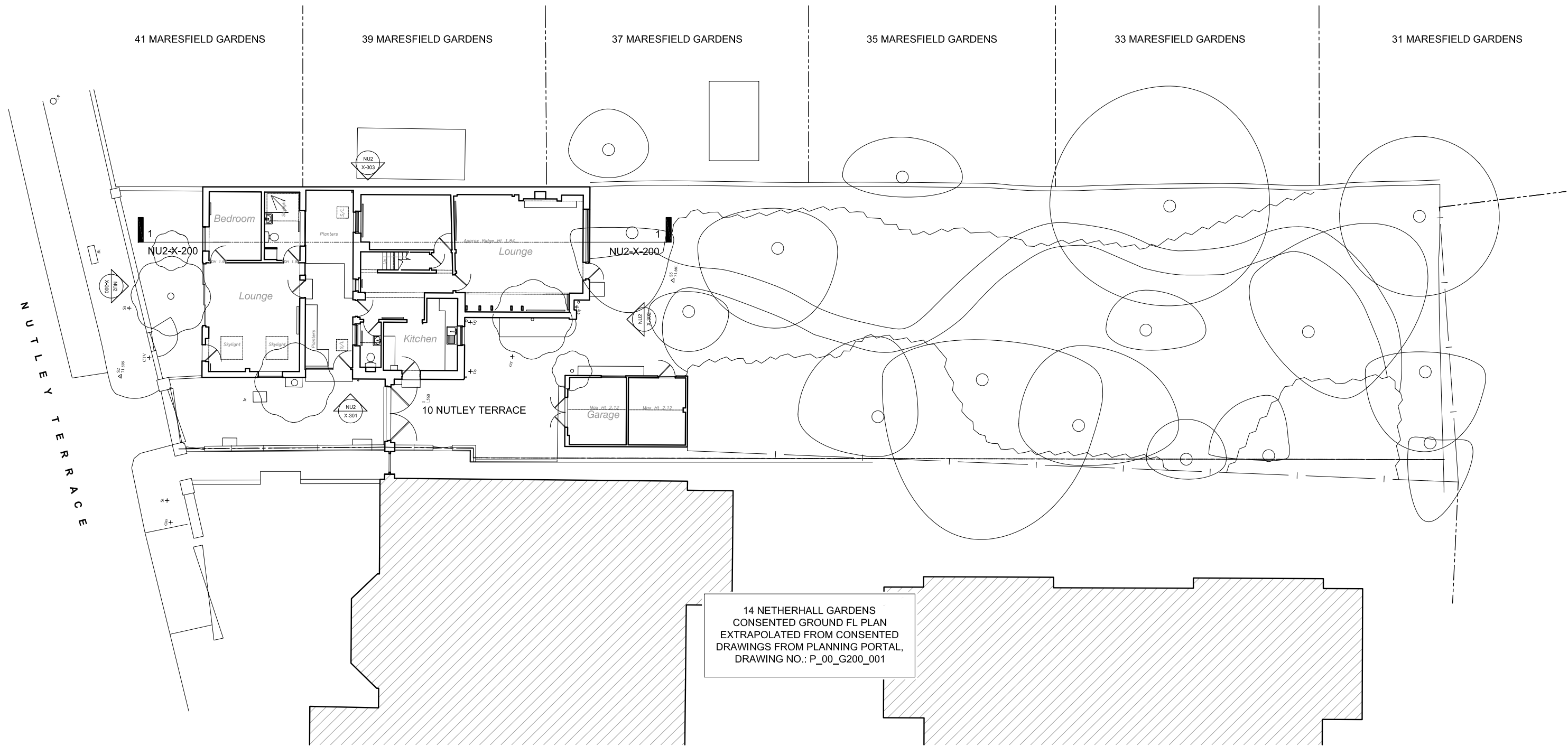
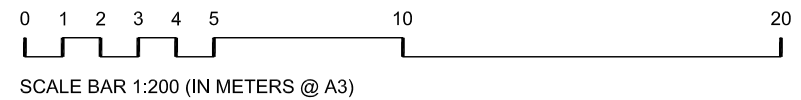


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	<p>scale</p> <p>1:1250 @ A4</p>	<p>date</p> <p>10.10.18</p>	<p>drawing title</p> <p style="text-align: center;">LOCATION MAP</p>		
	<p>drawn by</p> <p>.</p>	<p>checked</p> <p>.</p>			
	<p>project ref.</p> <p>NU2</p>	<p>drawing no.</p> <p>NU2-X-001</p>	<p>revision</p> <p>.</p>		



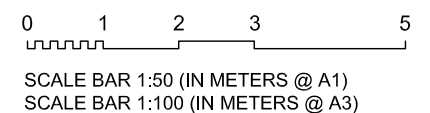
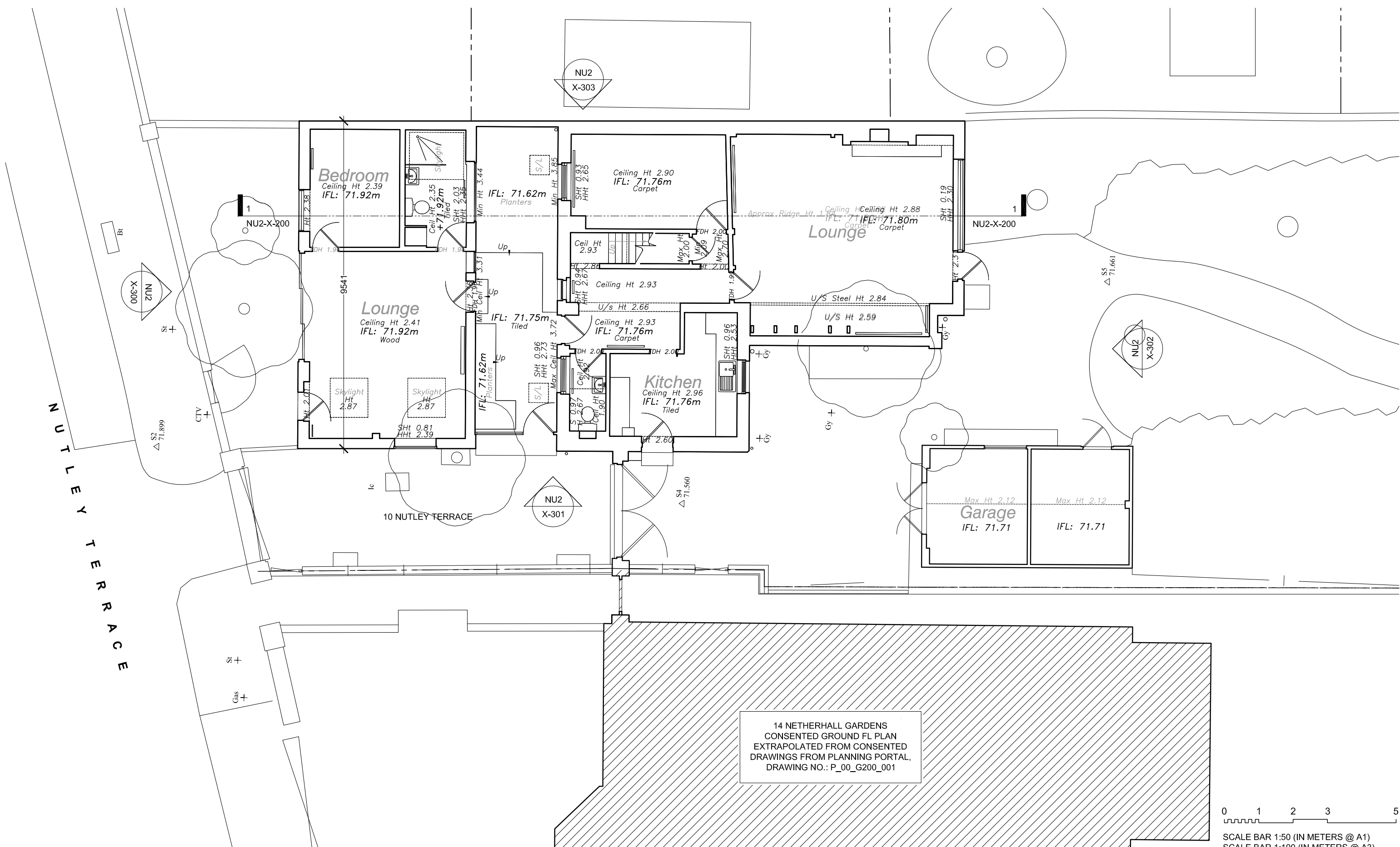
14 NETHERHALL GARDENS
 CONSENTED GROUND FL PLAN
 EXTRAPOLATED FROM CONSENTED
 DRAWINGS FROM PLANNING PORTAL,
 DRAWING NO.: P_00_G200_001



