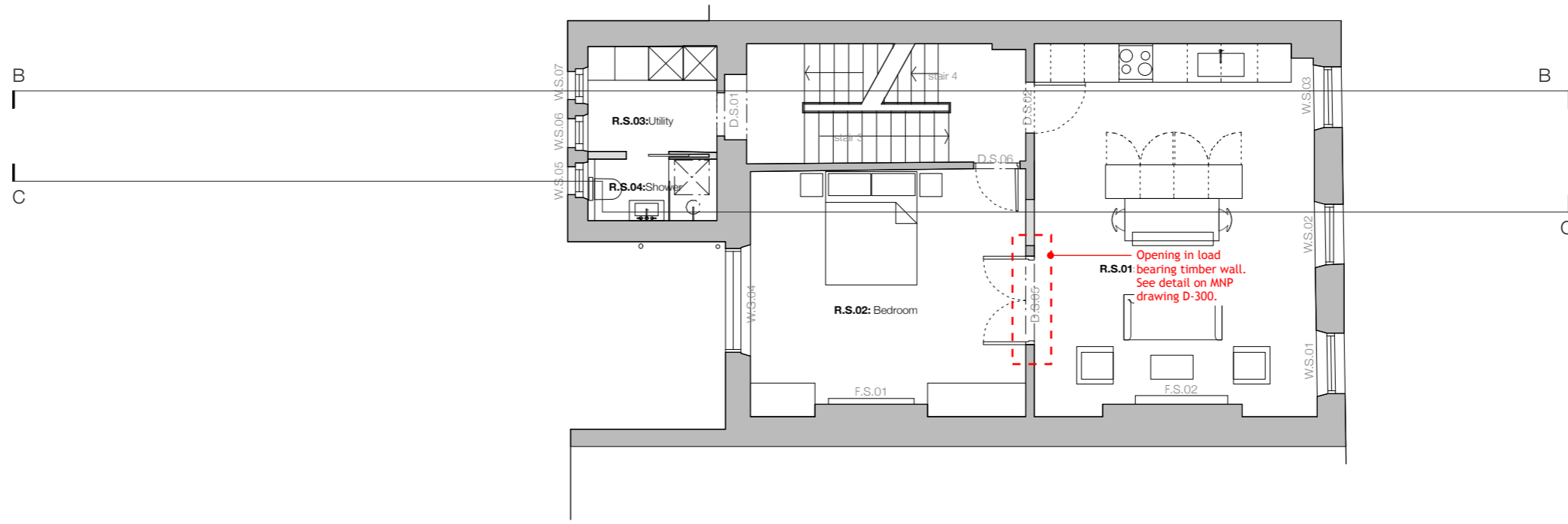
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Demolition



Opening in load bearing timber wall. See detail on MNP drawing D-300.

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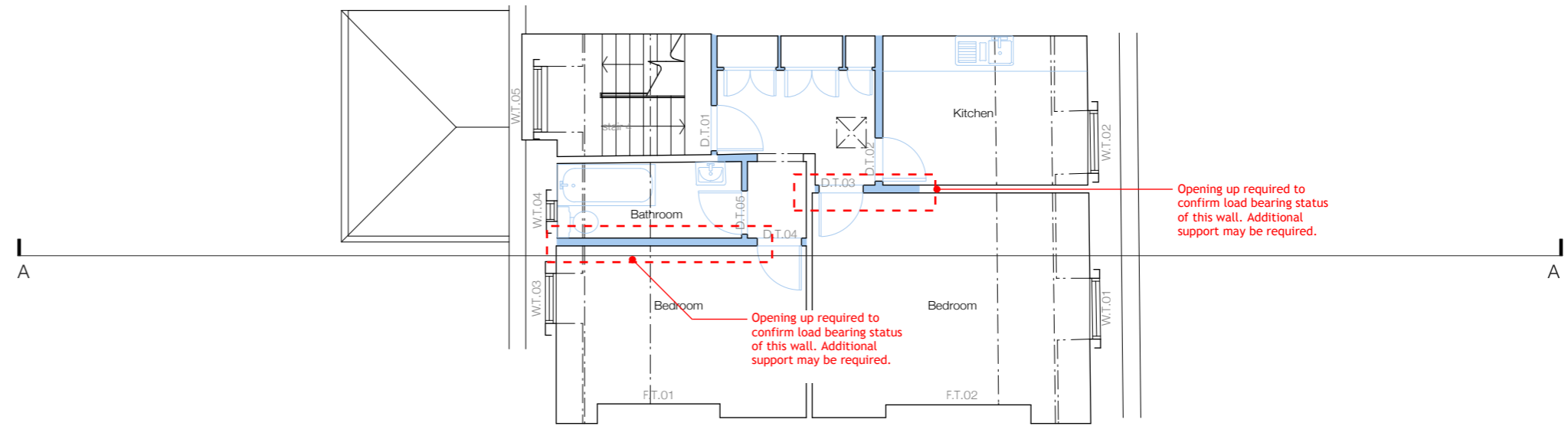
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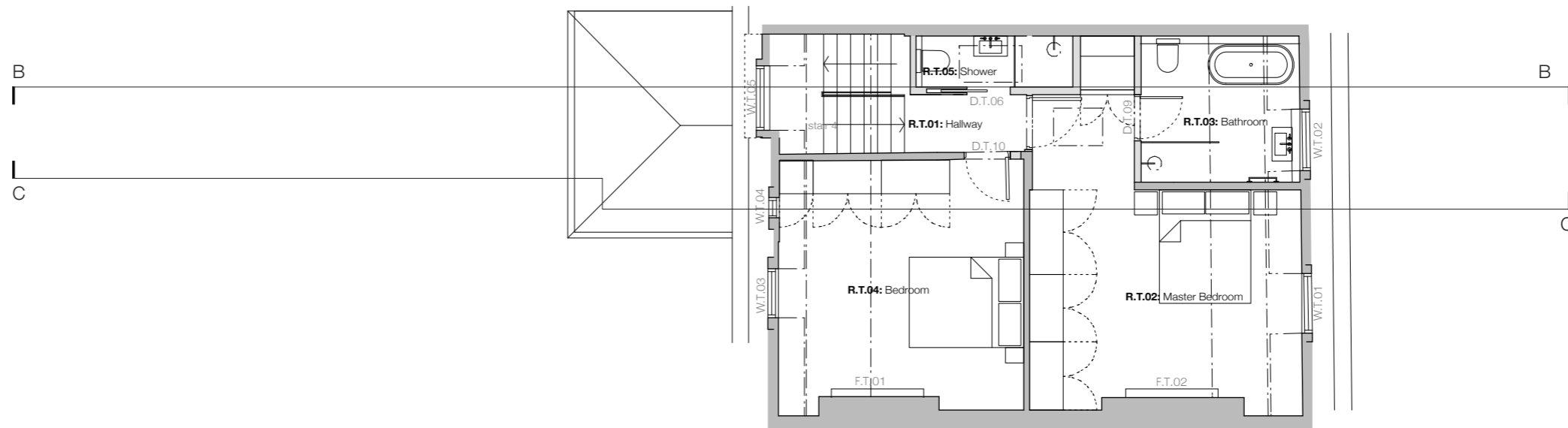
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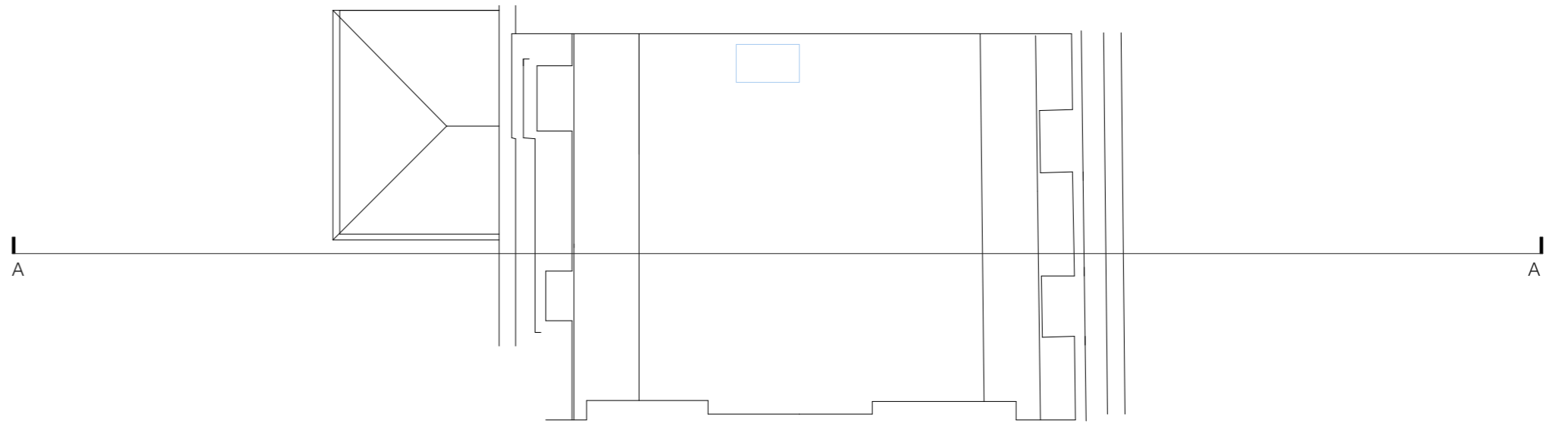
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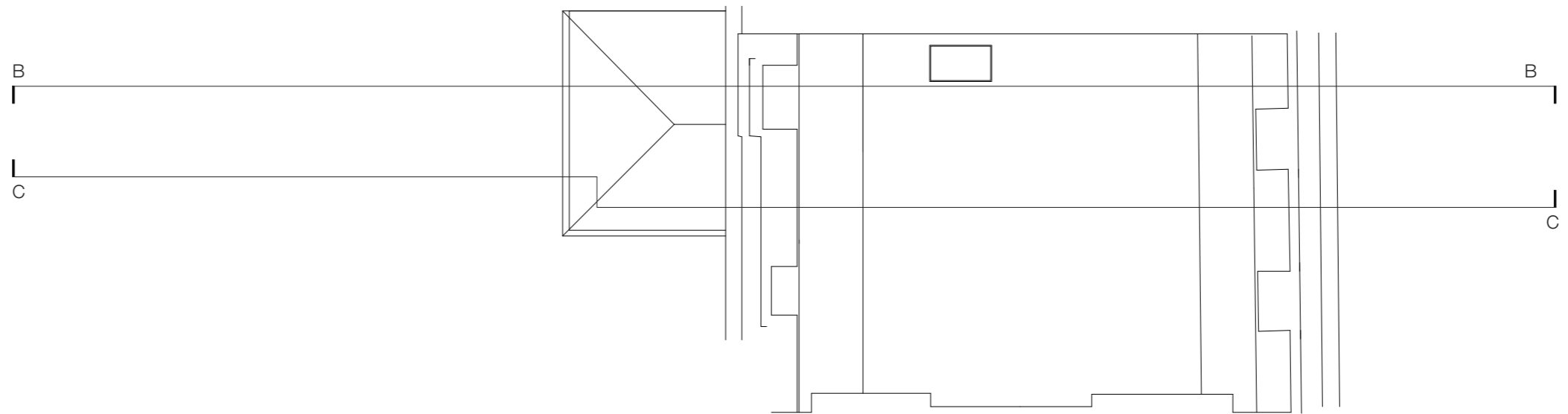
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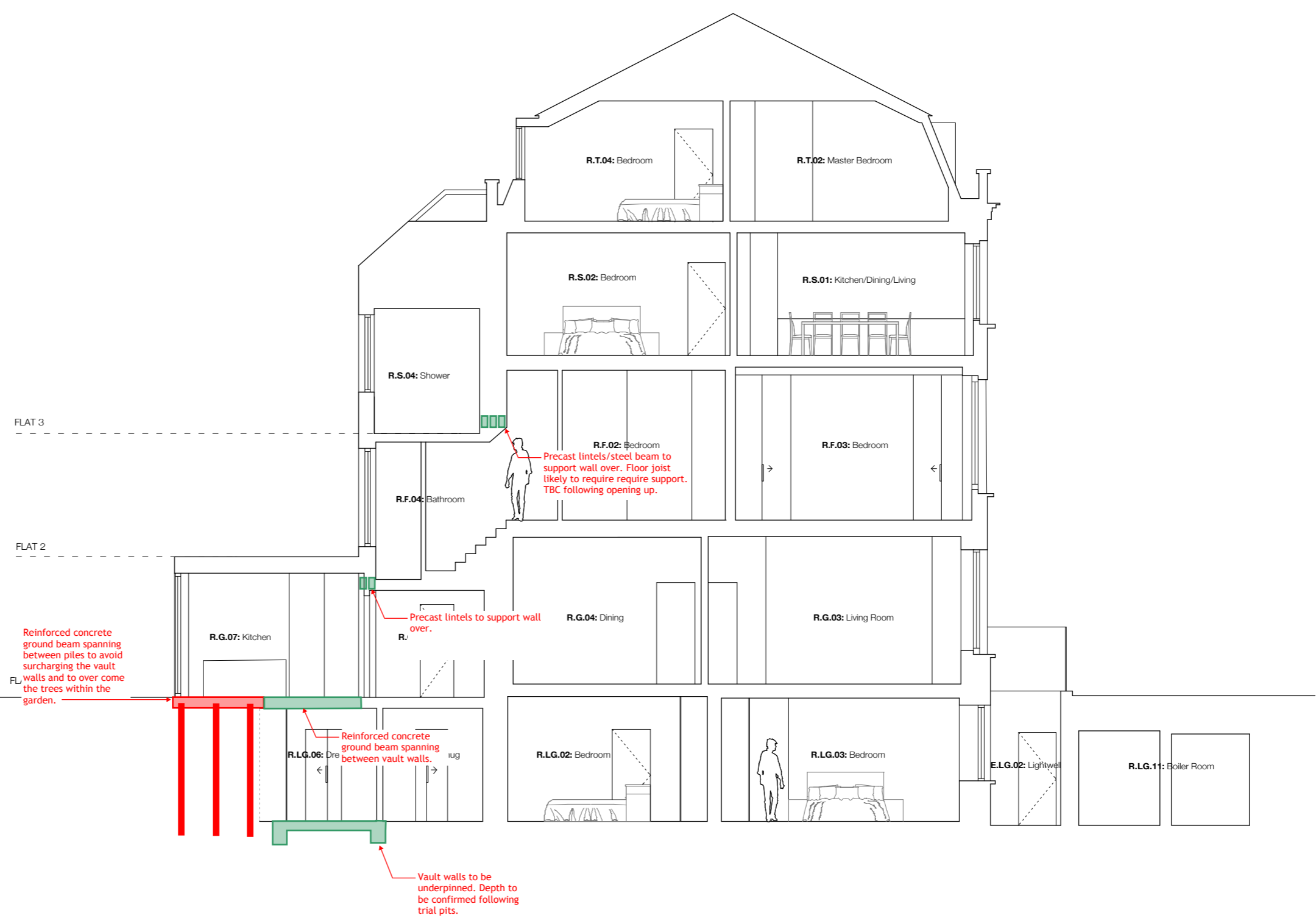
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THE BEDFORD ESTATES

