



**New Mansard Roof Extension to create 2 self-contained Flats to  
40-42 Mill Lane, London NW6 1NR**

Design & Access Statement  
Feb 2019

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# Introduction

This report has been written in support of the full planning application to London Borough of Camden for replacing the existing approved pitch/flat roof with a new mansard roof; and using the loft space to create 1x1-bed flat and 1x studio flat at 40-42 Mill Lane, London NW6 1NR.

This document provides a summary of the design, analysing the site and explaining the context to which the extension of the design has responded.

The existing building of 40-42 Mill Lane, known as 'The Alliance' is under construction with planning approval ref: 2016/2611/P, 2018/0072/P & 2018/5929/P for converting the ancillary accommodation at 1/F and 2/F into 3 x 1-bed and 2x 2-bed flats.

The proposed scheme will provide 2 additional residential units in this brownfield site with the restoration of the main pediment; one of the key original architectural features to this building.

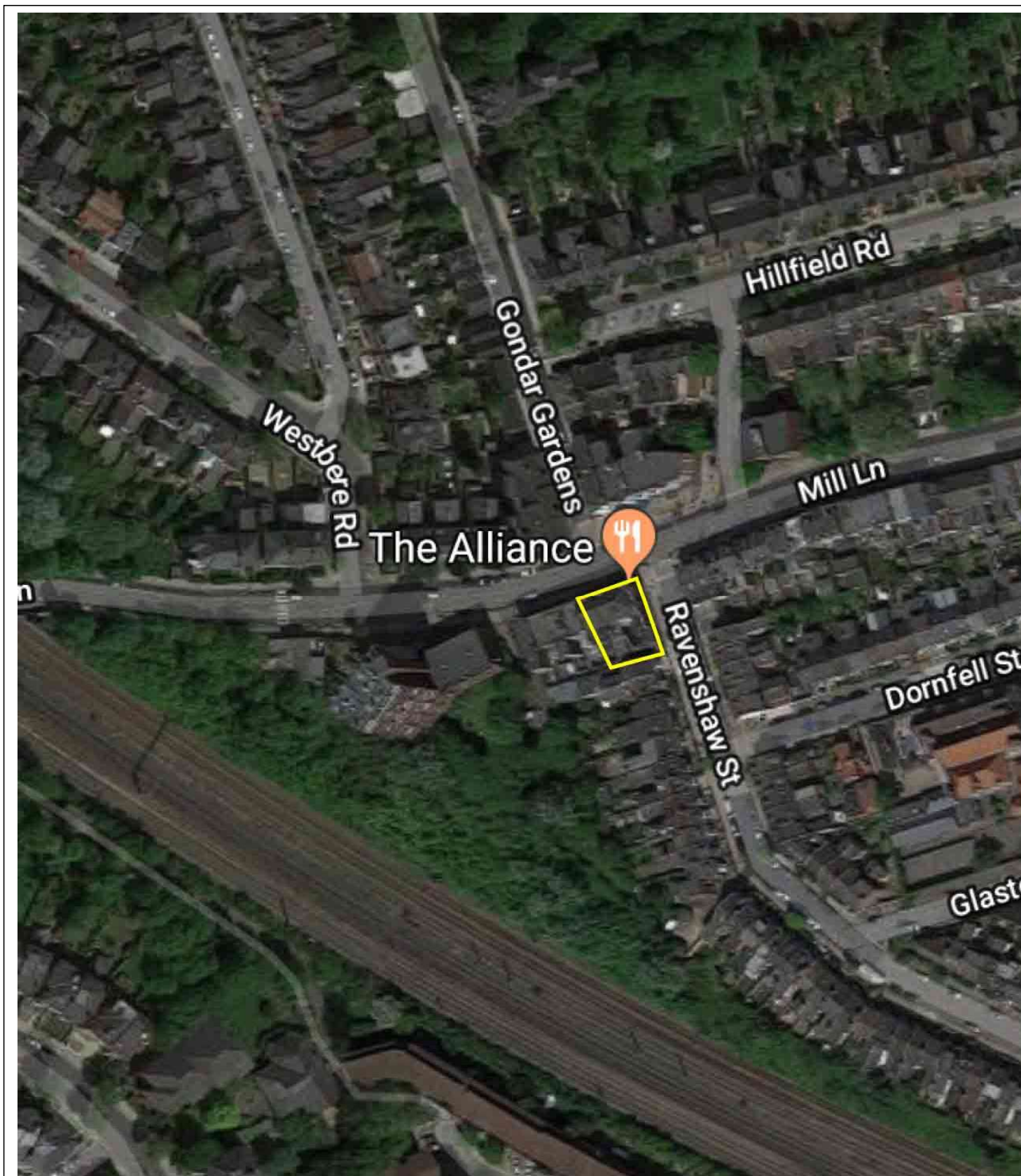
1.0 Site

Site

Site Photos

Site Analysis





Aerial Photography

## Site

- The application site is located at the junction of Mill Lane and Ravenshaw Street. The property is a 3-storey public house building including lower ground floor with street level access at the rear of the site to Ravenshaw Street.
- The property is now under construction for converting the ancillary accommodation at 1<sup>st</sup> & 2<sup>nd</sup> to create 3 x 1-bed and 2 x 2-bed flats. The construction works are according to the approval scheme ref:2016/266/P, 2018/0072/P & 2018/5929/P.

### • Planning History

#### **2016/2661/P**

##### Full Planning Permission Granted

*Convert ancillary accommodation to existing Class A4 use at 1<sup>st</sup> & 2<sup>nd</sup> floors to create 3 x 1-bed and 2 x 2-bed flats with roof and second floor rear extension, associated alterations and retain existing public house (Use Class A4) at basement and ground floors.*

