

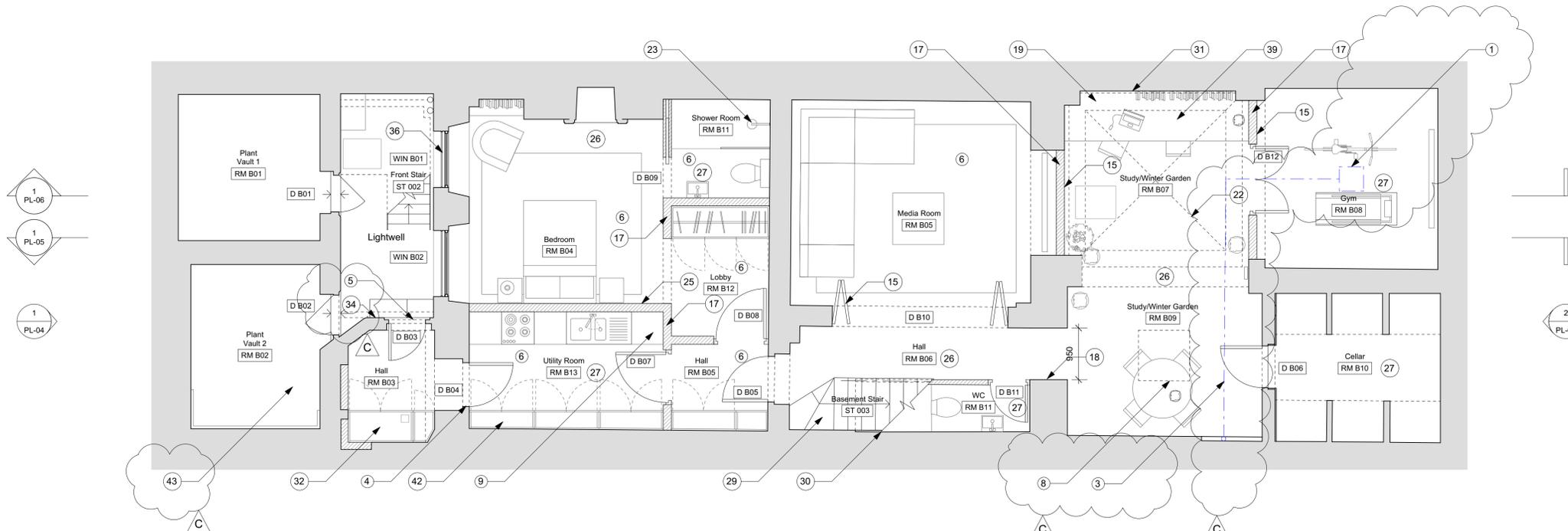
Notes

1. A.C. unit centred on non-original ceiling in gym, fitted with discrete flush white grate.
2. AC ductwork to be discretely boxed within timber lined wall and fitted bookshelves.
3. AC ductwork to run through ceiling void.
4. Carefully remove and replace existing door between existing WC and media room, and replace with painted timber door suitable to period of house.
5. Carefully remove and replace existing external door between existing WC and light well, and replace with painted hardwood door suitable to period of house.
6. Ceiling finish: plasterboard lining, with 2-3mm skim coat and paint finish
7. Double glazed door
8. Existing A.C.
9. Fitted joinery to new utility room. Associated service connections required to connect to existing below ground drainage route.
10. Flush timber door
11. Full height double glazed fixed windows in timber structure
12. Garden wall lined now within new extension to be insulated and lined
13. New coir entrance matt
14. New external stone flooring to garden terrace, or similar.
15. New folding doors to media room
16. New GF WC fittings in existing location.
17. New internal partition: timber stud partition lined in plywood and plasterboard, with 2-3mm skim coat. Paint finish.
18. New opening in wall from hall to Structural Engineer's design
19. New painted plaster soffit around rooflight
20. New PPC metal staircase and balustrade
21. New replacement walk on roof light glass
22. New roof light glass (above)
23. New sanitary ware and associated service connections required to connect to existing below ground drainage route
24. New shallow timber joinery to entrance lobby
25. New skirting in painted timber to match existing
26. New stone flooring or similar.
27. New tiled floor finish to W.C.
28. New tiled floor to hall
29. New timber floor finish to basement staircase
30. Painted plaster finish to staircase wall
31. Painted plaster wall finish
32. Painted timber fitted joinery to new entrance hall
33. Repair and redecorate existing staircase in front lightwell, and railings in paint to match existing.
34. Replace existing 3no. light fixtures to front light well with new discrete suitable external lighting
35. Replace existing 3no. light fixtures with 2no. new discrete suitable external light fixture by new stair entrance
36. Replacement painted metal security bars to media room windows
37. Rooflight above
38. Staircase including steps and balustrade to be redecorated. New carpet runner to staircase
39. Timber desk, lining and book cases to study
40. Timber lined wall
41. Timber lined wall and book shelves
42. Upgrade existing electrical distribution board
43. Vaults dry lined with damp proofing membrane