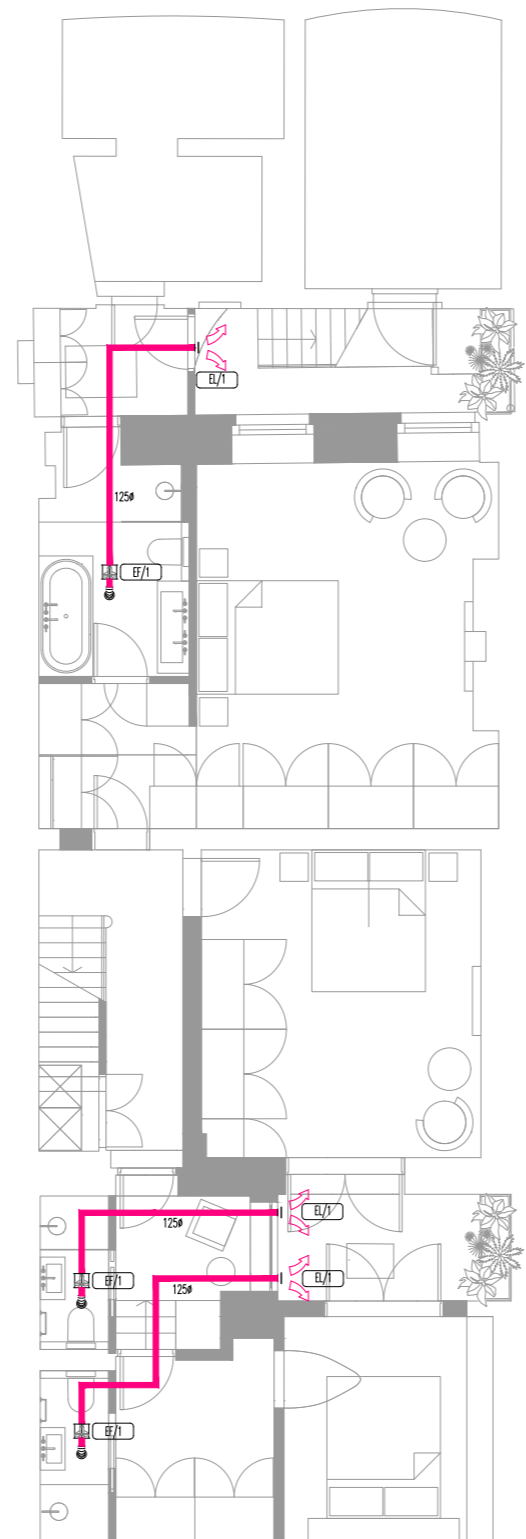
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Planning Issue Drawings – February 2019

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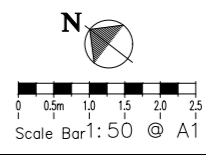
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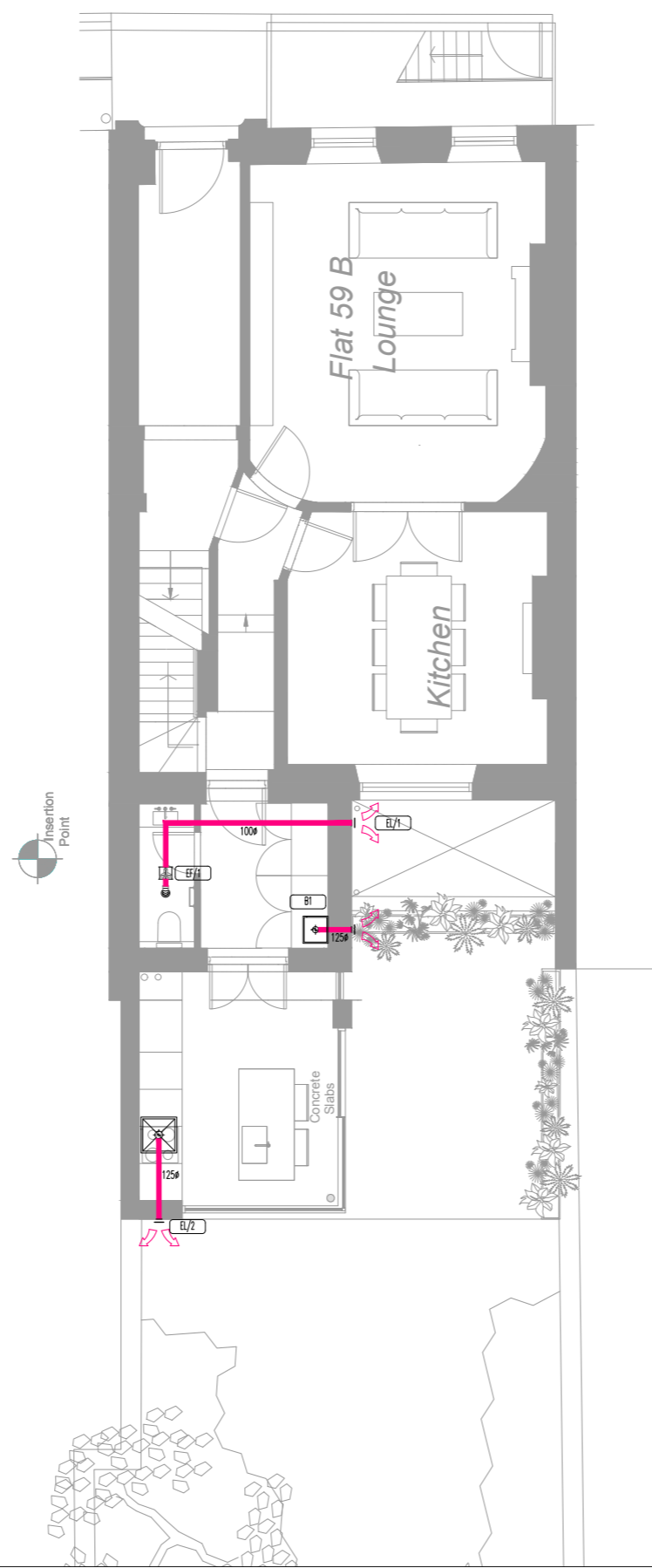
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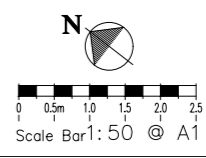
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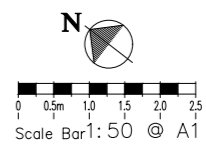
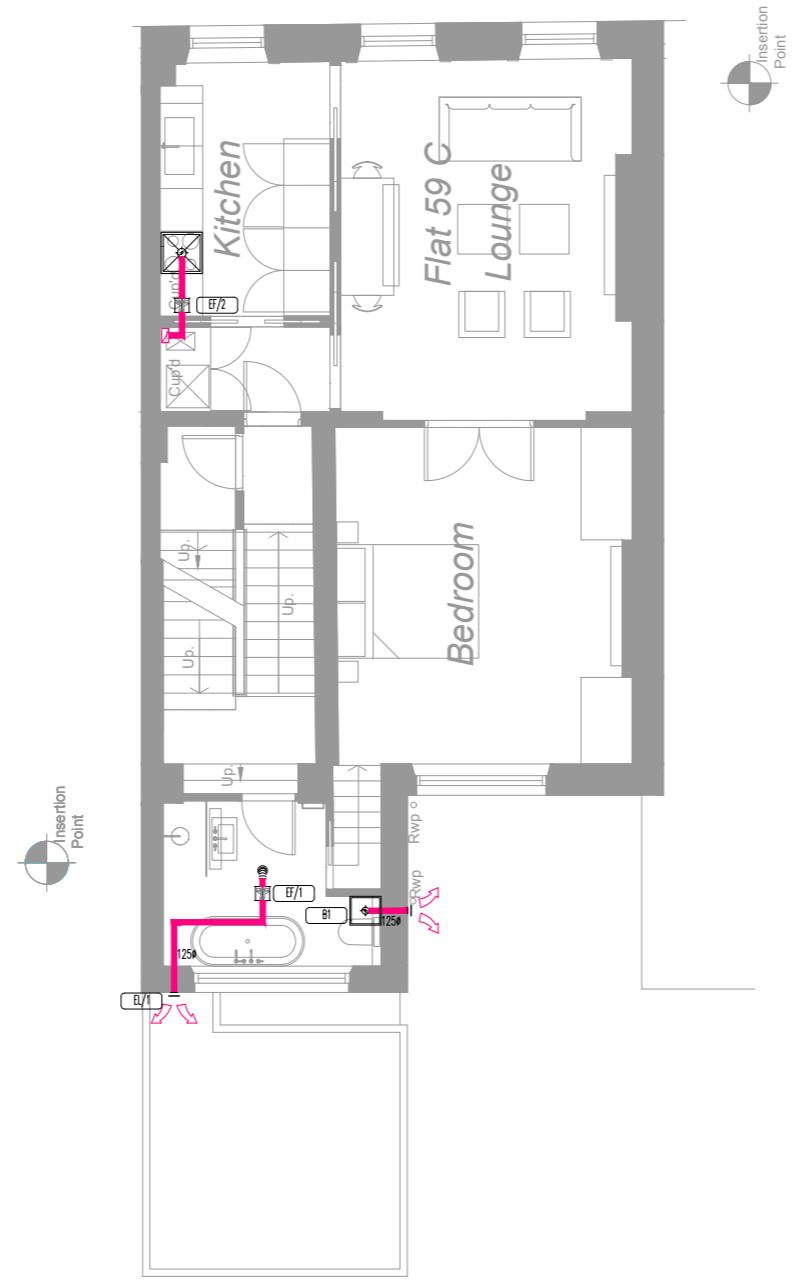
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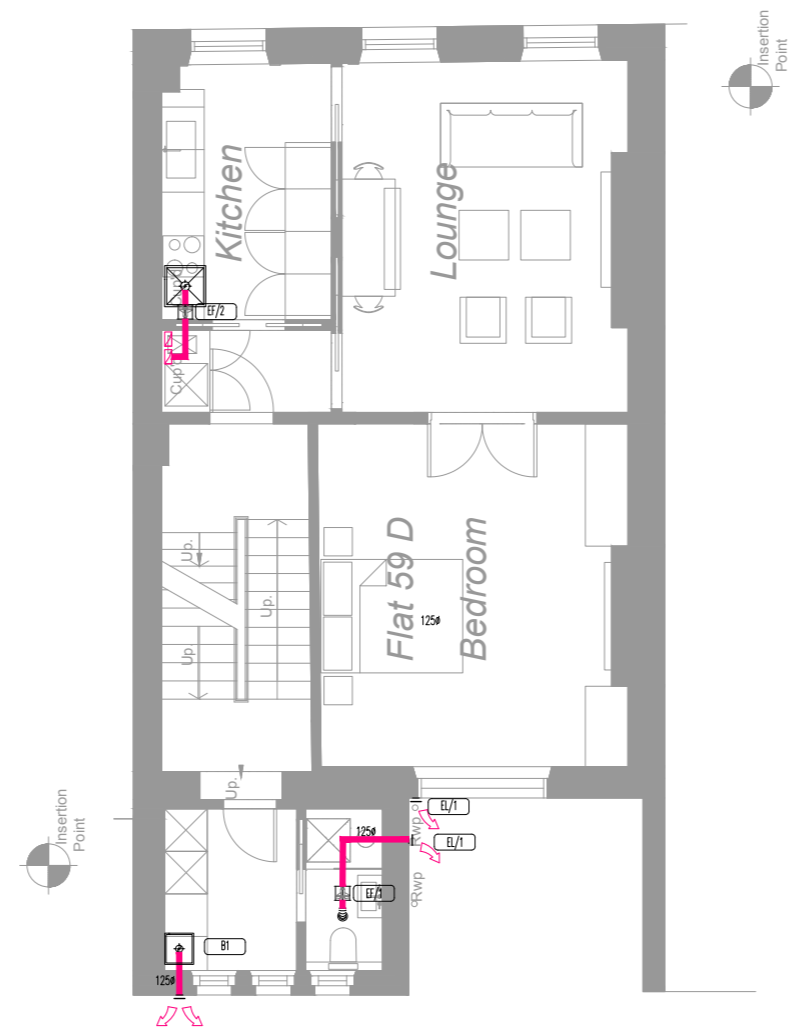
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FIRST FLOOR
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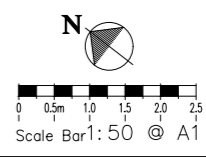
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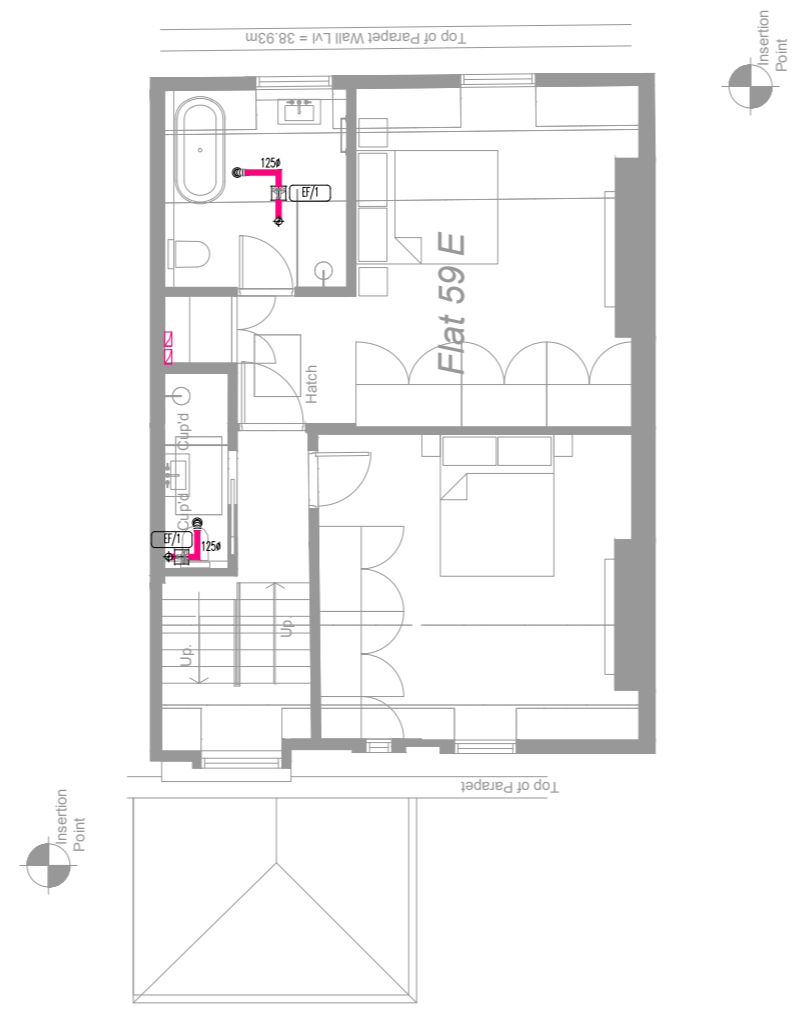
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WC1E 6HJ

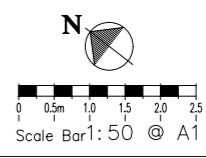
Drawing Title
THIRD FLOOR
M&E SERVICES LAYOUT

Scale	1:50@A1	Date	06.02.19
Drawn	C.A.D	Checked	L.G.