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IF IN DOUBT ASK.
purpose of issue
INFORMATION

notes

project name		10 NUTLEY TERRACE LONDON NW3 5SB		StudioMarkRuthven architecture	
drawing title		EXISTING SITE PLAN		92 Prince of Wales Road Kenilsh Town London NW5 3NE T 020 7 485 0050 F 020 7 485 0030	
rev	notes	date	by	checked	scale
-	PLANNING SUBMITTAL	17/12/18	SMR/SMR		1:200 @ A3
-	INFORMATION	05/12/18	SMR/SMR		
* do not scale from this drawing. * check all dimensions on site.		date	10.10.18	project ref.	NU2
		drawing no.	NU2-X-002	revision	-



general notes

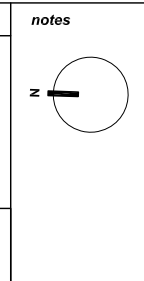
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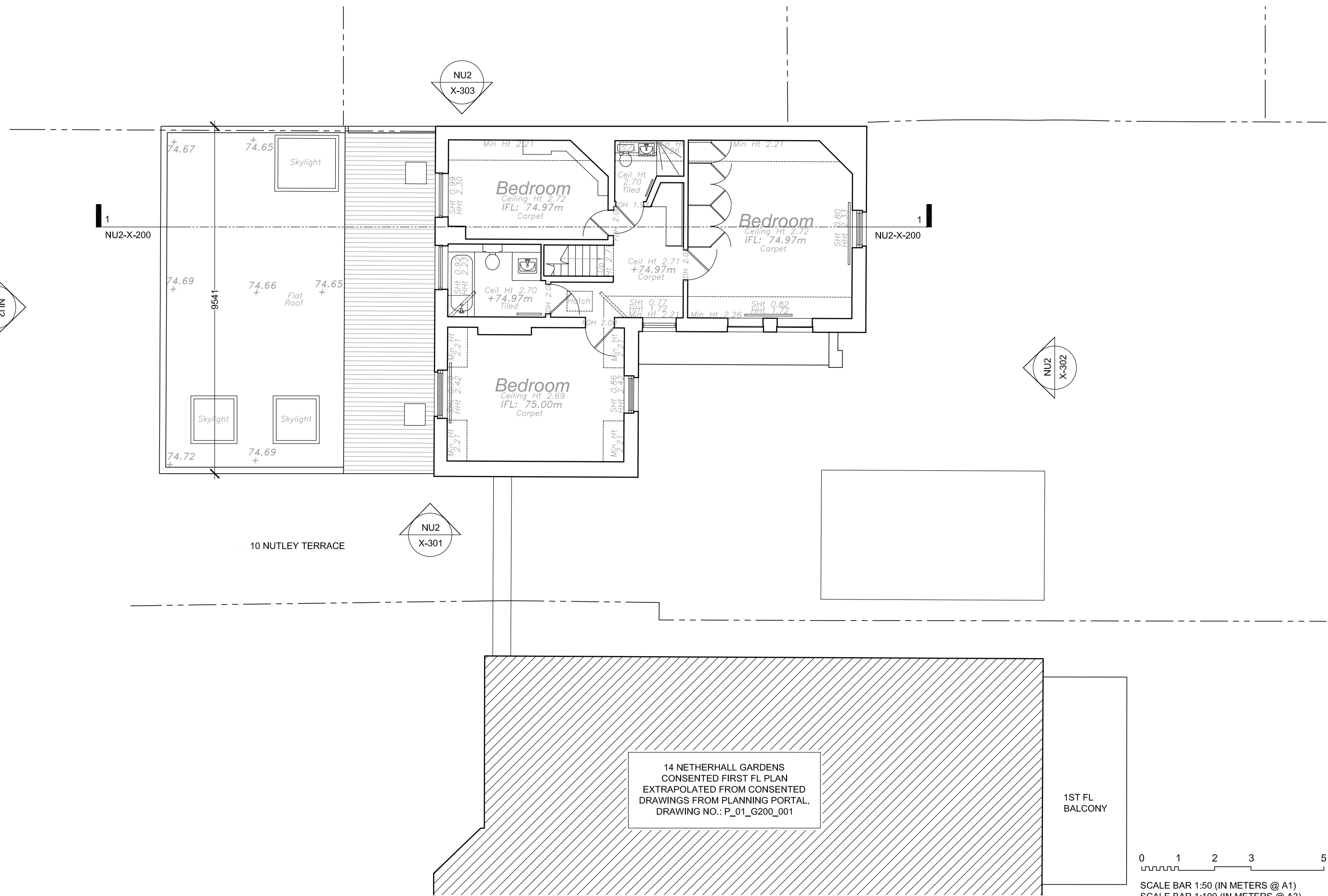
purpose of issue

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-	INFORMATION	05/12/18	SMR/SMR	
* for construction do not scale from this drawing. * check all dimensions on site.				

project name 10 NUTLEY TERRACE LONDON NW3 5SB		StudioMarkRuthven architecture	
drawing title EXISTING GROUND FLOOR PLAN		92 Prince of Wales Road, London, NW5 3NE 11 & 13 Patwell Street, Bruton, BA10 0EQ T 020 7485 0050	
scale: 1:100 @ A3 1:50 @ A1	date 10.10.18	project ref.	drawing no.
drawn by .	checked .	NU2	NU2-X-101
		revision	-



0 1 2 3 4 5
 SCALE BAR 1:50 (IN METERS @ A1)
 SCALE BAR 1:100 (IN METERS @ A3)