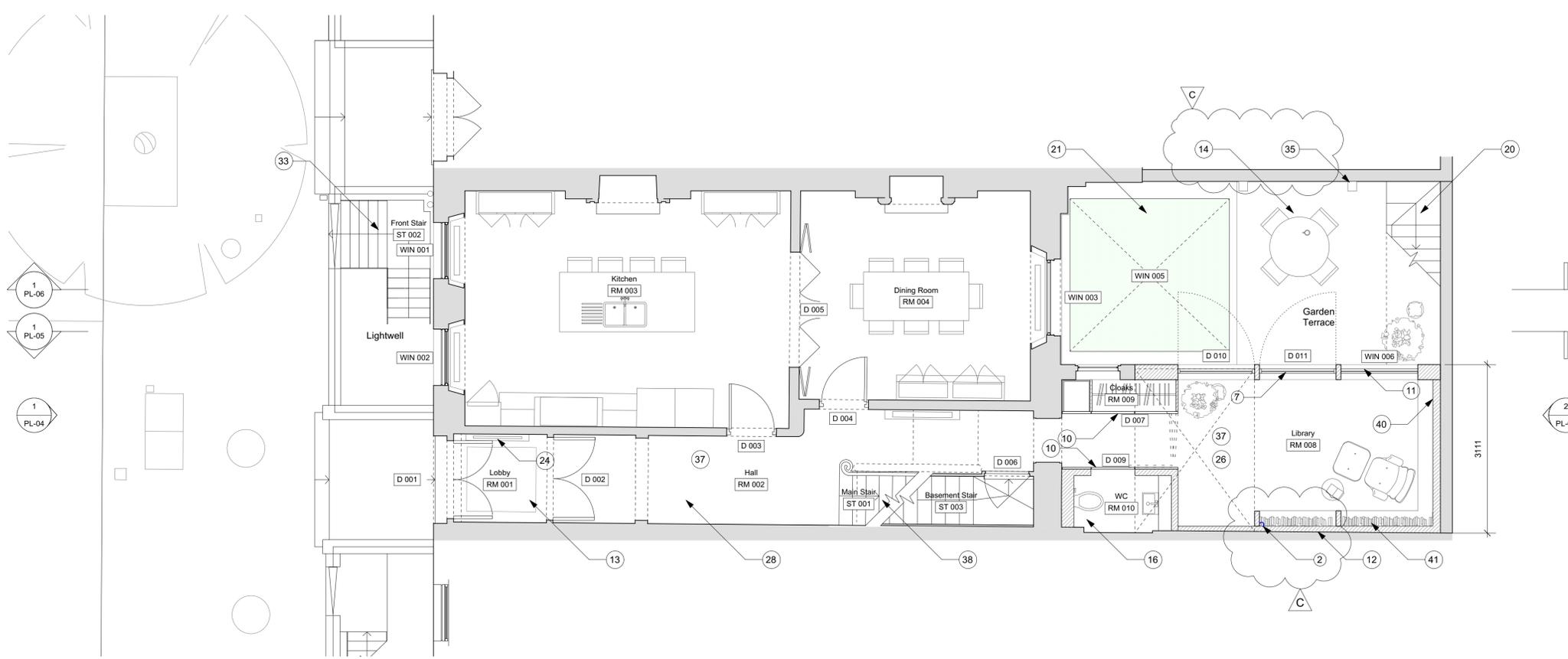
— A.C.

General Notes

- A. New openings to be created in line with Structural Engineer's design and specification
- B. Allow for new connections to below ground drainage
- C. Heating and cooling
Existing poor quality visible external condenser units associated with redundant air conditioning units to be carefully removed from rear elevation.
Air conditioning to be installed to all bedrooms, with external condenser units positioned discretely in valley of roof, not visible from street level or front the rear of the property
Air conditioning to be installed to LGF gym, with external condenser unit positioned discretely within new extension roof terrace planter.
Existing radiators and heating systems to be retained. Master bedroom and bathrooms to be supplied with new wet underfloor heating system installed between existing floor joists. New rooms to basement to be fitted with new flat panel radiators connected to existing hot water heating system.
- D. Fire Alarm
Existing commercial Chubb fire alarm system including 'break glass' panels to be carefully removed and replaced with discrete domestic fire and smoke alarm system.
- E. Replace non-original floor finishes throughout lower ground floor



1 Basement Plan As Proposed
Scale 1:50 @ A1 / 1:100 @ A3



2 Ground Floor Plan As Proposed
Scale 1:50 @ A1 / 1:100 @ A3

Notes
Use figured dimensions only. Do not scale from this drawing. Issued for purpose indicated only. All dimensions to be checked on site. Architect to be notified of any discrepancies before construction commences. Structural and services information is indicative only - refer to consultants' drawings and specification for details and setting out. All work and materials to be in accordance with current applicable statutory legislation and to comply with all relevant codes of practice and British and European standards. Information contained within this drawing is the sole copyright of IF_DO (IF Design Office Ltd) and not to be reproduced without expressed wishes.

Revisions

A	Issued for planning	04/05/17
B	Issued for planning - revised as clouded	21/07/17
C	Issued for planning - revised as clouded	08/08/17

Consultants

Key Plan
DRAWING AS APPROVED IN APPLICATION
2017/2552/P & 2017/3179/L
(subject to conditions outlined in approval)

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Project
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Drawing Title
Proposed Basement + Ground Floor Plans

Scale 1:50 @ A1 / 1:100 @ A3		Drawn GG
Date February 2017		Check SC
Issued for Planning	Proj. No. 1601	Dwg. No. PL-01
		Rev C