Drawing Status
PLANNING

Revision	0													
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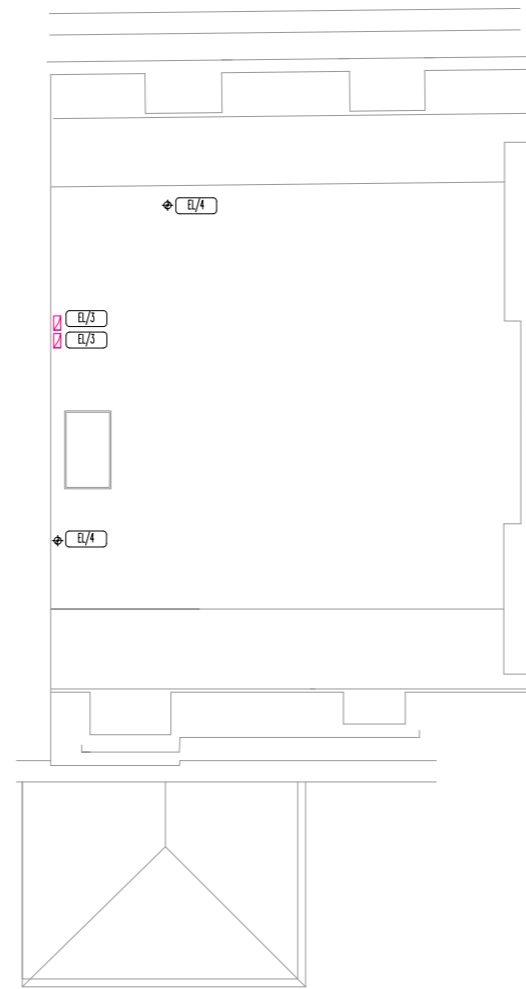
Drawing No. TPS/59GS/3/M&E



1/PS1 \

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GENERAL NOTES



PLANNING

Rev	Date	Description
0	FEB.19	PLANNING ISSUE

TPS
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www.tpsproject.com

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Tel: 020 7463 6800
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Project
59 GOWER STREET
FITZROVIA
LONDON
WC1E 6HJ

Drawing Title
ROOF LEVEL
M&E SERVICES LAYOUT

Scale	1:50@A1	Date	06.02.19
Drawn	C.A.D	Checked	L.G.

Drawing Status
PLANNING

Revision	0																		
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Drawing No.
TPS/59GS/R/M&E

N
Scale Bar 1:50 @ A1

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PLANNING

Rev	Date	Description
0	FEB.19	PLANNING ISSUE

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Project
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FITZROVIA
LONDON
WC1E 6HJ

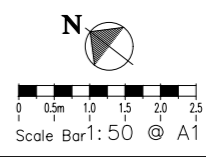
Drawing Title
REAR ELEVATION
M&E SERVICES

Scale	1:50@A1	Date	06.02.19
Drawn	C.A.D	Checked	L.G.

Drawing Status
PLANNING

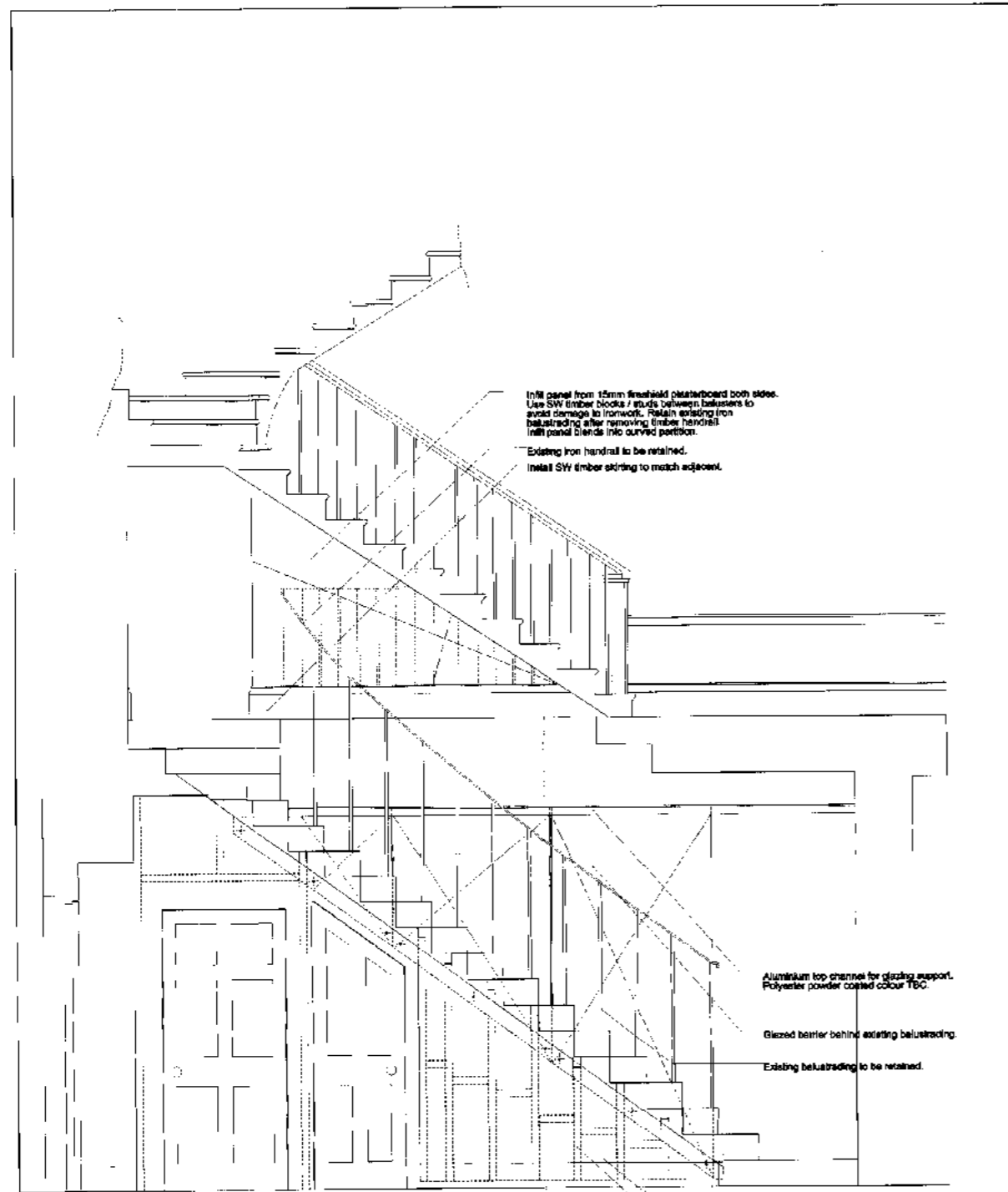
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Drawing No.
TPS/59GS/EL/M&E



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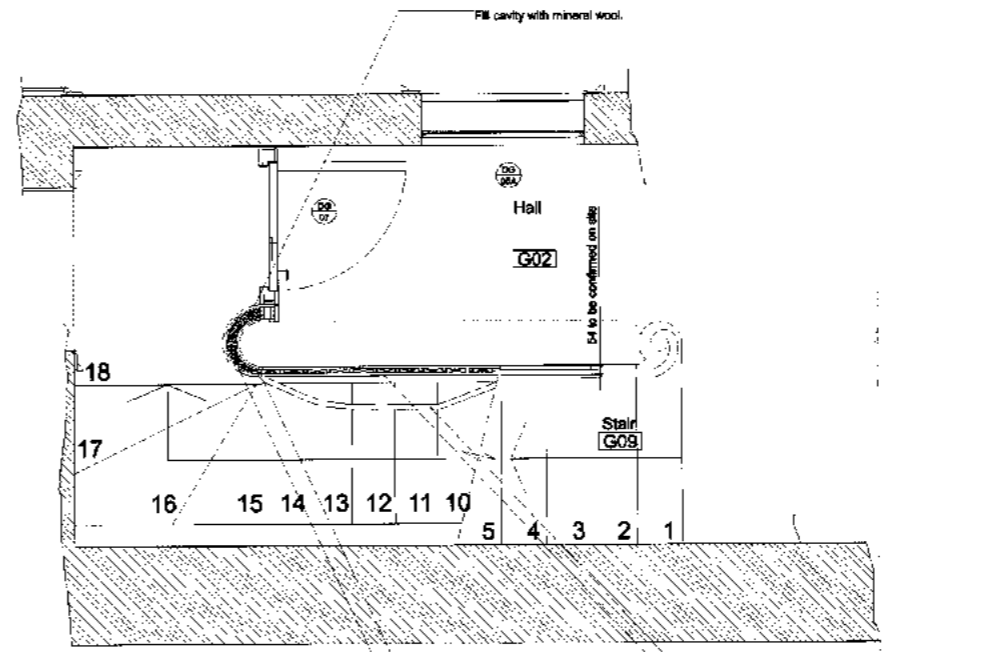


Infill panel from 15mm fire-rated plasterboard both sides. Use SW timber blocks / studs between balusters to avoid damage to ironwork. Retain existing iron balustrading after removing timber handrail. Infill panel blends into curved partition.
Existing iron handrail to be retained.
Install SW timber string to match adjacent.

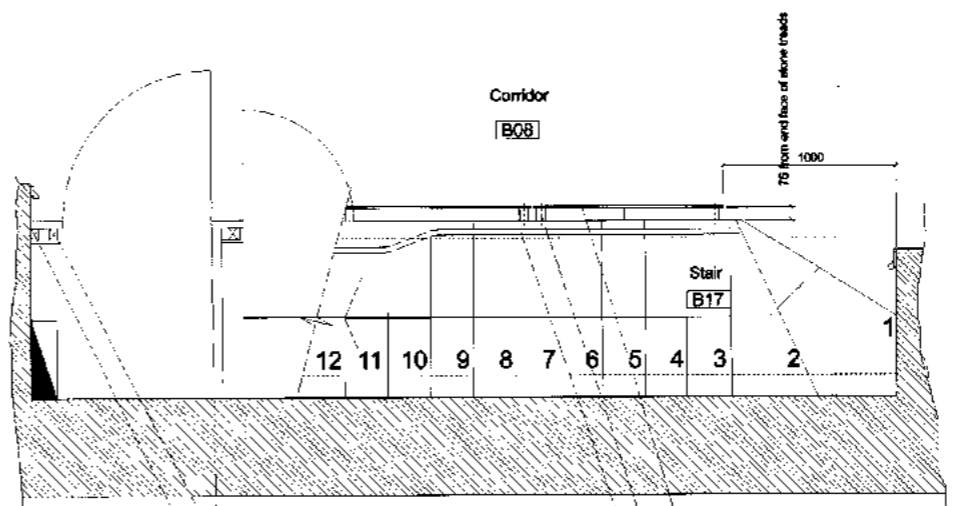
Aluminium top channel for glazing support. Polyester powder coated colour TBC.
Glazed barrier behind existing balustrading.
Existing balustrading to be retained.

Ply boarding to internal face of timber framing.
50 x 70 SW timber framing to rear of existing panelling. Studs at 300mm centres.
Framing to stiffen panelling and carry load of glazing.

1 - Section through Hallway



Fill cavity with mineral wool.
Stainless steel plate / trim around handrail at entry to partition.
Curved partition from SW timber studs with 7mm Bandy Ply facings then 15mm fire-rated plasterboard finely scored or faceted to allow curve. Seal edges and joints with intumescent sealant. Then skim finish.
Existing handrail to be retained. Construct barrier from 15mm fire-rated plasterboard and trim both sides. Use SW timber blocks between boards. Seal edges with intumescent sealant. Avoid damage to balustrading.



Existing timber screen to be retained.
Ply boarding to internal face of timber framing.
50 x 70 SW timber framing to rear of existing panelling. Studs at 300mm centres.
Framing to stiffen panelling and carry load of glazing.
Toughened glass barrier to BS 6180. Thickness TBC.
Point fixing to glazed barrier.
Existing handrail to be retained.

3 - Plan at Basement level.