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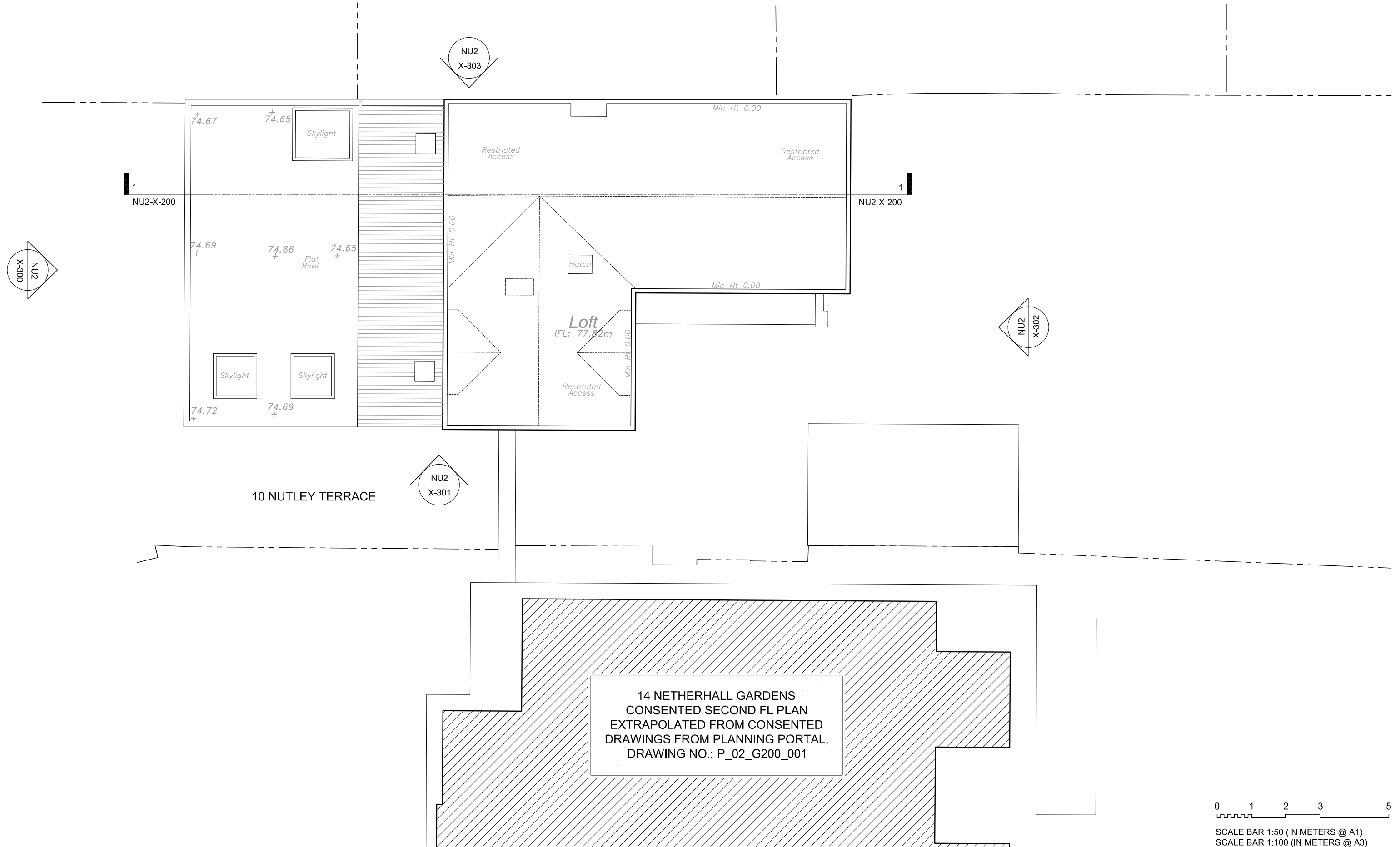
IF IN DOUBT ASK.

purpose of issue

INFORMATION

notes

project name 10 NUTLEY TERRACE LONDON NW3 5SB		StudioMarkRuthven architecture 92 Prince of Wales Road, London, NW5 3NE 11 & 13 Patwell Street, Bruton, BA10 0EQ T 020 7485 0050	
drawing title EXISTING FIRST FLOOR PLAN		project ref. drawing no. revision NU2 NU2-X-102 -	
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14 NETHERHALL GARDENS
 CONSENTED SECOND FL PLAN
 EXTRAPOLATED FROM CONSENTED
 DRAWINGS FROM PLANNING PORTAL,
 DRAWING NO.: P_02_G200_001

0 1 2 3 5
 SCALE BAR 1:50 (IN METERS @ A1)
 SCALE BAR 1:100 (IN METERS @ A3)

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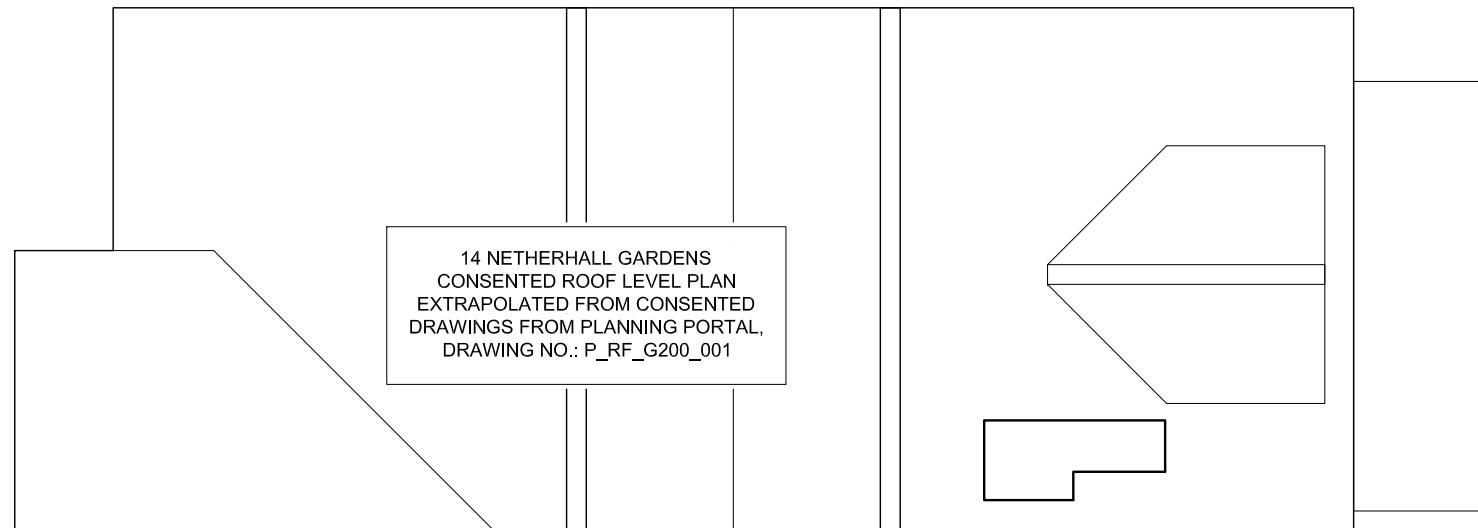
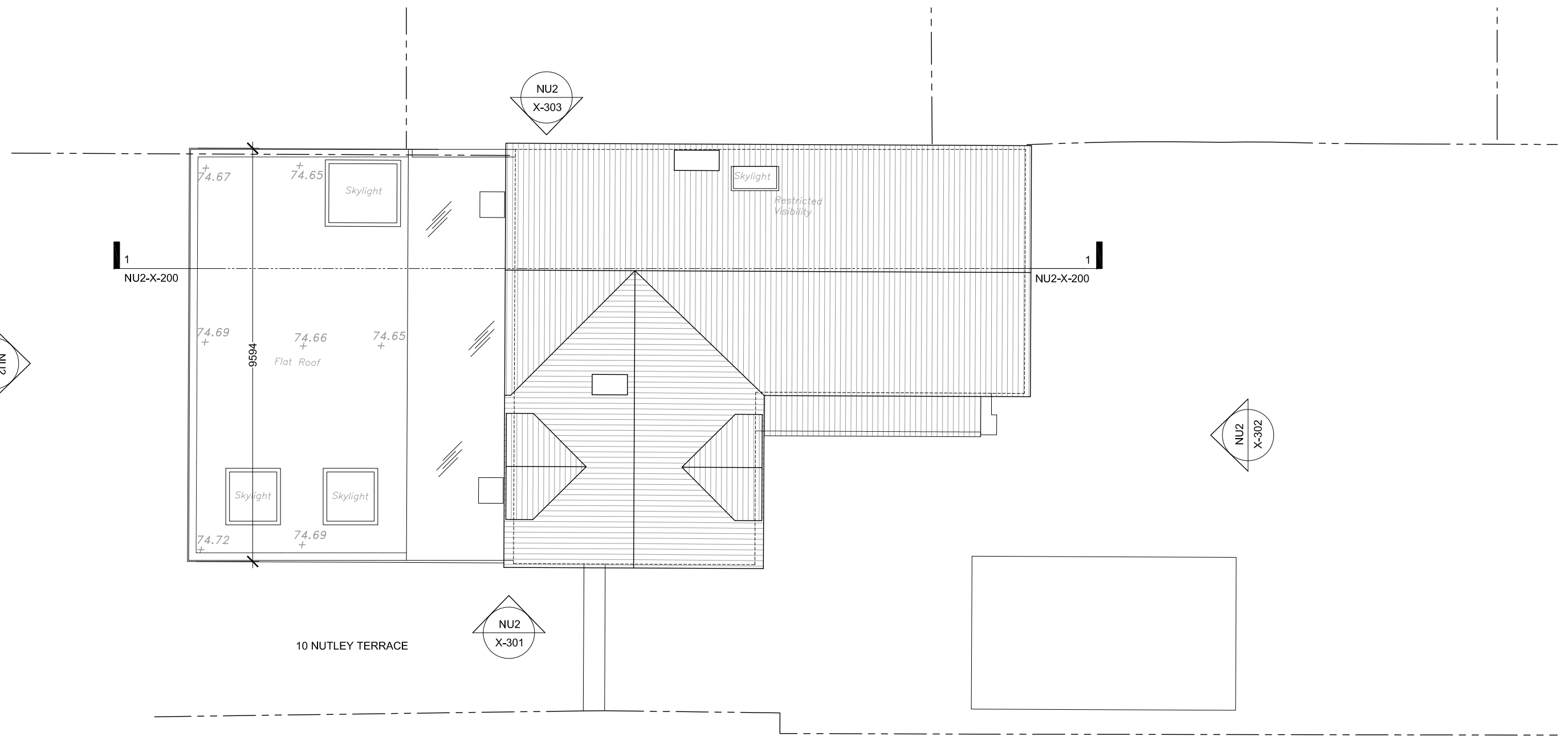
IF IN DOUBT ASK.