#### **2018/0072/P**

##### Approval of Details Granted

*Details pursuant to conditions 4 and 5 (enhanced sound insulation), 6 (Photovoltaic cells, 7 (Cycle storage) and 9 (Waste storage) of planning permission ref: 2016/266/P for the conversion of 1<sup>st</sup> and 2<sup>nd</sup> floors to 5 flats.*

#### **2018/1515/P**

##### Full Planning Permission Refused

*Conversion of ancillary accommodation to existing Class A4 use at 1<sup>st</sup> & 2<sup>nd</sup> floors, mansard roof extension, first and second floor rear extension to create 7 flats (5 x 2 bed, 1 x 1 bed and 1 x studio), associated alterations (including cycle and refuse/recycle storage at lower ground floor level accessed from Ravenshaw Street and new entrance to residential accommodation from upper ground floor level on Mill Lane frontage); retention of existing public house (Use Class A4) at upper and lower ground floors*

#### **2018/1516/P**

##### Full Planning Permission Refused

*Conversion of ancillary accommodation to existing Class A4 use at 1<sup>st</sup> & 2<sup>nd</sup> floors, mansard roof extension, first and second floor rear extension to create 7 flats (4 x 2 bed, 1 x 1 bed and 2 x studio), associated alterations (including cycle and refuse/recycle storage at lower ground floor level accessed from Ravenshaw Street and new entrance to residential accommodation from upper ground floor level on Mill Lane frontage); retention of existing public house (Use Class A4) at upper and lower ground floors*

#### **2018/5929/P**

##### Grant of Non-Material Amendments to planning permission

*Amendments (changes to internal layout, roof details, installation of rear opening vent, changes to brick lintel to the rear and retention of existing window openings) to approved planning permission (2016/2661/P0 dated 16/12/2016 for the conversion of ancillary accommodation to existing Class A4 use at 1<sup>st</sup> & 2<sup>nd</sup> floors to create 3 x 1-bed and 2 x 2-bed flats with roof and second floor rear extension, associated alterations and retain existing public house (Use Class A4) at basement and ground floors.*



## Site Photos

- Images 1 and 3 illustrate the principle approaches to the site at Mill Lane; photos taken in Dec 2018
- Images 2 view from Gondar Gardens
- Image 4 illustrate the principle approaches to the site at Ravenshaw Street.