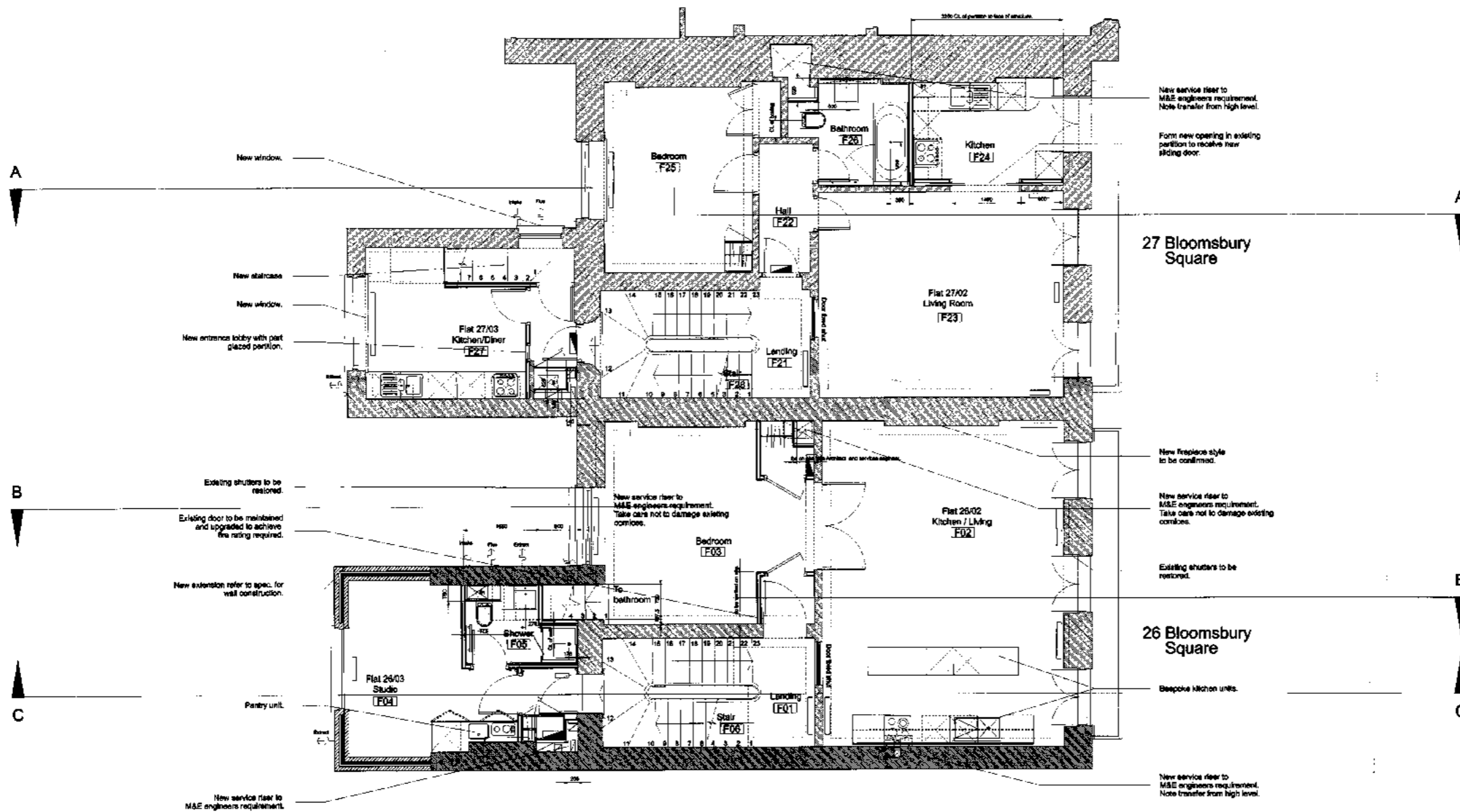
Date	Init.	Rev.	
Job			
26/27 Bloomsbury Square London WC1			
Drawing Title			
No. 26 Bloomsbury Square Proposed Basement Hallway Glazed Barrier			
Status			
PLANNING			
Date	Drawn	Scale	
Mar 07	fc	1:20@A1	
Job No.	Drawing ref.	Drawing No.	Revision
3113	P (73)	101	-

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070305	Gen revision to service risers, radiators and sanitaryware setting out.	fc	J
070129	Setting out of service risers amended.	fc	H
061214	Setting out information added.	fc	G
061207	Doors added to F02, F23. Lobby added to F03 and revision to wardrobe. Door added to F27 and revision to stair bottom step. Shower screens indicated.	fc	F
061124	Revision to 26/02 entry and kitchen layout.	fc	E
ISSUED FOR BUILDING CONTROL SUBMISSION			
061102	General revisions to bathroom/kitchen extracts.	fc	D
061102	General revisions to bathroom layouts and service risers locations. Additional wardrobe indicated. Internal partition build up indicated. Sliding pocket door to kitchen revised. New door to entrance lobby at F27.	fc	C
060919	General revisions to bathroom layouts and service risers locations.	fc	B
060817	General revisions. Room number added.	fc	A
Date		Init.	Rev.

Job
26/27 Bloomsbury Square
 London
 WC1

Drawing Title
**Proposed
 First Floor
 Plan**

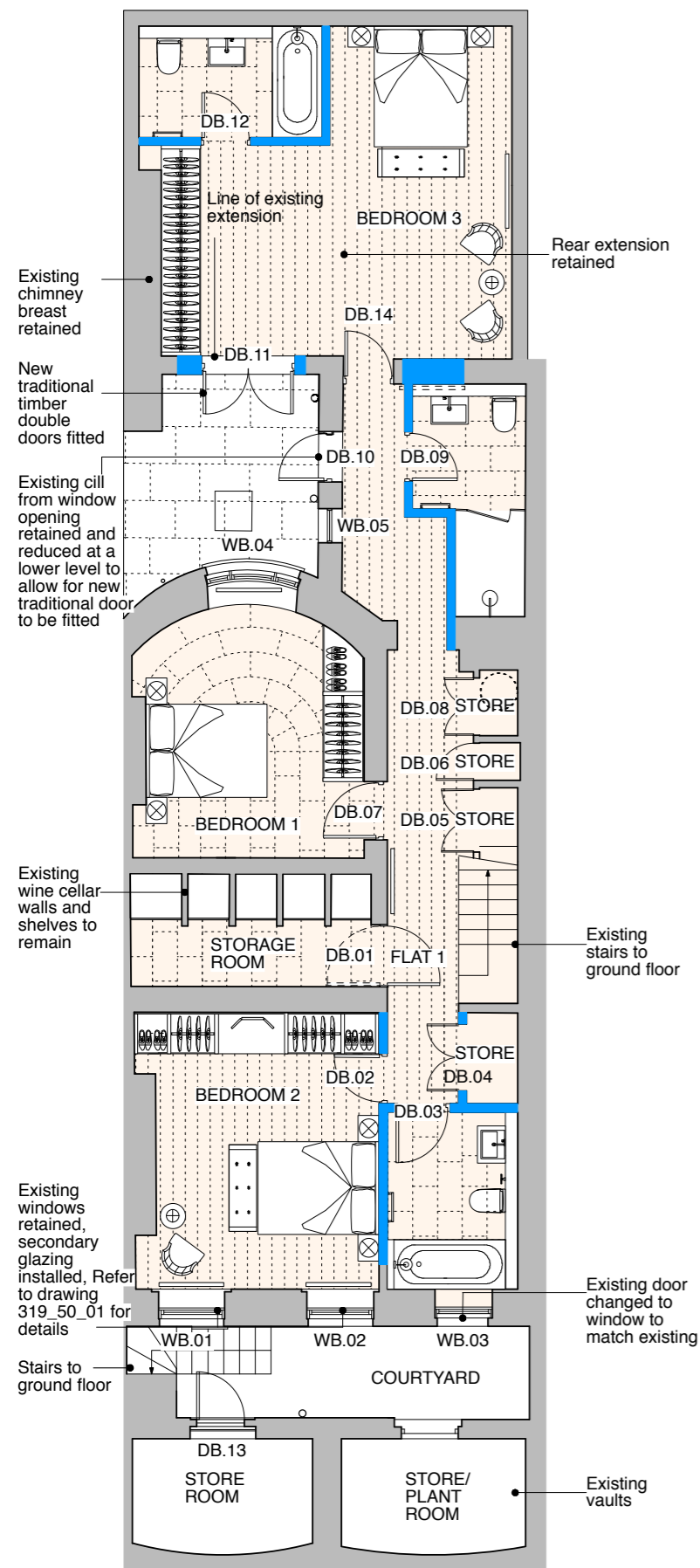
Status Construction			
Date	Drawn	Scale	
Jul 2006	fc	1:50@A1	
Job No.	Drawing ref.	Drawing No.	Revision
3113	P (99)	203	J

DLG Architects
 11-29 Fashion Street
 London E1 6PZ

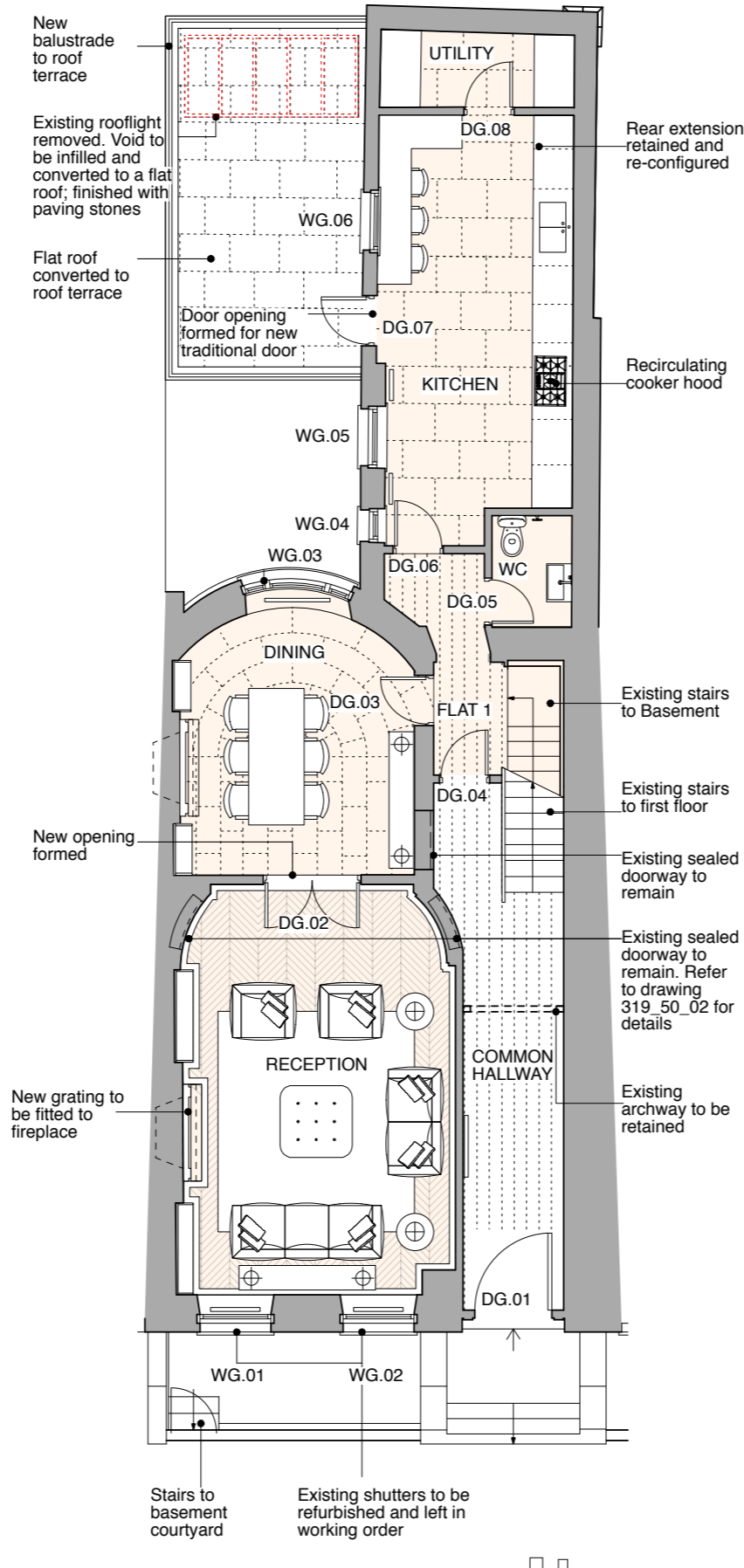
t +44(0)20 7426 3630
 f +44(0)20 7426 3631
 london@dlgarchitects.com

dlgarchitects.com

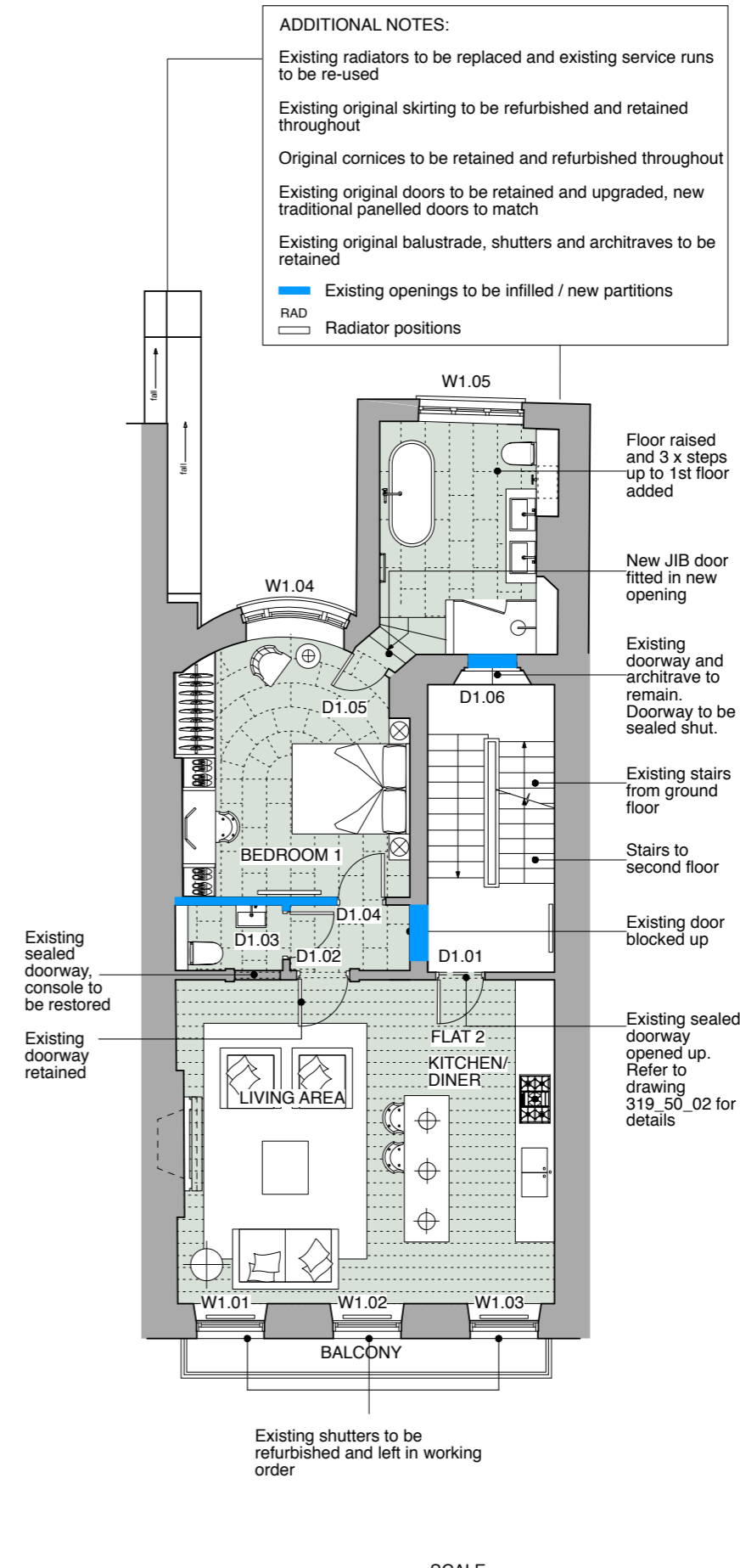




BASEMENT PLAN



GROUND FLOOR PLAN



FIRST FLOOR PLAN

ADDITIONAL NOTES:

Existing radiators to be replaced and existing service runs to be re-used

Existing original skirting to be refurbished and retained throughout

Original cornices to be retained and refurbished throughout

Existing original doors to be retained and upgraded, new traditional panelled doors to match

Existing original balustrade, shutters and architraves to be retained

Existing openings to be infilled / new partitions

RAD
Radiator positions

GENERAL NOTES:

DO NOT SCALE FROM THIS DRAWING.