purpose of issue

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notes

project name 10 NUTLEY TERRACE LONDON NW3 5SB		StudioMarkRuthven architecture	
drawing title EXISTING LOFT PLAN		92 Prince of Wales Road Kentish Town London NW5 3NE T 020 7 485 0050 F 020 7 485 0030	
- PLANNING SUBMITTAL 17/12/18 SMR/SMR - INFORMATION 05/12/18 SMR/SMR	scale 1:100 @ A3 1:50 @ A1 date 10.10.18	project ref. NU2	drawing no. NU2-X-103
rev notes * do not scale from this drawing. * check all dimensions on site.	date by checked drawn by . checked .	revision -	



0 1 2 3 5
 SCALE BAR 1:50 (IN METERS @ A1)
 SCALE BAR 1:100 (IN METERS @ A3)

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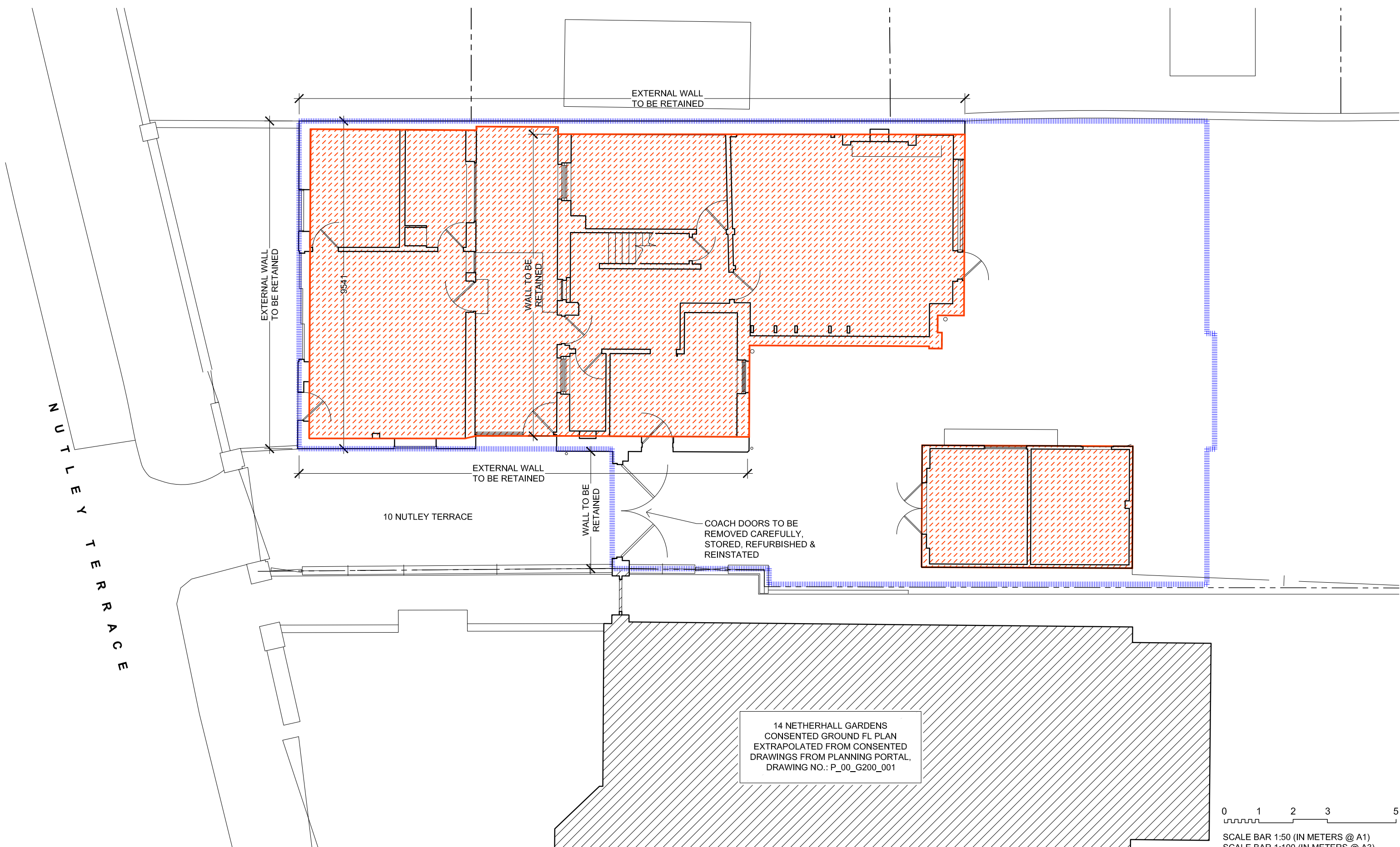
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purpose of issue