Image 2



Image 3



Image 1

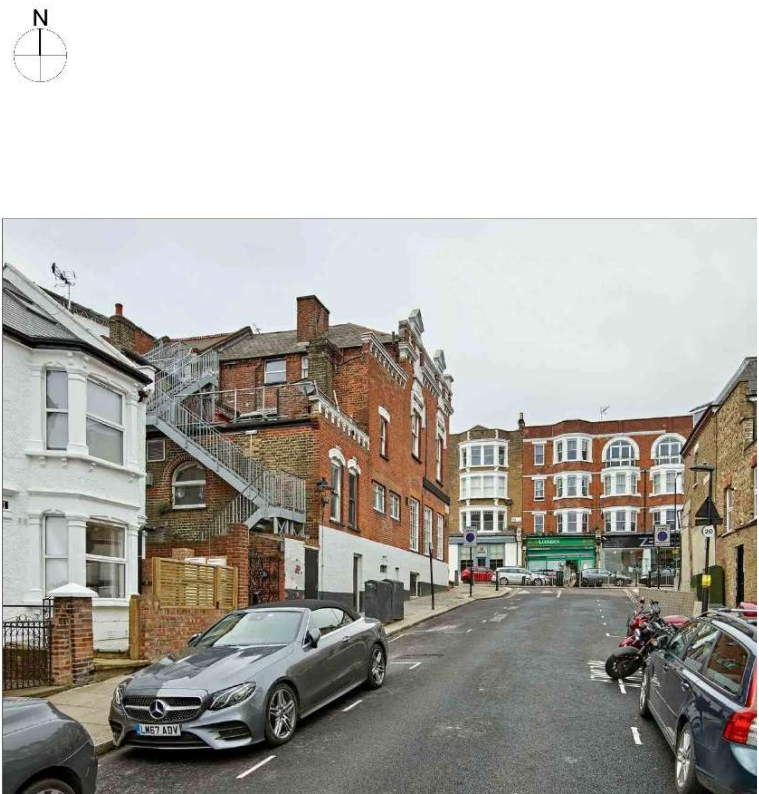


Image 4



## Site Analysis

- The application site is not within the vicinity of a statutory or locally listed building, nor is it within a conservation area.
- Measuring approximately 298 sq. m in area, the site accommodated a single building with 3-storey frontage at the Mill Lane. As Ravenshaw Street is sloping downhill, an entrance at the rear of site provides a level entrance to the lower ground floor.