ALL DIMENSIONS MUST BE CHECKED ON SITE AND ANY DISCREPANCIES VERIFIED WITH THE ARCHITECT.

EXISTING WINDOWS AND EXTERNAL DOORS RETAINED AND REFURBISHED UNLESS OTHERWISE NOTED; SECONDARY GLAZING INSTALLED TO BASEMENT WINDOWS

P1
20.12.16 - Planning Issue

CLIENT
THE BEDFORD ESTATES

JOB TITLE
27 MONTAGUE STREET LONDON WC1B 5BH

DRAWING TITLE
PROPOSED PLANS 1 OF 2

SCALE
1:100@A3

DATE
12.16

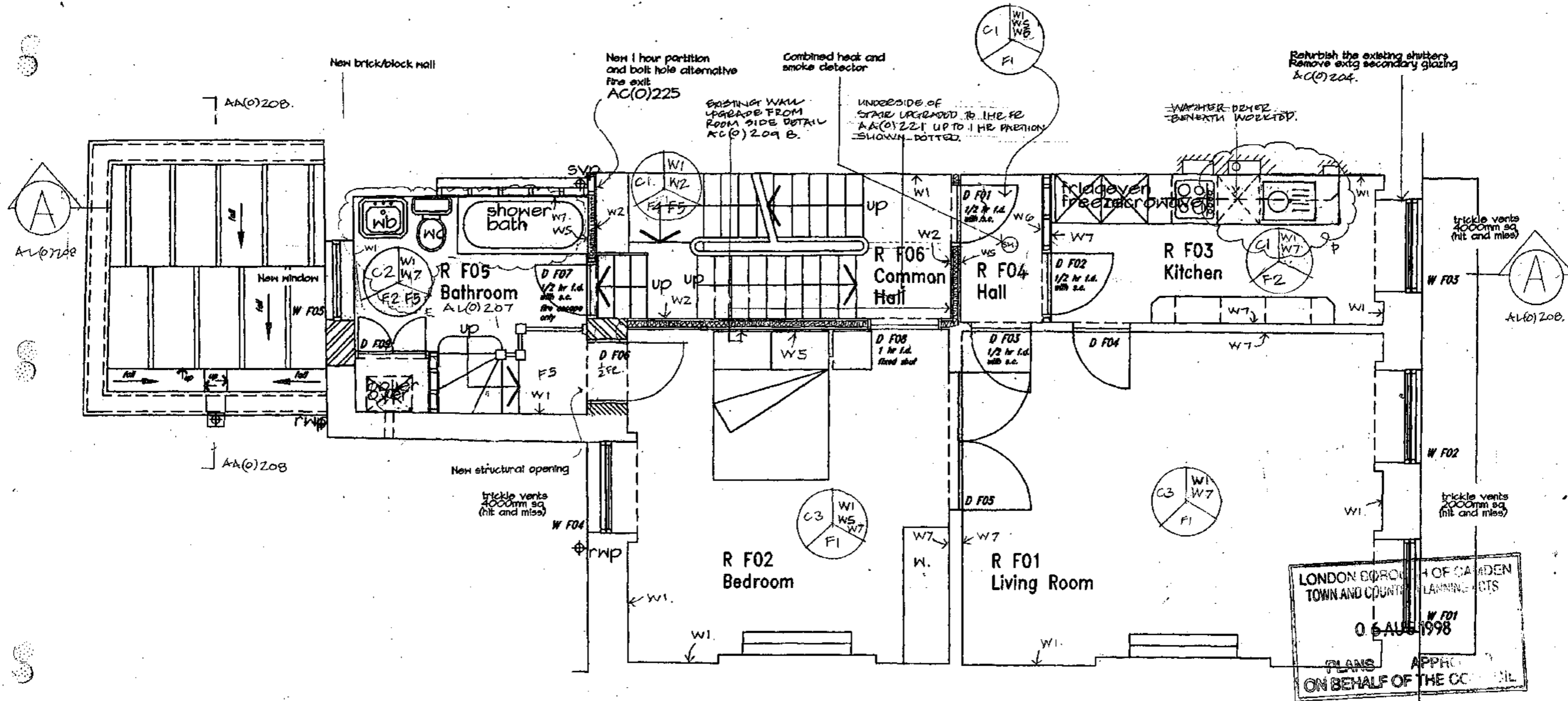
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DRAWING No. **319_01_01** REVISION **P1**





Reinstate fireplace

Reinstate fireplace AC(0)235

FIRST FLOOR PLAN

REV H.

DOORS	FINISHES	WALLS	CEILING
DF01 NEW DOOR + FRAME AC(0)223	F1: NEW FLOOR BOARD - T&G PINE FINISH.	W1. NEW PLASTER ON BRICK WALLS	C1. EXISTING CEILING RETAINED CORNICE CLEANED AND REPAIRED.
DF02 NEW DOOR + FRAME AC(0)223	F2. TILE ON PLYWOOD	W2. NEW EXPANDED METAL LATH AND 15+2.5 CEMENT ON EXISTING STUD	C2. NEW CEILING 12.5mm PLASTERBOARD + SKIM.
DF03 OVERHAUL EXISTING DOOR + FRAME	F4. NEW FLOOR BOARD T&G FOR CARPET FINISH	WS. 2 LAYERS OF 12.5mm GYPROC WALL BOARD ON GYPROC RESILIENT LAYER	C3. NEW CEILING AND NEW CORNICE TO MATCH CLEANED EXISTING CORNICE.
DF04 NEW DOOR + FRAME AC(0)223	F5. STAIR TREADS WITH CARPET FINISH.	WG. 2 LAYERS OF 12.5mm GYPROC WALL BOARD + SKIM.	
DF05 EXISTING OVERHAUL			
DF06 NEW DOOR + FRAME (JIB) AC(0)224			
DF07 NEW DOOR + FRAME AC(0)225			
DF08 FRAME DOORS AC(0)226			
DF09 NEW CURTAIN DOOR (TO BE DETAIL)			

H FINISHES/DOOR ADDED	135.78 AA
G RISE RACTID	31.3.98 AA
F. STRIKE WALL UPGRADE ADDED	0.3.98. AA. P
E. W/C BASIN MOVED.	13.97. AA. P
D. WASHER DRUM MOVED.	23.7.97. AA. P
C. CONCRETE WALL BELOW BATHROOM + KIT REINFORCED.	24.6.97. AA. P
B. VERMICULITE BOARD ADDED	21.2.97. AA. P
A. BATHROOM + KIT REINFORCED.	10.95. AA. P
BY DATE	DATE
BY DATE	DATE
BY DATE	DATE
BY DATE	DATE
BY DATE	DATE
BY DATE	DATE
BY DATE	DATE

ABBEY HANSON ROWE
ARCHITECTS & PLANNERS
4 Riverside Plaza, London E14 2SA
Telephone 020 854 4281 Fax 020 854 4486

THE BEDFORD ESTATE

73 SOUTHAMPTON ROW

PROPOSED 1ST FLOOR PLAN

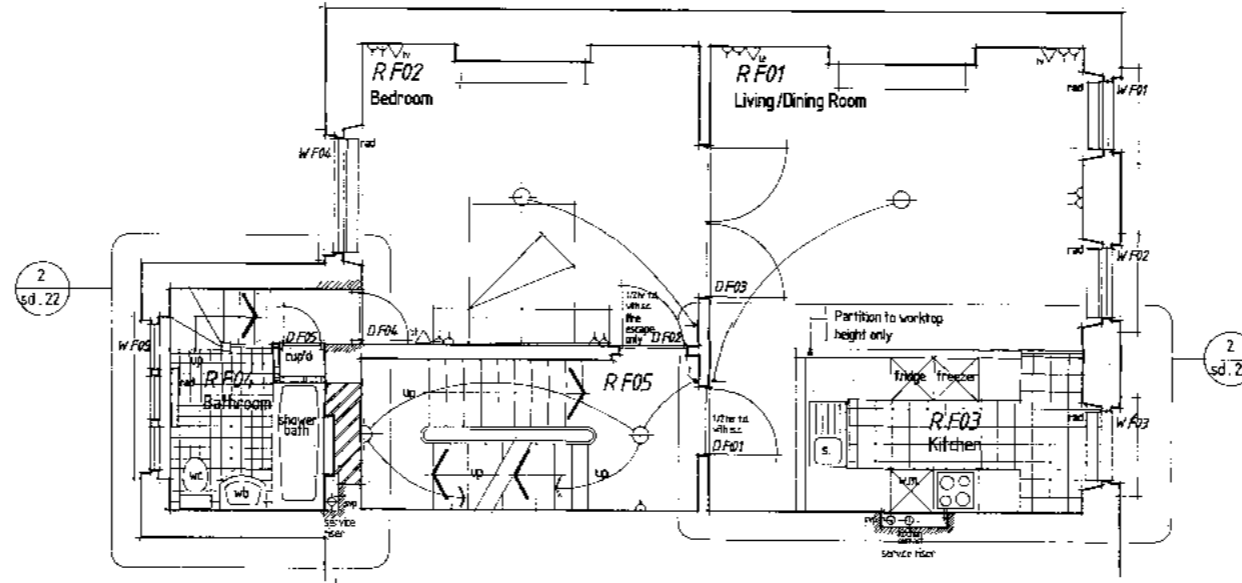
1:50 92353 AL(0)208 14

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19804475

GENERALLY 1st, 2nd, 3rd floors to have fire protection
100 mm Rockwool RINFZ on 12mm plasterboard
laid between floor joists on wire mesh
laid over floor joists and onto existing ceiling

GENERALLY 1st, 2nd, 3rd floors to have sound insulation
AC(0)208



First Floor Plan

Notes

DO NOT SCALE THIS DRAWING
 Ceilings, cornices, skirtings, dado's, etc to be saved, restored and reinstated where necessary to match existing.
 New panelled doors to match existing.
 Existing fireplaces restored and refixed.
 New partitions to R.F03 and R.F06 up to picture rail, R.F06 to have false ceiling at this height.

- Existing disturbed surface made good with materials to match existing as far as possible
- New brickwork
- New 100mm lightweight concrete blockwork with class B semi-engineering brickwork below apr.
- New studwork comprising of 100mm studs with 12.5mm plasterboard and sign either side or to suit existing construction adjacent