INFORMATION

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project name 10 NUTLEY TERRACE LONDON NW3 5SB		StudioMarkRuthven architecture	
drawing title EXISTING ROOF PLAN		92 Prince of Wales Road, London, NW5 3NE 11 & 13 Patwell Street, Bruton, BA10 0EQ T 020 7485 0050	
- PLANNING SUBMITTAL 17/12/18 SMR/SMR - INFORMATION 05/12/18 SMR/SMR	scale 1:100 @ A3 1:50 @ A1 date 10.10.18	project ref. NU2	drawing no. NU2-X-104
rev / notes * for construction do not scale from this drawing. * check all dimensions on site.	date by checked . . .	revision -	



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purpose of issue


PLANNING

notes



LEGEND

 EXISTING BUILDING ELEMENTS TO BE DEMOLISHED

 OUTLINE OF PROPOSED DEVELOPMENT

PLANNING SUBMITTAL	17/12/18	MP/MPR
rev	notes	date by checked
* for construction do not scale from this drawing. * check all dimensions on site.		

project name

10 NUTLEY TERRACE LONDON NW3 5SB

drawing title

GF DEMOLITION PLAN & OUTLINE OF PROPOSAL AT GF LEVEL

scale: 1:100 @ A3 | 1:50 @ A1 | date 11.06.15

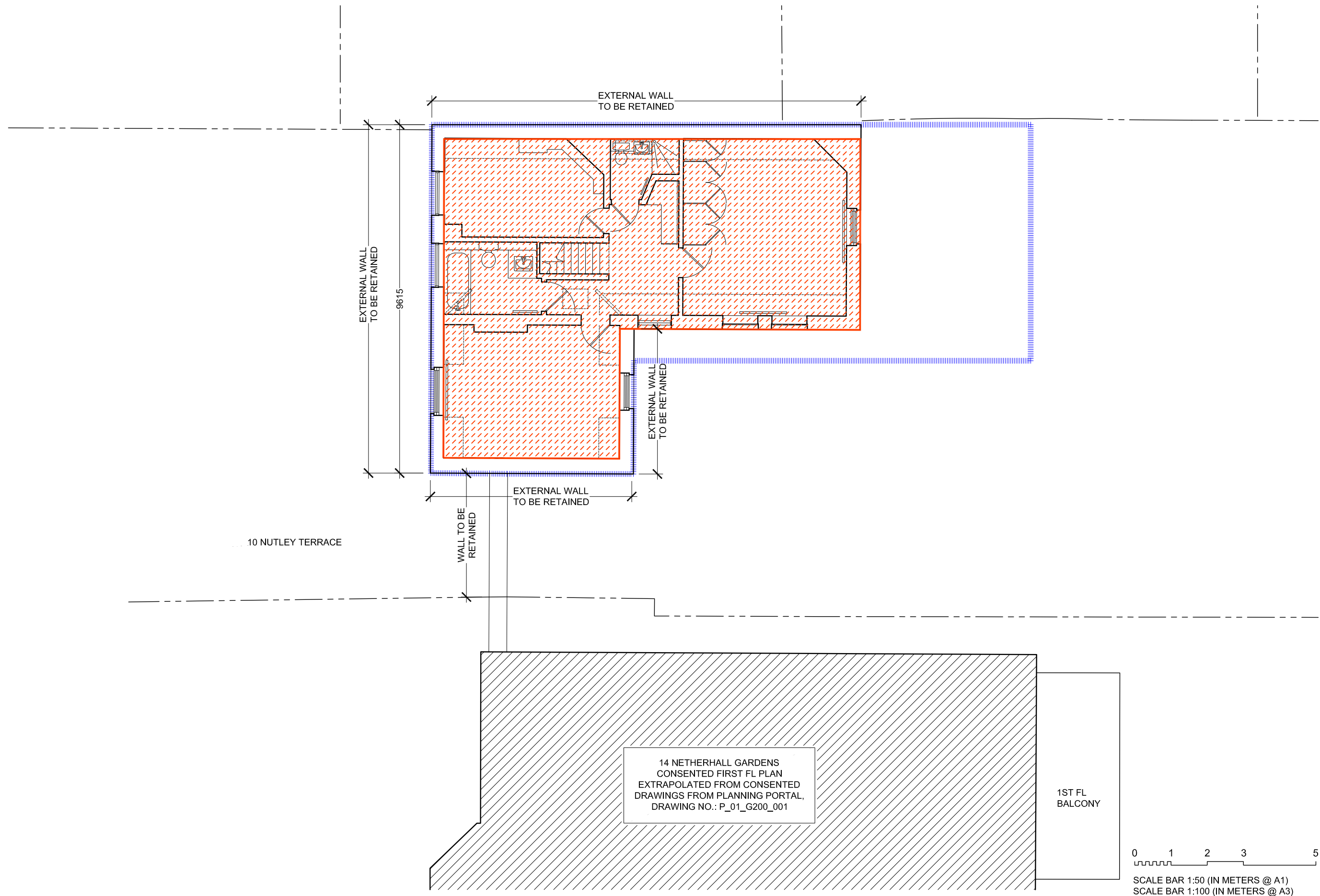
drawn by . checked .

StudioMarkRuthven architecture

92 Prince of Wales Road, London, NW5 3NE
11 & 13 Patwell Street, Bruton, BA10 0EQ
T 020 7485 0050

project ref. drawing no. revision

NU2 NU2-X-151 -



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IF IN DOUBT ASK.

purpose of issue

PLANNING

notes

LEGEND

EXISTING BUILDING ELEMENTS TO BE DEMOLISHED

OUTLINE OF PROPOSED DEVELOPMENT

- PLANNING SUBMITTAL		17/12/18	MP/MPR
rev	notes	date	by checked
* for construction do not scale from this drawing. * check all dimensions on site.			