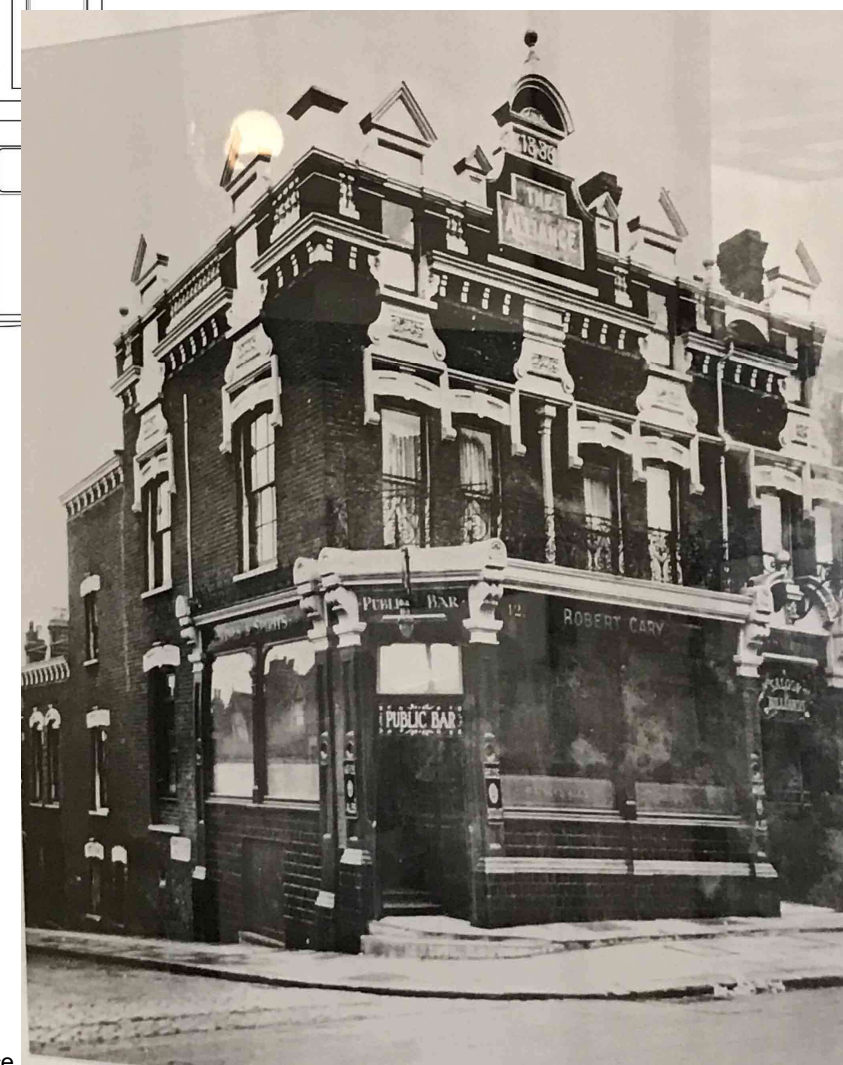


Existing Front Elevation at Mill Lane



Approved Proposed Front Elevation at Mill Lane  
Ref: 2016/2661/P

- **Approved Mill Lane Elevation**  
Four pediments are missing at the existing Mill Lane elevation. Therefore, the approved scheme ref: 2016/2661/P approved to restore with matching pediment appears at the Ravenshaw Street elevation. However, one of the existing pediment bases appears different from the other three. According to the approved proposed elevation, this original base will be required to be cut out to form a new opening for the formation of the new pediment with new window. After the search of the local information, an undated photograph (below) found. The unusual base is part of a very different pediment.



Undated Photo of The Alliance

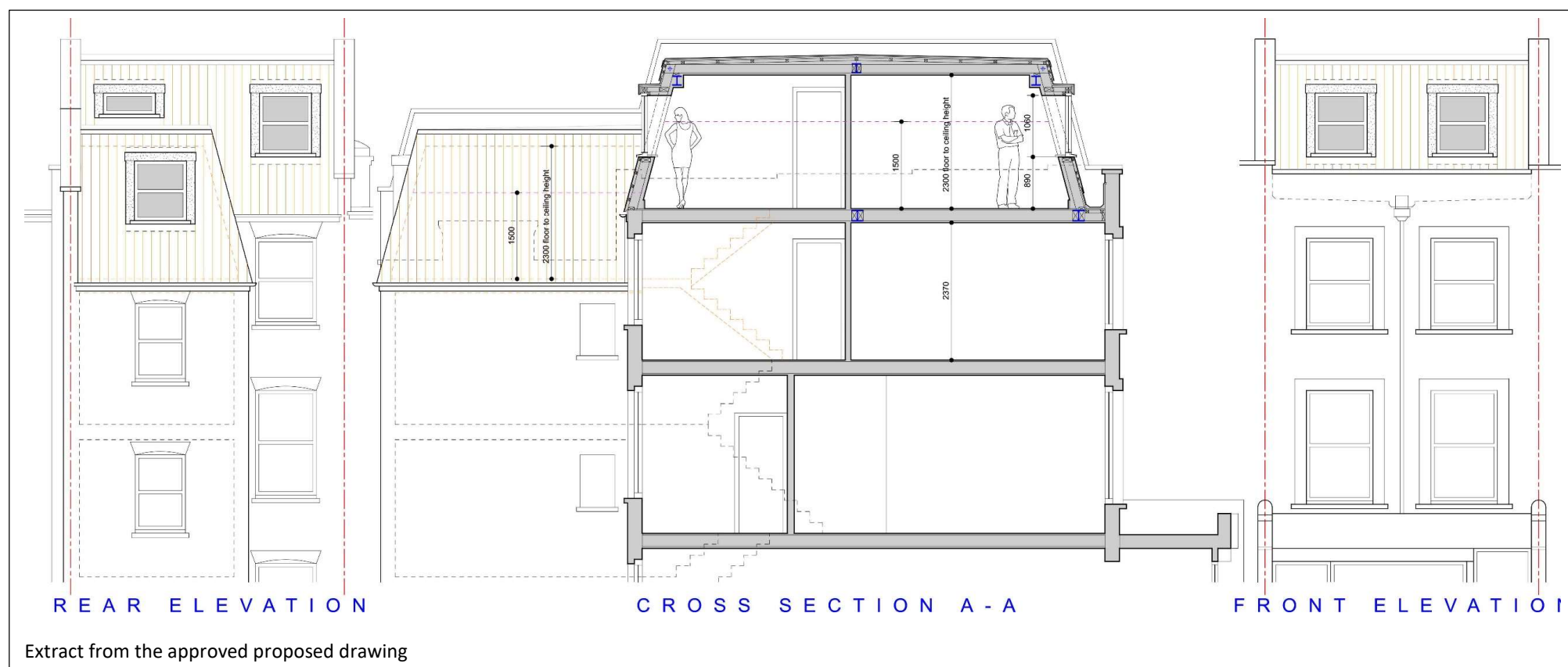
## Site Analysis

- **Neighbouring Buildings**

**36 Mill Lane, ref: 2018/2313/P**

Full Planning Permission Granted Subject to a Section 106 Legal Agreement  
*Erection of mansard roof extensions to existing 2<sup>nd</sup> floor flat and conversion into 2 x 1-bed flats (C3).*

Currently, the proposed works are under construction.