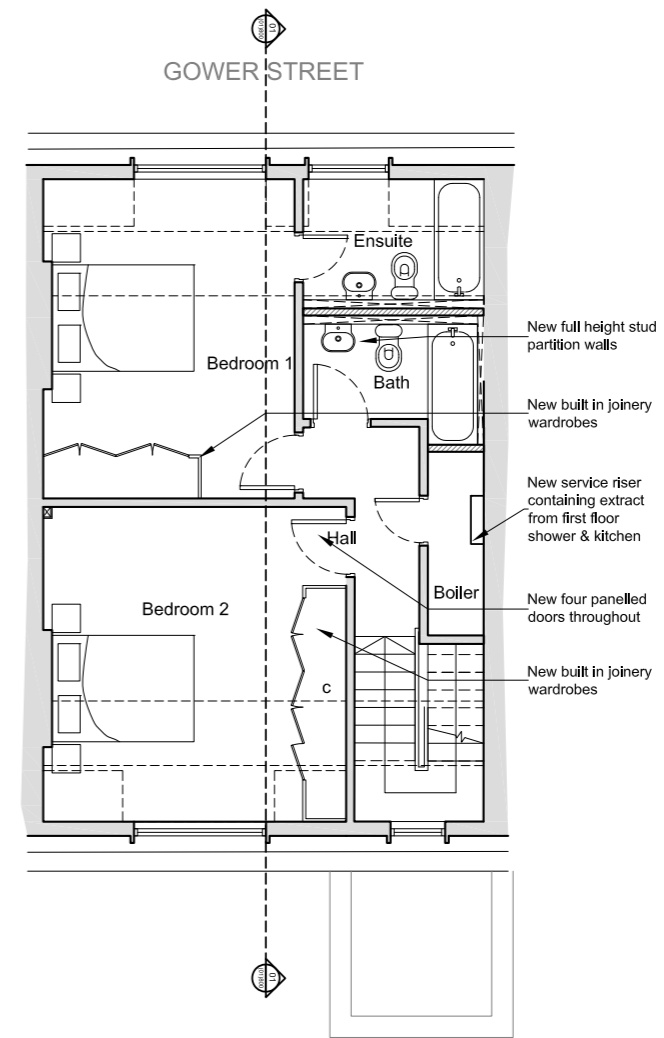
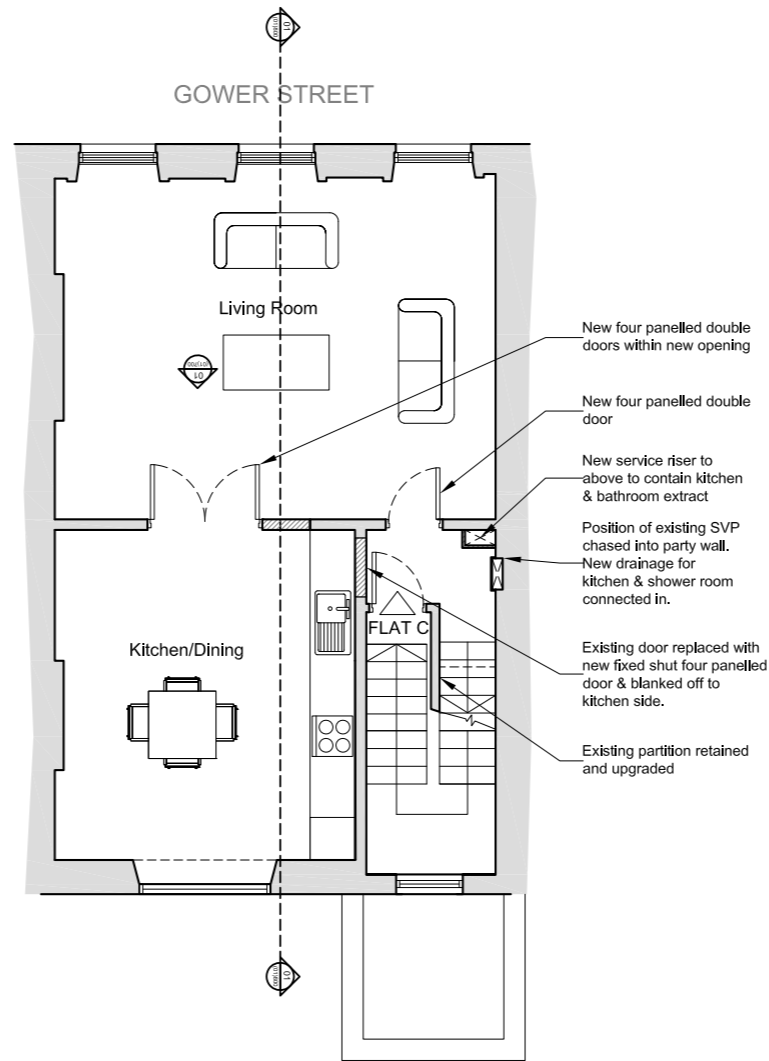
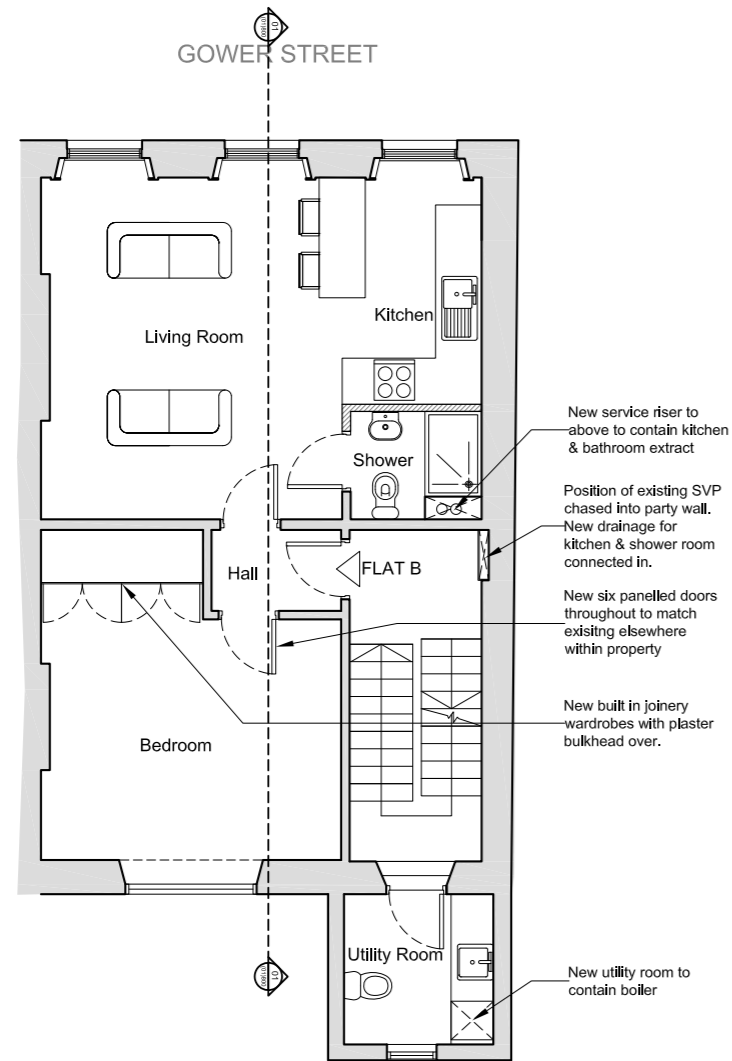
Revisions

No.	Description	Date
a	Revised to satisfy planning requirements	14.10.93

85 Gower Street, London The Bedford Estates			
Title FIRST FLOOR PLAN Premises As Proposed			
Scale 1:50	Date MAY 93	Drawn by 0152 · sd · 13	Checked by a

LONDON BOROUGH OF CAMDEN
 TOWN AND COUNCIL PLANNING DEPT.
 06 JAN 1994
 PLANNING PERMISSION
 ON 06 JAN 1994

HB9370117R2
 TP930000002



REV	ISSUE DATE	REVISION NOTES
F	13.06.2013	Issued for Planning
E	07.06.2013	Issued for Planning
D	10.05.2013	Issued for Planning
C	23.04.2013	Issued for Planning
B	16.04.2013	Issued for Comment
A	13.03.2013	Issued for Comment

GENERAL NOTES

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All work must be carried out in accordance with the Building Regulations and to the satisfaction of the Local Authority.

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GARNETT PARTNERS

CLIENT	The Bedford Estate
PROJECT	27 Gower Street, London
DRAWING TITLE	Plans as Proposed
SCALE	1:50
DATE	March '13
JOB NO.	771
DWG NO.	(01)600
REV.	F

EXISTING WALLS

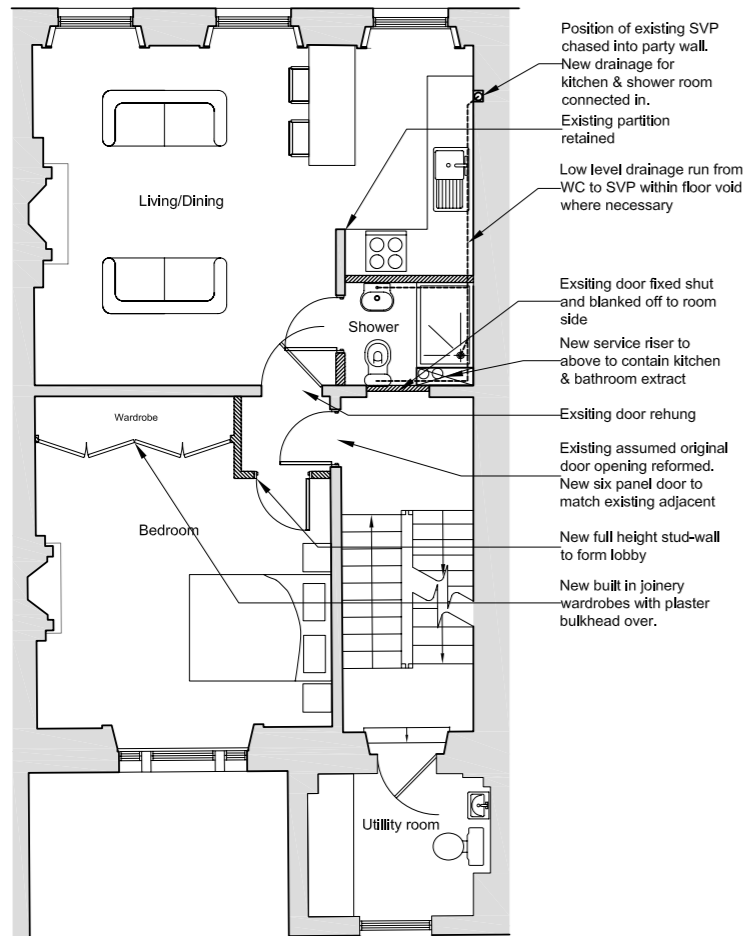
- Notes:**
1.0 Plaster to Internal Walls & Ceilings
 1.1 Existing lath & plaster ceilings are to remain intact throughout wherever possible. Any repairs will be in materials to match the existing original.
 1.2 New partition walls will be in plasterboard on studwork with skimcoat plaster finish.
 1.3 Existing decorative fibrous plaster cornices will be retained and cleaned. New fibrous plaster cornices to match existing where indicated.

- 2.0 Suspended Floors**
 2.1 Where floor voids are exposed the existing construction will be upgraded to increase fire and acoustic separation.

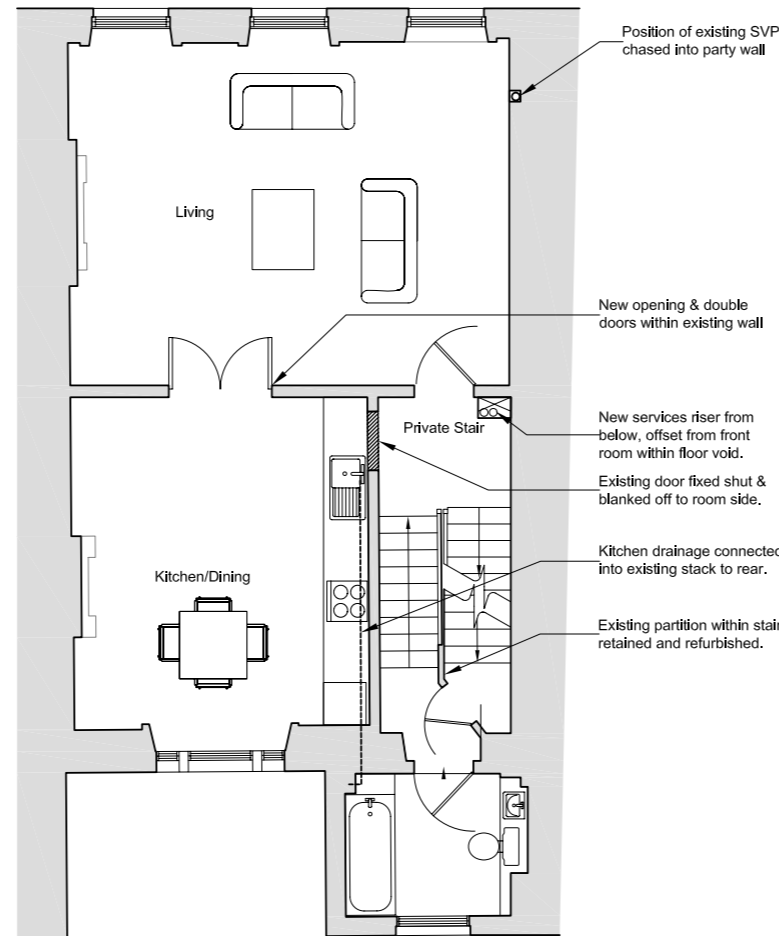
- 3.0 Doors**
 3.1 Existing doors are to be retained and refurbished where original. All new doors will be to match existing adjacent unless otherwise noted.

- 4.0 Joinery & Features**
 4.1 Wherever possible original skirtings, architraves, window panels, shutters, dados and cornices will be retained, repaired and redecorated. Where retention is not possible (ie if too rotten or damaged beyond repair) like for like replacements will be made.

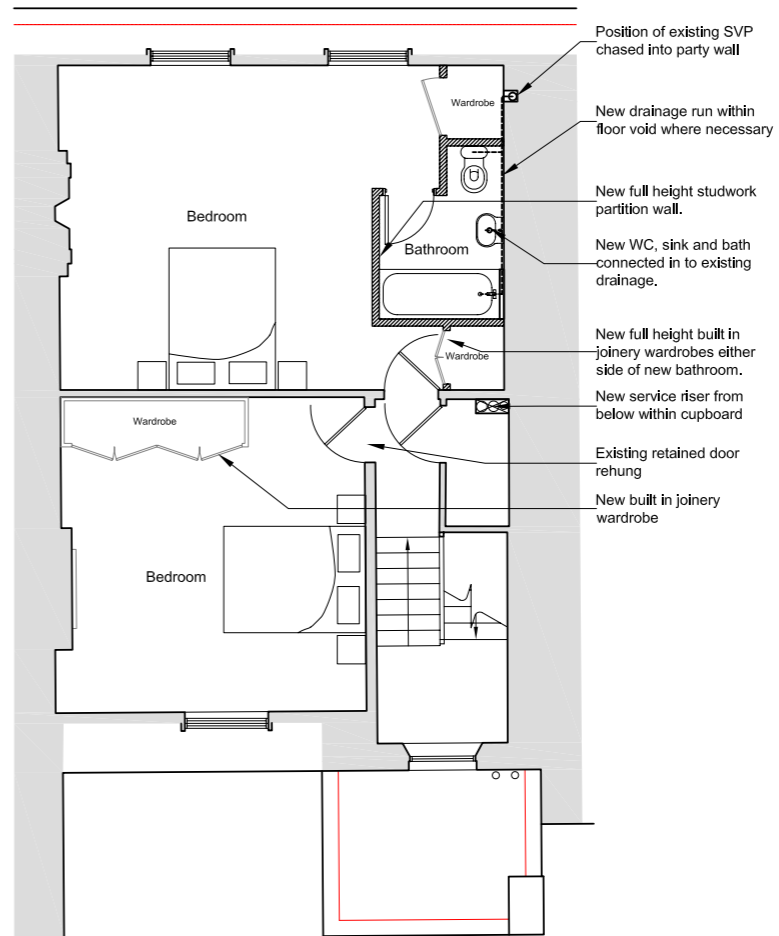
- 5.0 Chimney pieces**
 5.1 Existing original chimney pieces and grates will be retained and refurbished throughout.