project name

**10 NUTLEY TERRACE
LONDON NW3 5SB**

drawing title

**1ST FL DEMOLITION PLAN
& OUTLINE OF PROPOSAL
AT 1ST FL LEVEL**

scale 1:100 @ A3 | 1:50 @ A1

date 11.06.15

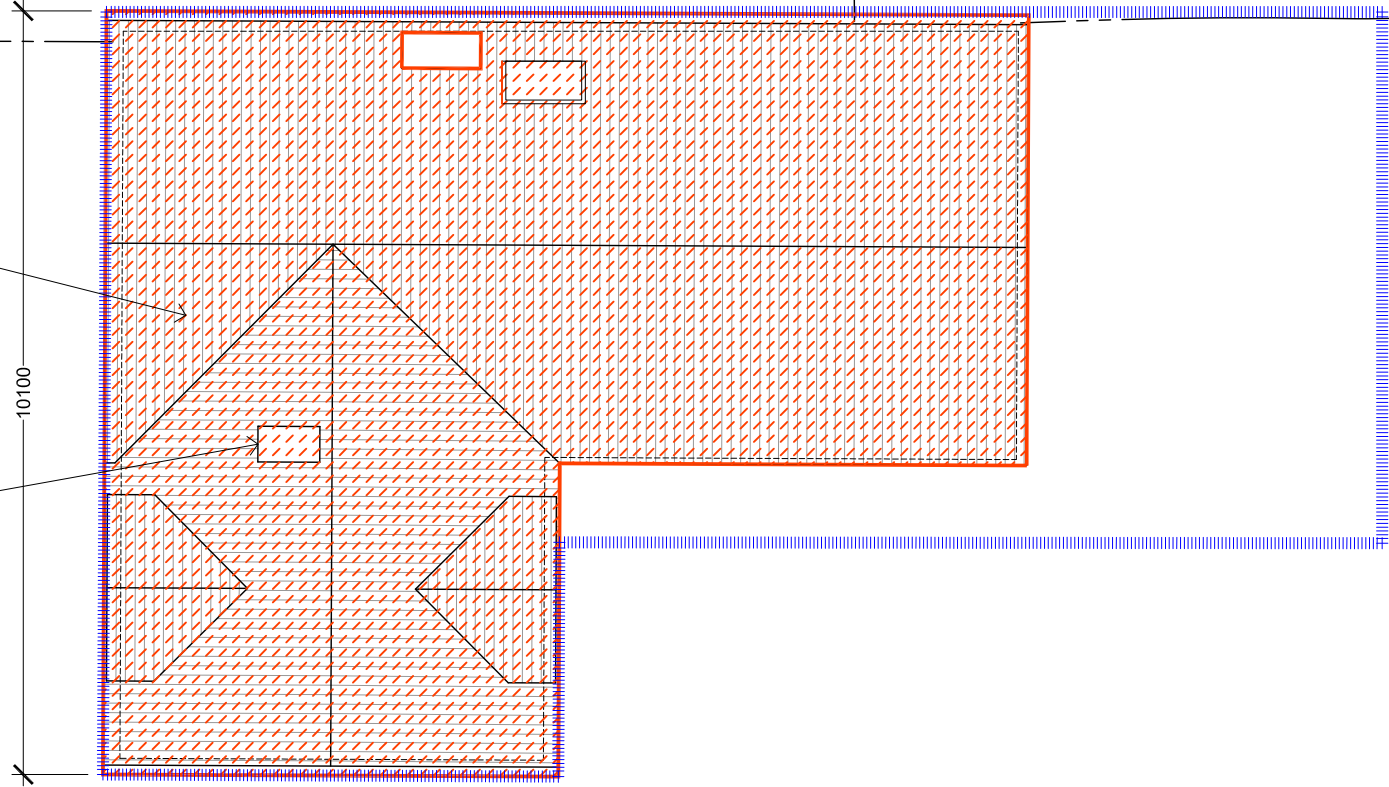
StudioMarkRuthven
architecture

92 Prince of Wales Road, London, NW5 3NE
11 & 13 Patwell Street, Bruton, BA10 0EQ
T 020 7485 0050

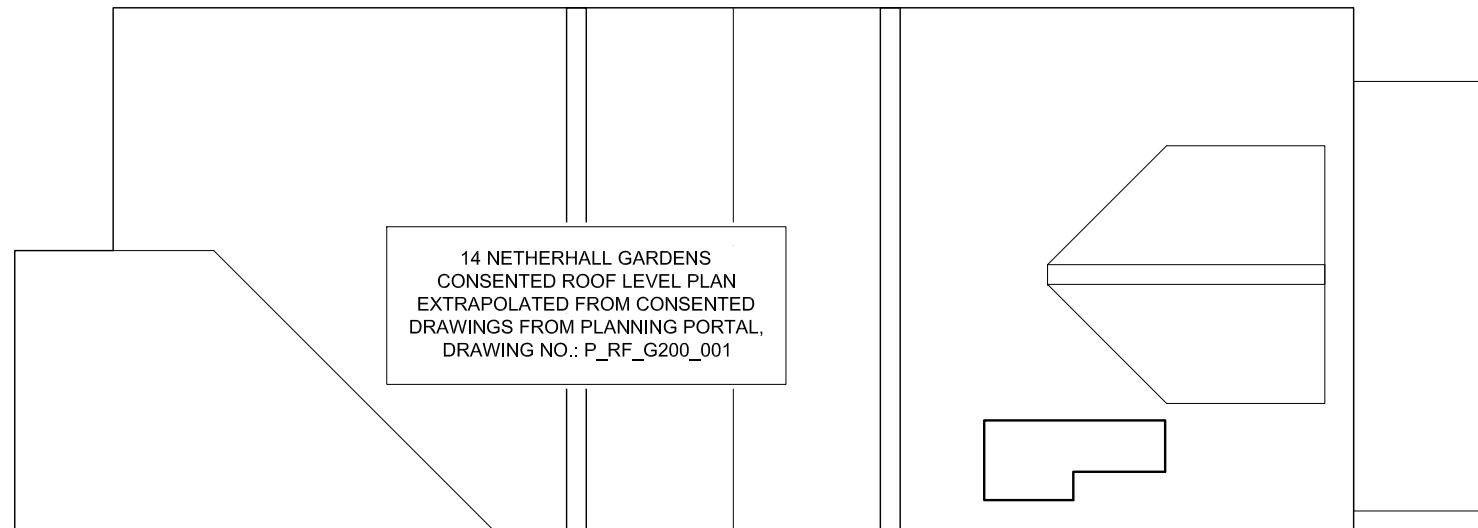
project ref.	drawing no.	revision
NU2	NU2-X-152	-

EXISTING CLAY ROOF TILES & DECORATIVE RIDGE TILES TO BE CAREFULLY REMOVED & STORED. TO BE REINSTATED AFTER NEW INSULATED ROOF STRUCTURE IS CONSTRUCTED.

CHIMNEY TO BE REINSTATED TO MATCH HEIGHT AND DETAILING OF EXISTING



10 NUTLEY TERRACE



0 1 2 3 5
SCALE BAR 1:50 (IN METERS @ A1)
SCALE BAR 1:100 (IN METERS @ A3)

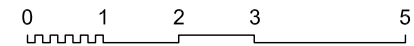
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purpose of issue	
PLANNING	

LEGEND
EXISTING BUILDING ELEMENTS TO BE DEMOLISHED
OUTLINE OF PROPOSED DEVELOPMENT

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rev	notes	date	by checked
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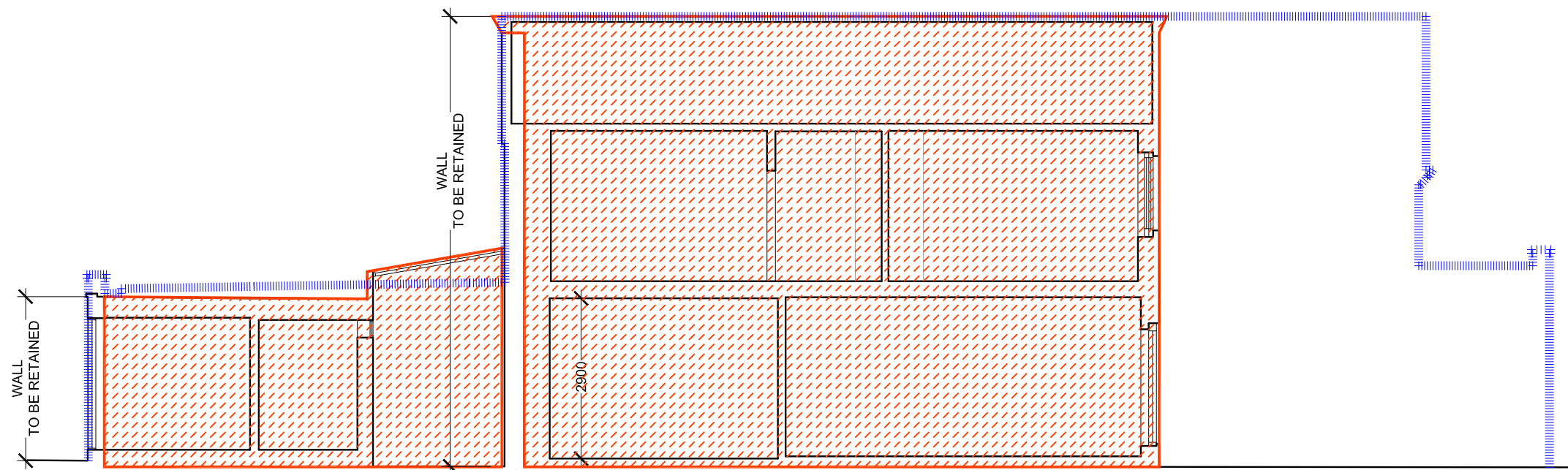
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10 NUTLEY TERRACE LONDON NW3 5SB	
drawing title	
ROOF DEMOLITION PLAN & OUTLINE OF PROPOSED ROOF PLAN	
scale	1:100 @ A3 1:50 @ A1
date	11.06.15
drawn by	
checked	