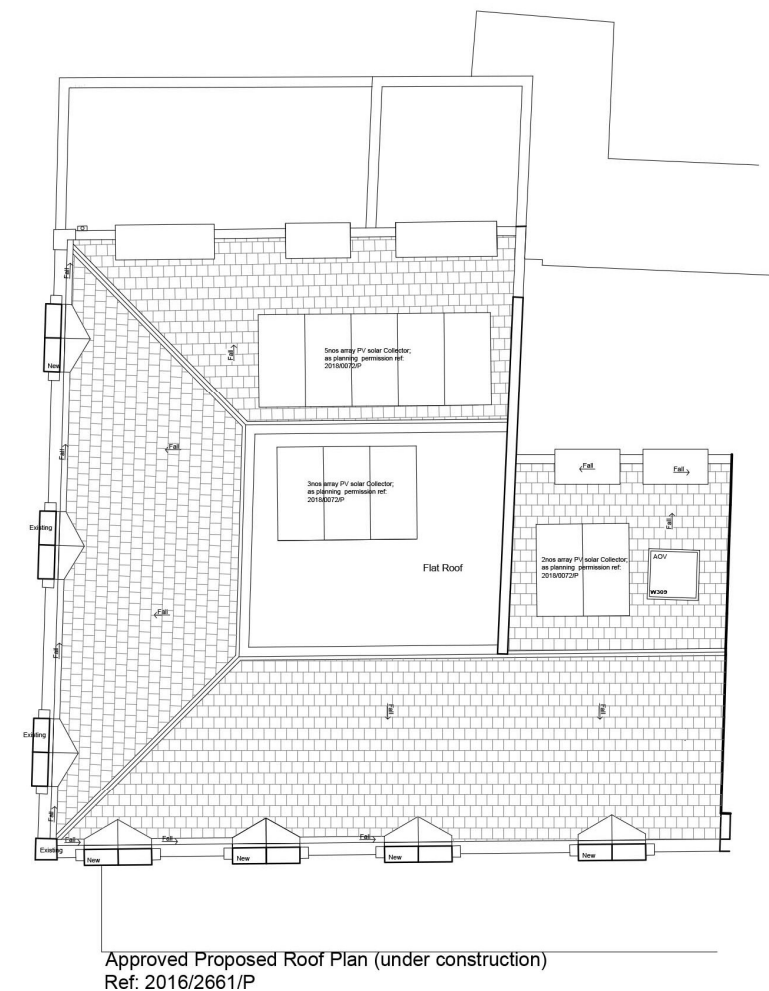
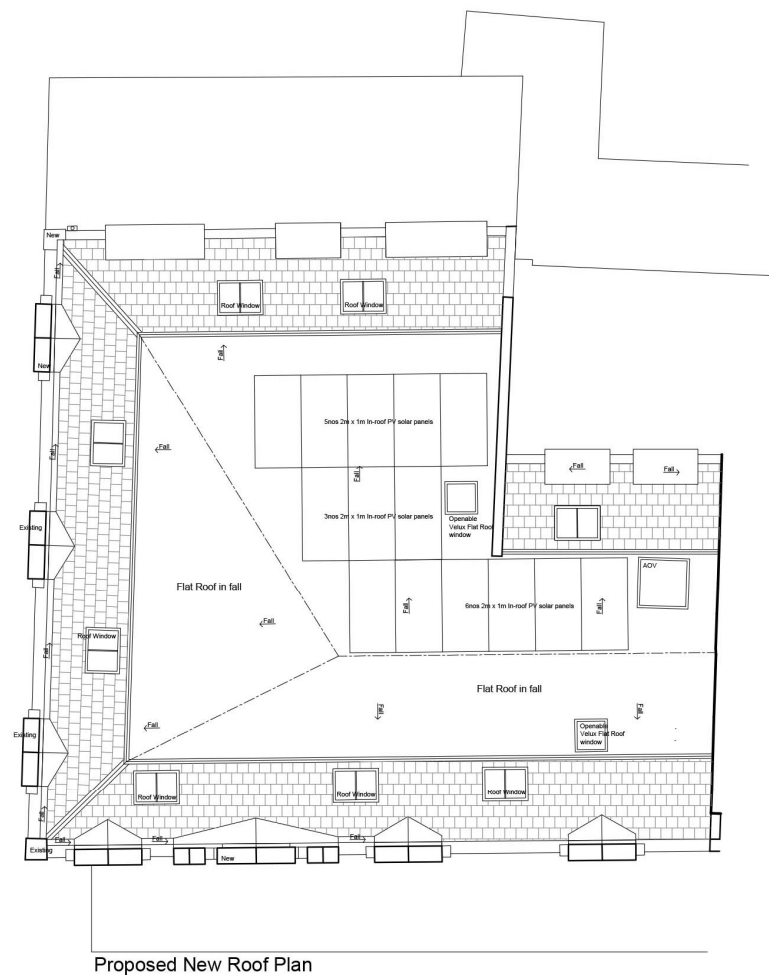