01 (01)601 First Floor Plan As Proposed



02 (01)601 Second Floor Plan As Proposed



03 (01)601 Third Floor Plan As Proposed



C	28/10/2011	Issued for Listed Building Consent
B	05/10/2011	Issued for Listed Building Consent
A	23/09/2011	Issued for Comment
REV	ISSUE DATE	REVISION NOTES

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STATUS **PRELIMINARY**

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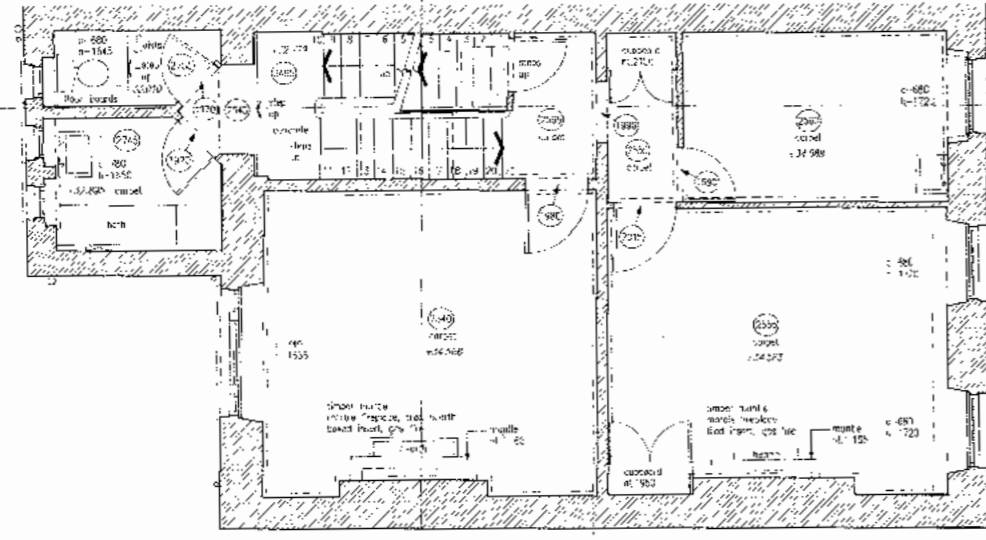


CLIENT
 The Bedford Estates

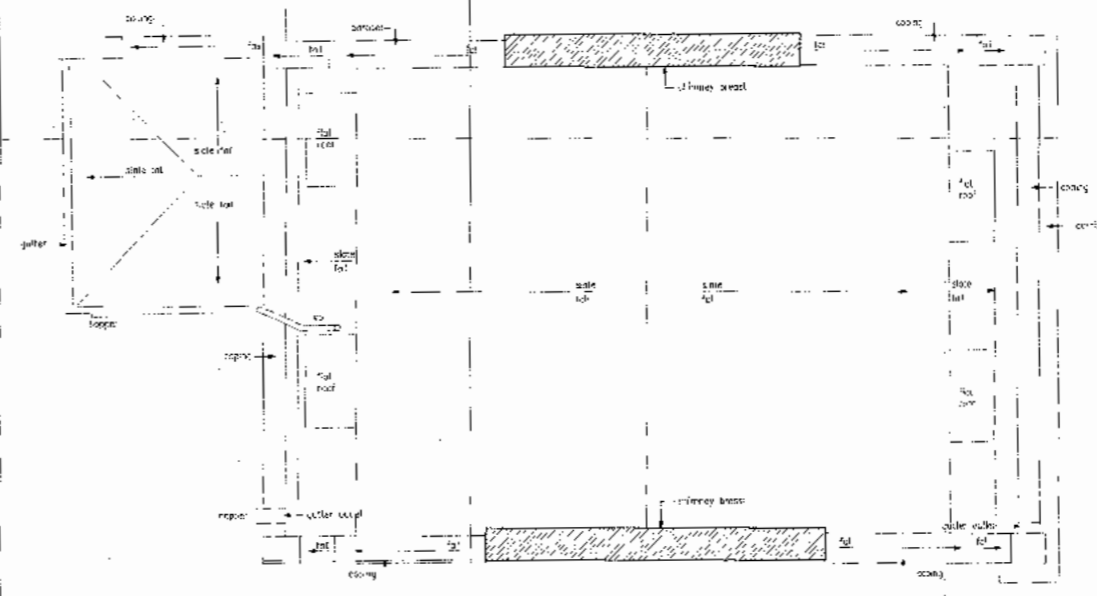
PROJECT
 33 Gower Street
 London WC1

DRAWING TITLE
 GA Plans
 As Proposed

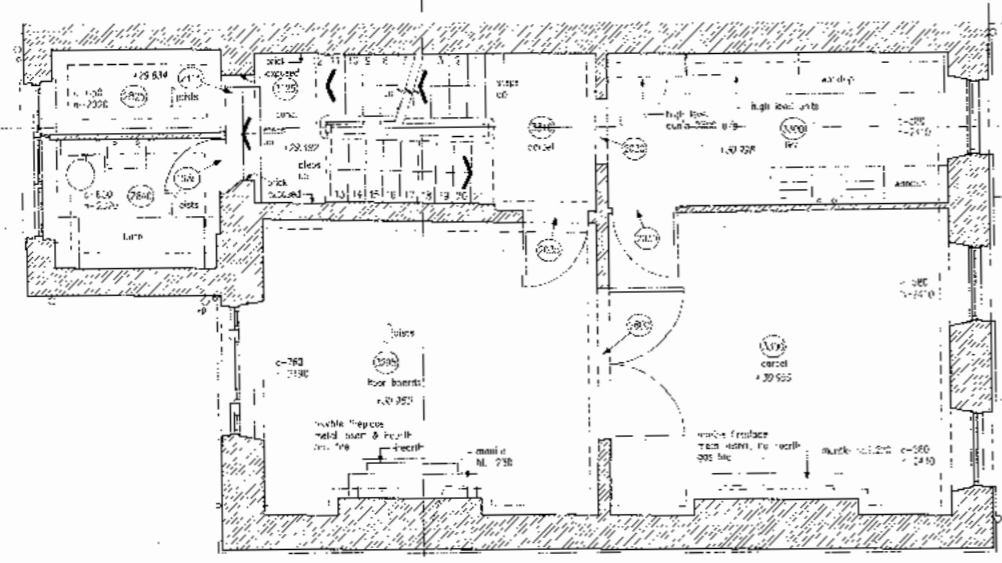
SCALE	DATE
1:50 @ A1 1:100 @ A3	September '11
JOB NO.	DWG NO.
753	(01)601
	REV.
	C



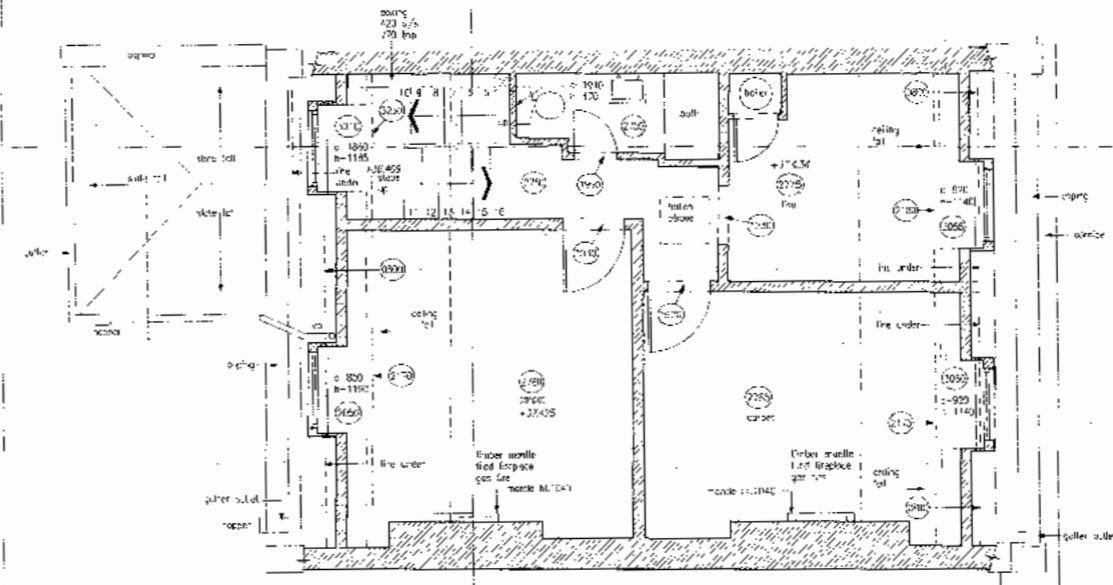
SECOND FLOOR PLAN



ROOF PLAN



FIRST FLOOR PLAN



THIRD FLOOR PLAN

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REVISIONS



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Title 1st, 2nd, 3rd & Roof Plans
 - As Existing

Project 51 GOWER STREET
 LONDON WC1

Client THE BEDFORD ESTATES

Scale	Box	Drawn By
1:50	NOV 2000	
Job Number	Drawn/Checked	Revised
358	SY02	



KEY

D.LG.--	Greyed out	Deleted door
D.LG.--	Standard text	Refurbished door
D.LG.--	Bold	New door

NOTES

New glazing below 1500mm to be toughened/impact resistant
All ironmongery to be replaced

FLOOR	NUMBER	LOCATION	DRAWING REF	EXISTING	PROPOSED	FIRE RATING	COMMENTS
LGF	D.LG.01	Bathroom	275.59.100	Timber,4 panel door			
	D.LG.02	Bathroom	275.59.100	Timber,flat panel door			
	D.LG.03	R.LG.02 Bedroom	275.59.200	Timber; 4 panel door	-	FD30S	existing door to be upgraded to achieve required fire rating
	D.LG.04	Storage	275.59.100	Timber,flat panel door			
	D.LG.05	Storage	275.59.100	Timber,flat panel door			
	D.LG.06	R.LG.01 Hallway	275.59.200	Timber; 4 panel door	-	FD30S	existing door to be upgraded to achieve required fire rating
	D.LG.07	Storage	275.59.100	Multiple panel door with glazing			
	D.LG.08	Vault	275.59.100	Multiple panel door with glazing			
	D.LG.09	R.LG.11 Boiler Room	275.59.200	Matchboard door painted black	-	FD30S	door to boiler room- to be fire upgraded
	D.LG.10	R.LG.12 Storage	275.59.200	Matchboard door painted black	-	-	
	D.LG.11	R.LG.04 Bathroom	275.59.200	-	Timber; 4 panels;	-	
	D.LG.12	R.LG.10 Utility	275.59.200	-	Timber; 4 panels; external	-	with glazing
	D.LG.13	R.LG.04 Bathroom	275.59.200	-	Timber, 4 panels	-	
	D.LG.14	R.LG.01 Hallway	275.59.200	-	Timber, 4 panels	FD30S	
	D.LG.15	R.LG.01 Hallway	275.59.200	-	Timber, 4 panel, double door	-	
	D.LG.16	R.LG.09 Shower	275.59.200	-	Sliding door	-	
	D.LG.17	R.LG.08 Study	275.59.200	-	Timber, 4 panels	-	
	D.LG.18	R.LG.07 Shower	275.59.200	-	Sliding door	-	
	D.LG.19	R.LG.05 Bedroom	275.59.200	-	Timber, glazed door, external	-	
	D.LG.20	R.LG.02 Bedroom	275.59.200	-	Timber, glazed door, external	-	
GF	D.G.01	R.G.01 Entrance Hallway	275.59.201	Timber; 6 panels,external	-	-	
	D.G.02	R.G.01 Entrance Hallway	275.59.201	Timber; 6 panel door	-	FD30S	existing door to be upgraded to achieve required fire rating
	D.G.03	Hall	275.59.101	Timber, 3 panel, double door			
	D.G.05	Hallway	275.59.101				
	D.G.06	Cloak	275.59.101				
	D.G.07	Cloak	275.59.101	Multiple panel door with glazing			
	D.G.08	Cloak	275.59.101				
	D.G.09	R.G.03 Living Room	275.59.201	-	Timber; 6 panel door	FD30S	
	D.G.10	R.G.04 Dining	275.59.201	-	Timber; 6 panel door	FD30S	
	D.G.11	R.G.04 Dining	275.59.201	-	Timber; 3 panel double door	-	
	D.G.12	R.G.02 Hall	275.59.201	Timber; 4 panel door	-	FD30S	existing door to be upgraded to achieve required fire rating
	D.G.13	R.G.06 WC	275.59.201	-	Timber; 6 panel door	-	
	D.G.14	R.G.07 Kitchen	275.59.201	-	Timber; 3 panel double door	-	
	D.G.15	R.G.07 Kitchen	275.59.201	-	Glass sliding door	-	
	1F	D.F.01	R.F.03 Bathroom	275.59.202	Timber, 4 panel door with glazing	-	FD30S
D.F.02		Stair 2/3	275.59.102	Timber, 6 panel door			
D.F.03		Hallway	275.59.102	Timber, 4 panel door			
D.F.04		Hallway	275.59.102	Timber, 4 panel door			
D.F.05		Hallway	275.59.102	Timber, 4 panel door			
D.F.06		Stair 3/Flat 2 entrance	275.59.202	-	Timber; 6 panel door	FD30S	
D.F.07		R.F.03 Living/Dining	275.59.202	-	Timber; 3 panel, double door	-	

	D.F.08	R.F.03 Bathroom	275.59.202	-	Sliding door	-	
	D.F.09	Flat 3 Entrance	275.59.202	-	Timber; 6 panels	FD30S	
	D.F.10	R.F.02 Kitchen	275.59.202	-	Sliding door	FD30S	
	D.F.11	R.F.01 Hall	275.59.202	-	Sliding door	FD30S	
	D.F.12	R.F.02 Kitchen	275.59.202	-	Sliding door	-	
	D.F.13	Storage	275.59.102	Timber, 2 panel, double door			
	D.F.14	Storage	275.59.102	Timber, 2 panel, double door			
<hr/>							
2F	D.S.01	R.S.05 Utility	275.59.203	Timber, 4 panel door with glazing	-	FD30S	existing door to be upgraded to achieve required fire rating
	D.S.02	Stair 3	275.59.203	Timber, 6 panel door	-	FD30S	existing door to be upgraded to achieve required fire rating
	D.S.03	Hallway					
	D.S.04	Bedroom					
	D.S.05	R.S.03 Dining/Living	275.59.203	-	Timber, 3 panel double door	-	
	D.S.06	R.S.06 Shower	275.59.203	-	Sliding door	-	
	D.S.07	R.S.04 Bedroom	275.59.203	-	Timber, 6 panel	FD30S	
	D.S.08	Storage					
	D.S.09	Storage					
	D.S.10	Storage					
<hr/>							
3F	D.T.01	Stair 4	275.59.104	Timber, 6 panel door			
	D.T.02	Kitchen	275.59.104	Timber, 4 panel door			
	D.T.03	Bedroom	275.59.104	Timber, 4 panel door			
	D.T.04	Bedroom	275.59.104	Timber, 4 panel door			
	D.T.05	Bathroom	275.59.104	Timber, 4 panel door			
	D.T.06	R.T.05 Shower	275.59.204	-	Sliding door	-	
	D.T.07	R.T.02 Bedroom	275.59.204	-	Timber; 6 panels	FD30S	
	D.T.08	R.T.04 Bedroom	275.59.204	-	Timber; 6 panels	FD30S	
	D.T.09	R.T.03 Bathroom	275.59.204	-	Timber; 6 panels	-	
	D.T.10	Storage	275.59.104	Timber, 2 panel, double door			Remove cupboards above
	D.T.11	Storage	275.59.104	Timber, 2 panel, double door			Remove cupboards above
	D.T.12	Storage	275.59.105	Timber, 2 panel, double door			Remove cupboards above

KEY

W.LG.--	Greyed out	Deleted window
W.LG.--	Standard text	Refurbished window
W.LG.--	Bold	New window