StudioMarkRuthven architecture		
92 Prince of Wales Road, London, NW5 3NE 11 & 13 Patwell Street, Bruton, BA10 0EQ T 020 7485 0050		
project ref.	drawing no.	revision
NU2	NU2-X-154	-





SCALE BAR 1:50 (IN METERS @ A1)
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<p>purpose of issue</p> <p>INFORMATION</p>		<p>* for construction do not scale from this drawing. * check all dimensions on site.</p>	<p>scale: 1:100 @ A3 1:50 @ A1 date 10.10.18</p> <p>drawn by . checked .</p>	<p>project ref. drawing no. revision</p> <p>NU2 NU2-X-200 -</p>



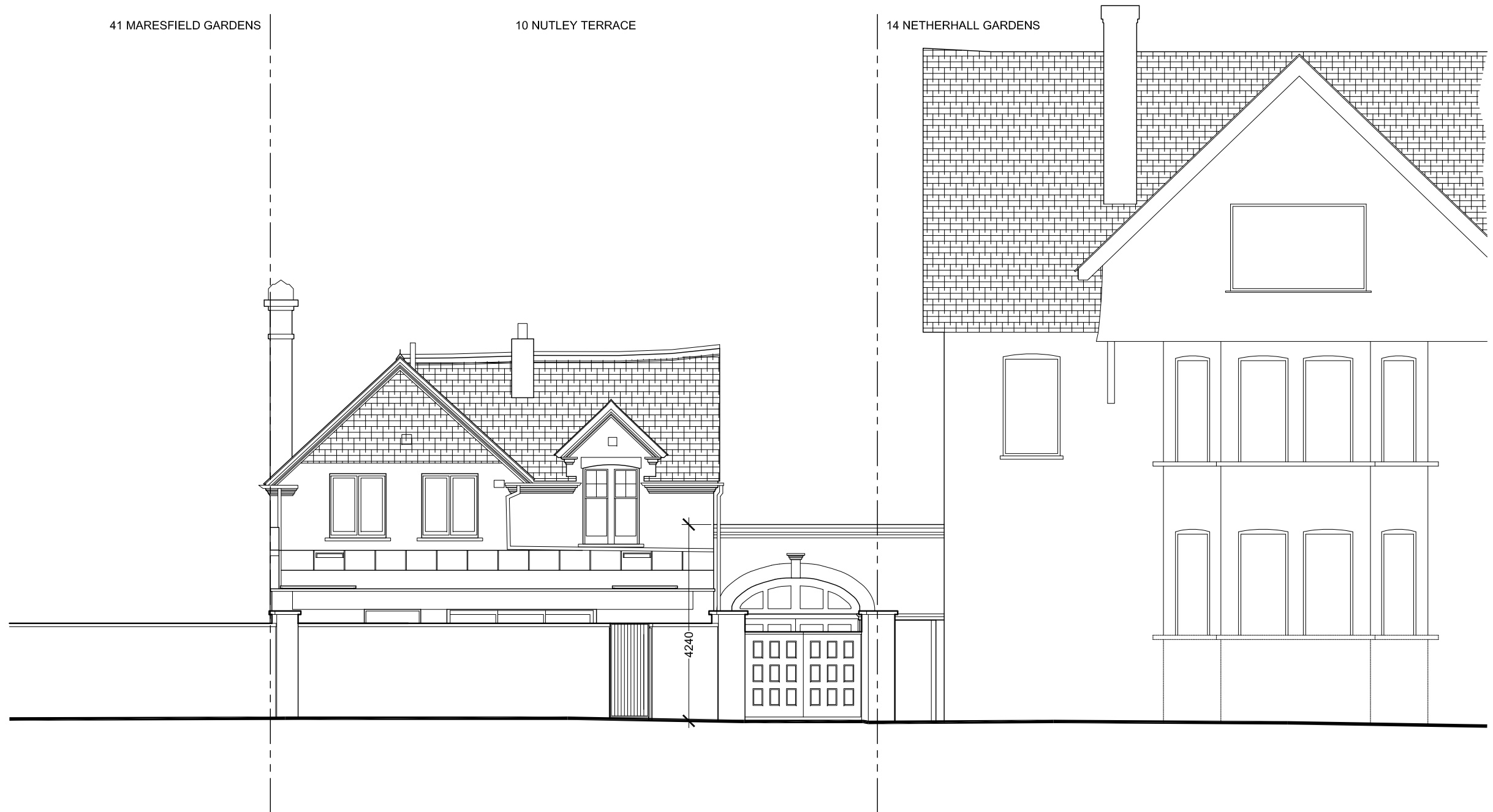
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SCALE BAR 1:100 (IN METERS @ A3)

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rev	notes	date	by	checked																						
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project ref.	drawing no.	revision																								
NU2	NU2-X-250	-																								
<p>purpose of issue</p> <p>PLANNING</p>																										