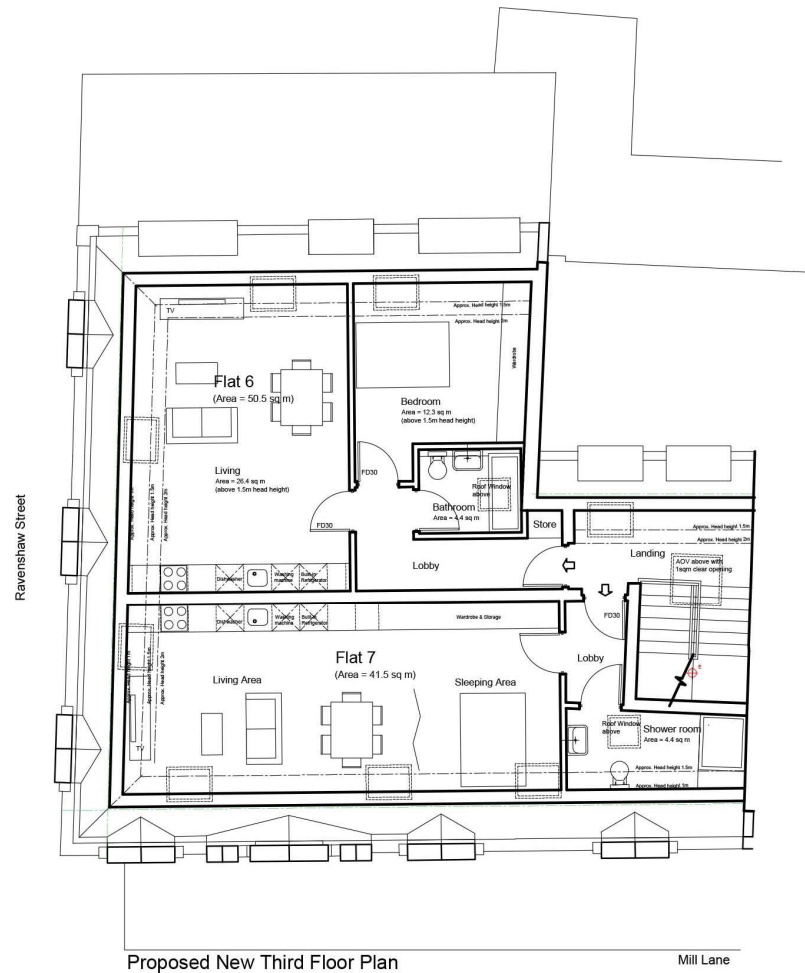
## 2.0 Proposal