NOTES

All new glazing under 800mm to be toughened/impact resistant

All ironmongery to be replaced

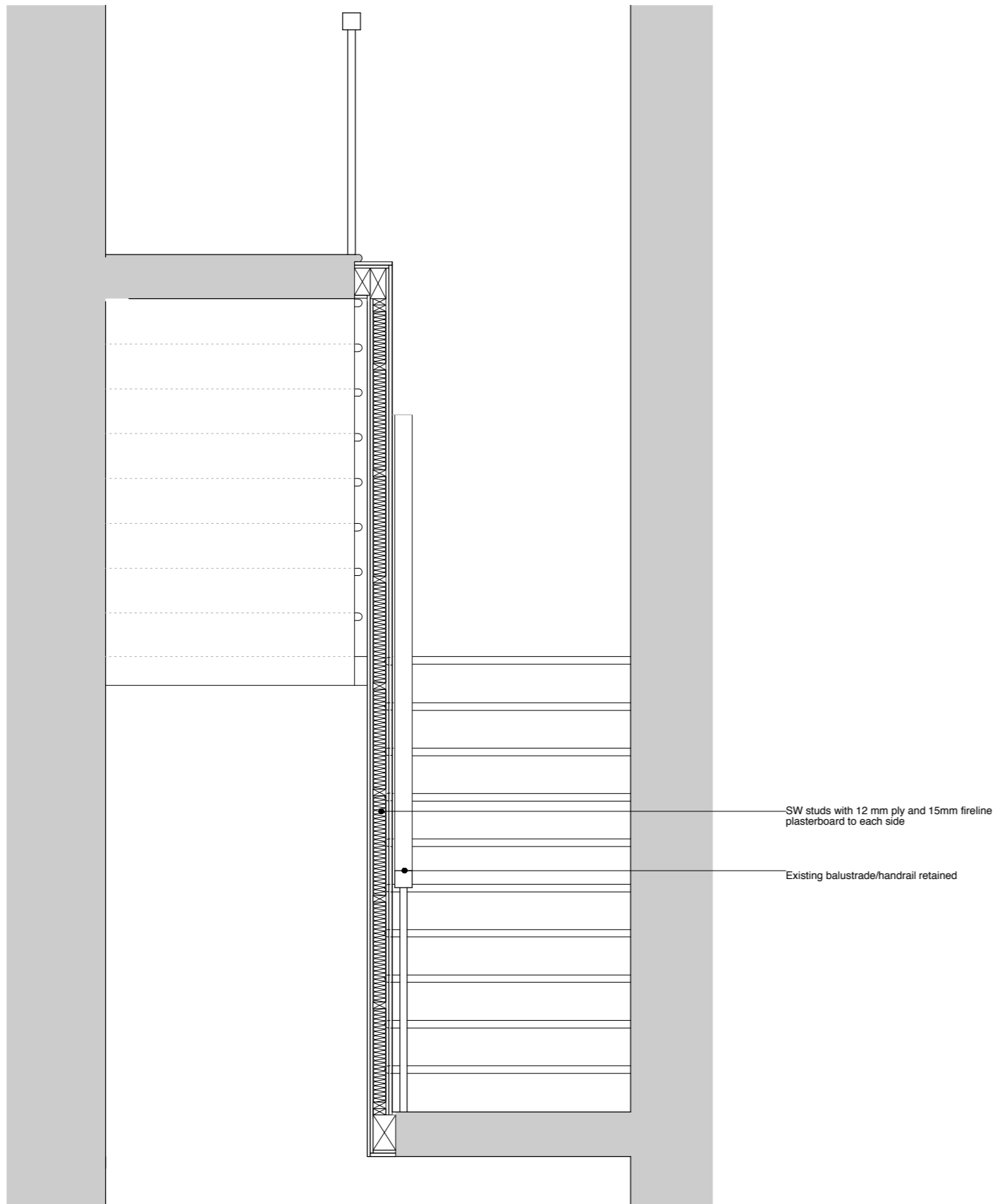
FLOOR NUMBER	LOCATION	DRAWING REF	EXISTING	PROPOSED	INTERNAL CILL	EXTERNAL CILL	INTERNAL SHUTTERS	PANELLING UNDER	SECURITY BARS	EXTERNAL RAILINGS	COMMENTS
LGF	W.LG.01	R.LG.03 Bedroom	275.59.200	Timber 6 over 6 sash	-	refurbish	refurbish	-	-	-	
	W.LG.02	R.LG.03 Bedroom	275.59.200	Timber 6 over 6 sash	-	refurbish	refurbish	-	-	-	
	W.LG.03	Bathroom	275.59.100								
	W.LG.04	Bedroom	275.59.100								
	W.LG.05	R.LG.08 Study	275.59.200	-	Timber 6 over 6 sash	to match existing to match existing	-	-	-	-	1 over 1 sash wing on each side
GF	W.G.01	R.G.03 Living Room	275.59.201	Timber 4 over 4 sash	-	refurbish	concrete; refurbish	refurbish	refurbish	-	refurbish
	W.G.02	R.G.03 Living Room	275.59.201	Timber 4 over 4 sash	-	refurbish	concrete; refurbish	refurbish	refurbish	-	refurbish
	W.G.03	R.G.04 Dining	275.59.201	Timber 4 over 4 sash	-	refurbish	concrete; refurbish	refurbish	refurbish	-	1 over 1 sash wing on each side
	W.G.04	Cloak	275.59.101	Timber 4 over 4 sash							
	W.G.05	Cloak	275.59.101	Timber 4 over 4 sash							
	W.G.06	R.G.07 Kitchen	275.59.201	-	Fixed glass panel	-	-	-	-	-	
1F	W.F.01	R.F.03 Living/Dining	275.59.202	Timber 4 over 4 sash	-	-	concrete; refurbish	refurbish	refurbish	-	refurbish
	W.F.02	R.F.03 Living/Dining	275.59.202	Timber 4 over 4 sash	-	-	concrete; refurbish	refurbish	refurbish	-	refurbish
	W.F.03	R.F.02 Kitchen	275.59.202	Timber 4 over 4 sash	-	-	concrete; refurbish	refurbish	refurbish	-	refurbish
	W.F.04	R.F.04 Bedroom	275.59.202	Timber 4 over 4 sash	-	-	concrete; refurbish	refurbish	refurbish	remove	1 over 1 sash wing on each side
	W.F.05	R.F.05 Bathroom	275.59.202	6 lights casement	-	-	concrete; refurbish	-	-	-	vent fan to be removed - glazing replaced
2F	W.S.01	R.S.03 Living/Dining	275.59.203	Timber 4 over 4 sash	-	-	concrete; refurbish	-	-	-	refurbish
	W.S.02	R.S.03 Living/Dining	275.59.203	Timber 4 over 4 sash	-	-	concrete; refurbish	-	-	-	refurbish
	W.S.03	R.S.02 Kitchen	275.59.203	Timber 4 over 4 sash	-	-	concrete; refurbish	-	-	-	refurbish
	W.S.04	R.S.04 Bedroom	275.59.203	Timber 4 over 4 sash	-	-	concrete; refurbish	-	-	-	1 over 1 sash wing on each side
	W.S.05	R.S.06 Shower	275.59.203	Timber 1 over 1 sash	-	-	concrete; refurbish	-	-	-	
	W.S.06	R.S.05 Utility	275.59.203	Timber 1 over 1 sash	-	-	concrete; refurbish	-	-	-	
	W.S.07	R.S.05 Utility	275.59.203	Timber 1 over 1 sash	-	-	concrete; refurbish	-	-	-	
3F	W.T.01	R.T.02 Bedroom	275.59.204	Timber 3 over 3 sash	-		refurbish+ paint	-	-	-	Dormer window
	W.T.02	R.T.03 Bathroom	275.59.204	Timber 3 over 3 sash	-		refurbish+ paint	-	-	-	Dormer window
	W.T.03	R.T.04 Bedroom	275.59.204	Timber 3 over 3 sash	-		refurbish+ paint	-	-	-	Dormer window
	W.T.04	R.T.04 Bedroom	275.59.204	Timber 4 over 4 sash	-		refurbish+ paint	-	-	-	Dormer window
	W.T.05	Stair 4	275.59.204	Timber 3 over 3 sash	-		refurbish+ paint	-	-	-	
RF	W.R.01	R.T.05 Shower	275.59.205	-	Skylight	-	-	-	-	-	

KEY

F.LG.--	Greyed out	Deleted fireplace
F.LG.--	Standard text	Refurbished fireplace
F.LG.--	Bold	New fireplace

NOTES

FLOOR	NUMBER	LOCATION	DRAWING REF	EXISTING	PROPOSED	COMMENTS
LGF	F.G.01	R.LG.02 Bedroom	275.59.200	Fireplace boxed out	-	Open up fireplace. If original surround in place-to be refurbished
	F.G.02	R.LG.03 Bedroom	275.59.200	Fireplace boxed out	-	Open up fireplace. If original surround in place-to be refurbished
GF	F.G.01	R.G.04 Dining	275.59.201	Fireplace removed	New fire surround to match existing	Reinstate fireplace
	F.G.02	R.G.03 Living Room	275.59.201	Fireplace removed	New fire surround to match existing	Reinstate fireplace. Chimney breast has been heavily damaged and will require repairs
1F	F.F.01	R.F.02 Bedroom	275.59.202	Fireplace boxed out	-	Open up fireplace. If original surround in place-to be refurbished
	F.F.02	R.F.03 Dining/Living	275.59.202	Fireplace boxed out	-	Open up fireplace. If original surround in place-to be refurbished
2F	F.S.01	R.S.04 Bedroom	275.59.203	to be investigated	-	Open up fireplace. If original surround in place-to be refurbished
	F.S.02	R.S.03 Dining/Living	275.59.203	to be investigated	-	Open up fireplace. If original surround in place-to be refurbished
3F	F.T.01	R.T.04 Bedroom	275.59.204	Fireplace removed	New fire surround to match existing	Reinstate fireplace
	F.T.02	R.T.02 Bedroom	275.59.204	Fireplace removed	New fire surround to match existing	Reinstate fireplace



Section G-G: new stud wall detail. Existing balustrade to be retained. 1:20

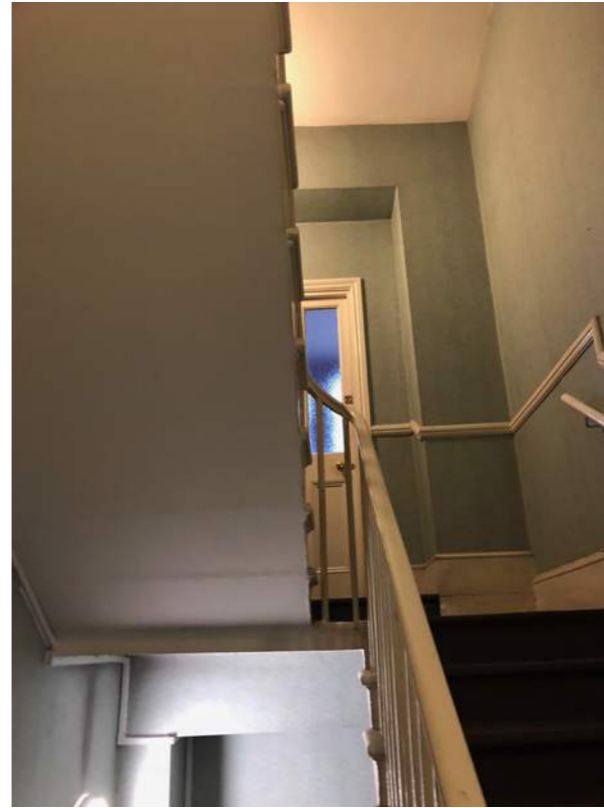


Photo 1

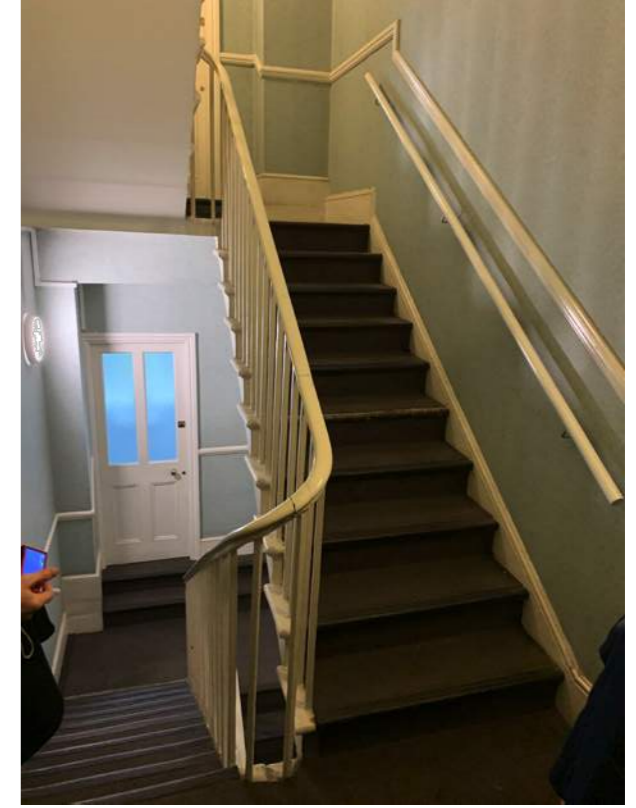
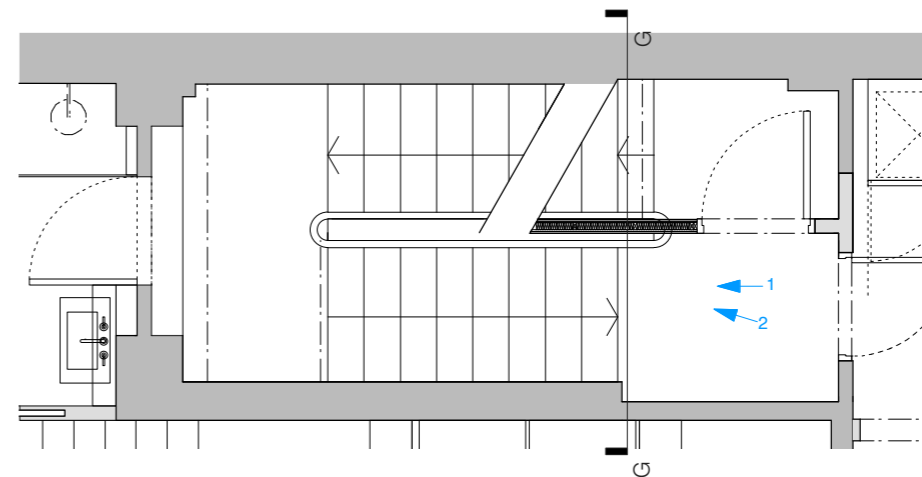


Photo 2



1F Proposed Plan 1:50

Existing

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1:20/50@A3

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Planning

date

Sept 2018

revision

project

59 Gower Street, London,
WC1E 6HJ

client

The Bedford Estates

drawing title
Communal staircase
subdivision

drawing no.

275.59-502