Proposed Mansard Roof

Mill Lane Elevation

Ravenshaw Street Elevation

Rear Elevation



## Proposed Mansard Roof

- The design of the proposed scheme is based on the finding to the undated photo of the original building and to intensify the development of this brownfield site.
- The proposal**
  - for replacing the existing approved part pitch and part flat roof with a new mansard roof; and using the loft space to create 2nos new self-contained flats, consisting 1x1-bed flat (GIA 50.5 sqm) and 1x studio flat (GIA 41.5 sqm).
  - for restoring the key pediment at Mill Lane facade; to match with the details from the undated photo of the original building.
- Proposed Layout Plans**

The new proposed roof extension has been designed base on the building footprint at the second floor of the approved scheme of 2016/2661/P. There is no further rear extension from the approved scheme. There is no change to the mass of the main building as the approved scheme.

The new proposed mansard roof will accommodate 1 x 1-bed flat and 1x studio flat; which are complied with the London Plan standard. The proposed mansard roof will increase the overall height of the approved scheme by 100mm.

The new proposed mansard roof will be covered with natural slate tiles together with 8 new conservation roof windows. The proposed PV solar panels will be laid on the new flat roof instead of the rear pitch roof; therefore, those PV solar panels will not be seen from the public street.



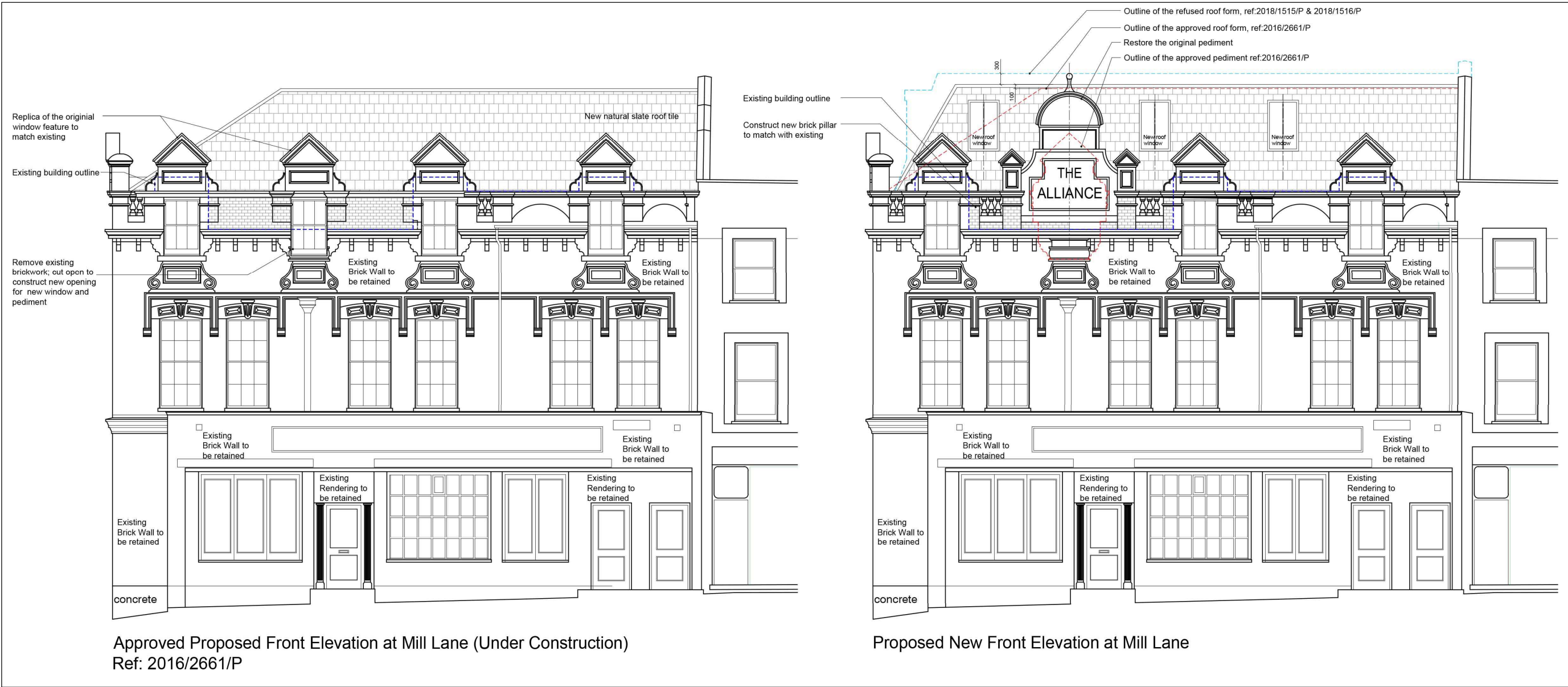
# Design

- **Mill Lane Elevation**

Two planning applications (ref: 2018/1515/P and 2018/1516/P) were refused. Both design proposals would 'appear as an incongruous and excessively prominent addition to the building.' After those refusals, an informal meeting and consultations between the client and the planning officers was taken place about the design of roof extensions.

Compare with both refusal schemes, those proposed dormer windows have been removed; and the overall height of the proposed building has been reduced by 300mm. The overall height of the new proposed mansard roof will be just 100mm higher than the approved scheme.

The proposed work is also including the restoration of the original key pediment instead of the formation of the window/pediment feature as the approved scheme at the elevation parapet wall. The simple design of Mansard roof act as a backdrop / background for highlighting the restored original pediment features; see the below CGI image.







Sample of Roof Window

Artist Impression – View from Gondar Gardens





Approved Proposed Elevation at Ravenshaw Street (Under Construction)  
Ref: 2016/2661/P



Proposed New Elevation at Ravenshaw Street



Approved Proposed Rear Elevation (Under Construction)  
Ref: 2016/2661/P



Proposed New Rear Elevation

## • Ravenshaw Street Elevation

There is no change to the approved façade of the main building, except the approved pitch roof changes to the new mansard roof with two new conservation roof windows.

## • Rear Elevation

To achieve the sustainable requirements of the re-development, PV solar collectors have been required to be mounted on the approved rear pitch roof which could be seen from the Ravenshaw Street.

As the geometry of new proposed mansard roof, the new flat roof will provide sufficient space for allowing the requested PV solar collectors to be laid on the new flat roof area. As a result, the solar collectors will not be seen from the public street.

### 3.0 Scheme Evaluation



## Access

- **Accessible Facilities**
  - Both units are designed to meet Lifetime Homes Standards for future accessibility adaptations.
- **Entrances and Means of Escape**
  - The new main residential entrance is located at ground floor level and has direct access to Mill Lane.
  - There is one escape stair in the building, serving the residential units at all levels. It discharges at the ground level via the main entrance.
  - Means of escape from the pub is via the main entrance doors at the Mill Lane,
- **Access for Emergency Vehicles**
  - Access for emergency vehicles will be from both main road – Mill Lane and Ravenshaw Street.
  - Both the pub and residential entrance doors are within 45m of the fire engine in accordance with Approved Building Regulations.
- **Cycle Parking**
  - Secure cycle parking is provided at the lower ground floor.
- **Communal Stairs**
  - The incorporated communal stairs and lift design are in full accordance with the Approved Document Part M.
- **Windows**
  - Windows are generally required to be of the top hung. Thus, window controls are generally set at the base of the window within 1200mm of the finished floor level, in line with Lifetime Homes Standards.

## Secure by Design

- The key objective of the approved proposal is to create a safe and accessible environment where crime, disorder or the fear of crime does not undermine the quality of life of the residents.
- The development is envisaged as a means of enhancing the local area through a high-quality design solution that re-establishes a greater sense of neighbourly presence and territorial responsibility for the new residents.
- The scheme is intended to adopt the principles of Secured by Design. The basis of the design team's approach is to maximise natural surveillance and good sight lines.
- The entrance to the pub is next to the communal residential entrance, thereby reinforcing street-level activity at various times of the day and night.
- There are no recesses accessed directly from the street, and external lighting will be provided at the entrances.

## Lifetime Homes

- Approaches to the residential entrance will be level or gently sloping.
- The entrance will be illuminated and will have a level threshold.
- The communal staircase will have a uniform rise not exceeding 170mm and a uniform going of not less than 250mm.
- Appropriate wheelchair turning circles are incorporated into the residential unit plans.
- Windows in the principal living space will have at least one opening light that will be full height where possible, or be a maximum of 800mm from the finished floor level and easily openable from a wheelchair.
- The width of the doorways and hallways within the flats will be detailed to provide 900mm minimum corridor widths and clear doorway widths of 800mm when the approach is not head on.
- The clear opening width of the front door to each unit will be 800mm, with 300mm to the side of the leading edge.
- Within the residential units, a 1500mm-diameter turning circle is accommodated within the living / dining spaces to allow adequate circulation space for visiting wheelchair users.
- An entrance-level bathroom is proposed for both residential units, with access doors detailed to allow for easy handing as required.
- Walls in bathrooms can be reinforced between 300mm and 1500mm to facilitate later adaptations such as handrails to aid access.
- Both units provide a reasonable route for a potential hoist from a main bedroom to the bathroom should this need to be retrofitted in the future.
- All controls and socket positions will be positioned at fully accessible levels, i.e., between 450mm and 1200mm from the finished floor level.