41 MARESFIELD GARDENS

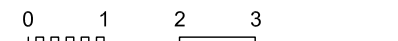
10 NUTLEY TERRACE

14 NETHERHALL GARDENS



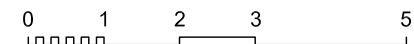
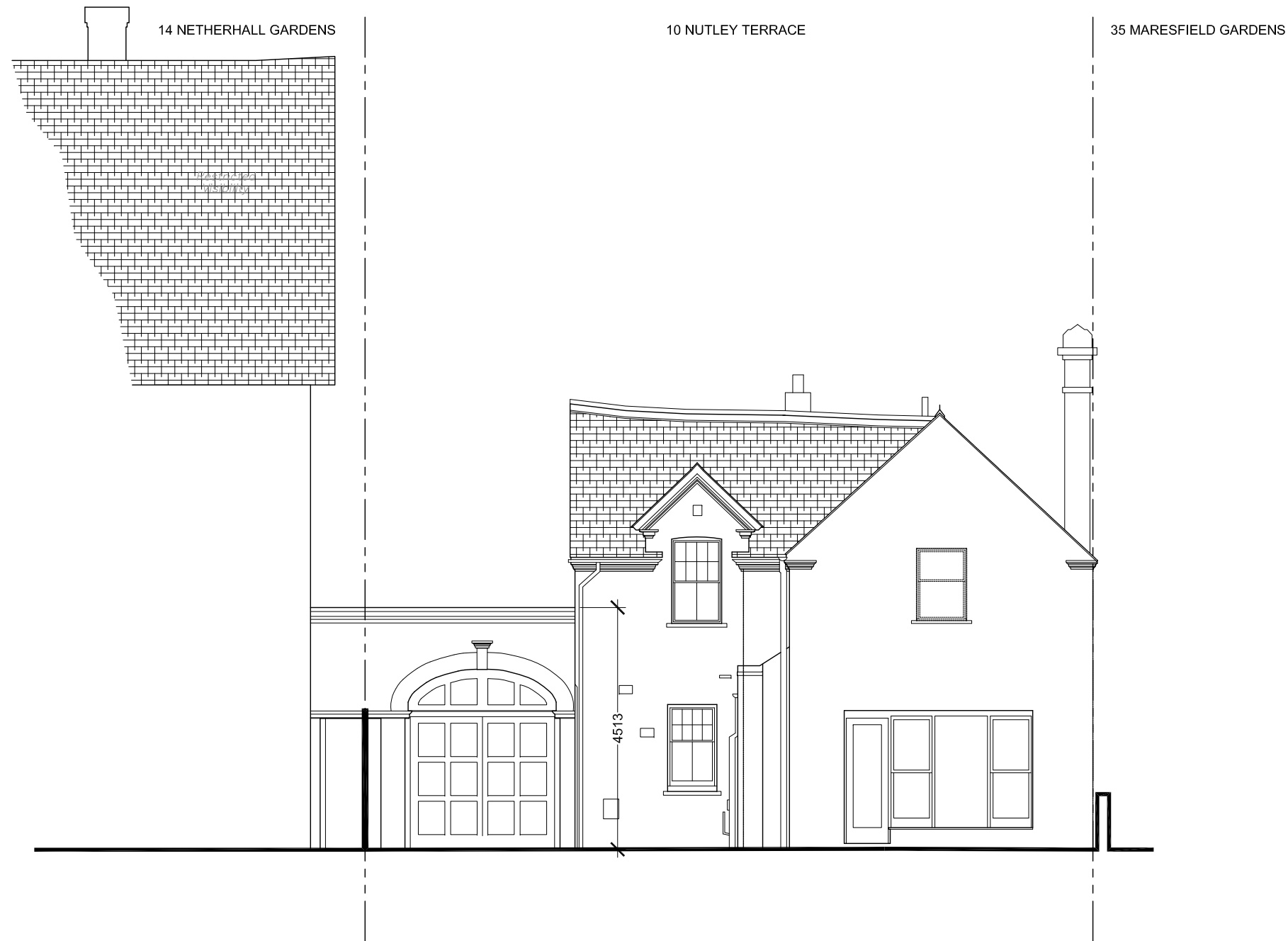
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SCALE BAR 1:100 (IN METERS @ A3)

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SCALE BAR 1:50 (IN METERS @ A1)
SCALE BAR 1:100 (IN METERS @ A3)

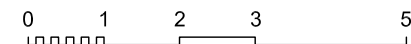
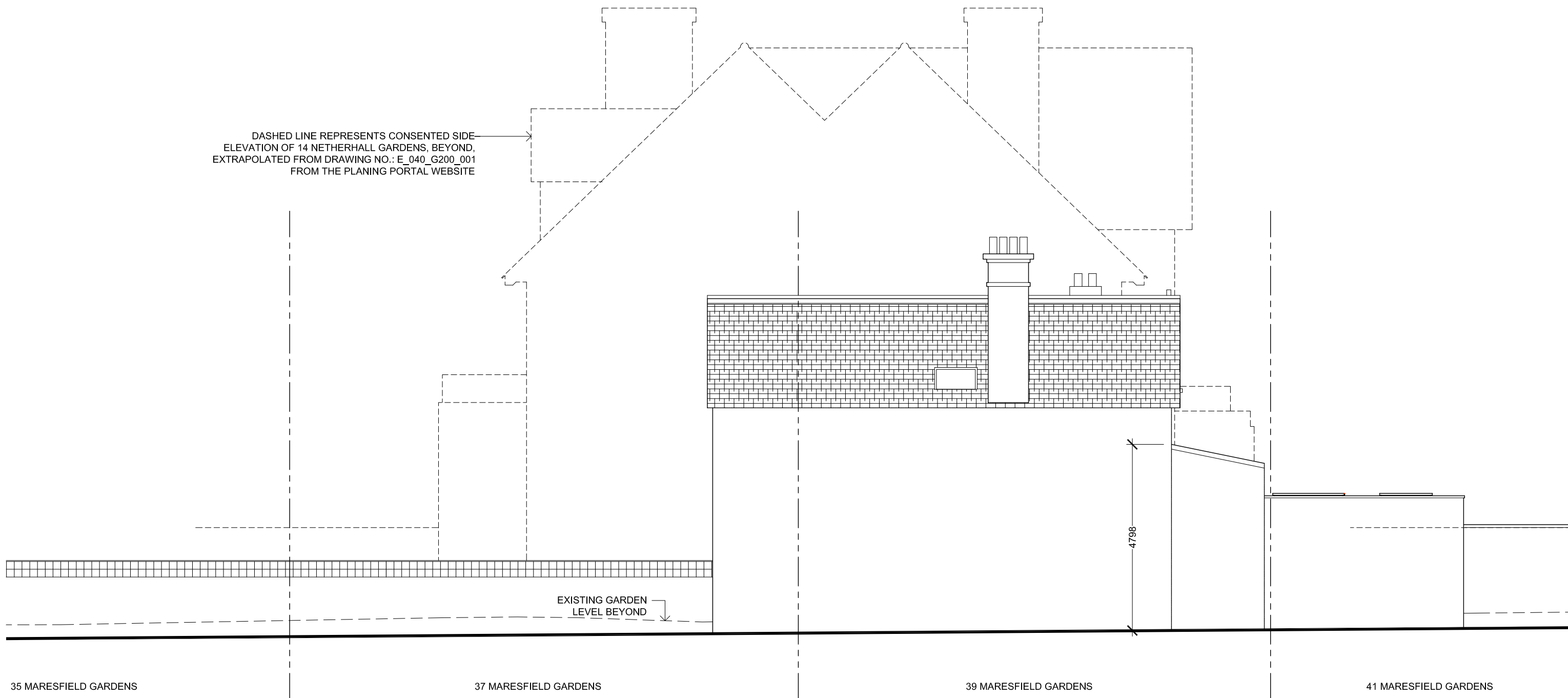
<p>general notes</p> <p>THIS DRAWING IS COPYRIGHT OF STUDIO MARK RUTHVEN. THIS DRAWING MUST BE READ IN CONJUNCTION WITH THE DESIGNER'S RISK ASSESSMENT. SPECIFICATION AND ALL OTHER RELEVANT DOCUMENTATION AND DRAWINGS, STUDIO MARK RUTHVEN ACCEPT NO LIABILITY FOR ANY EXPENSE, LOSS OR DAMAGE OF WHATSOEVER NATURE AND HOWEVER ARISING FROM ANY VARIATION MADE TO THIS DRAWING OR IN THE EXECUTION OF THE WORK TO WHICH IT RELATES WHICH HAS NOT BEEN REFERRED TO THEM AND THEIR APPROVAL OBTAINED.</p> <p>FOR THE PURPOSE OF CONSTRUCTION DO NOT SCALE FROM THIS DRAWING OR THE COMPUTER DIGITAL DATA, ONLY FIGURED DIMENSIONS ARE TO BE USED.</p> <p>IF IN DOUBT ASK.</p>	<p>notes</p>	<p>PLANNING SUBMITTAL 17/12/18 SMR/SMR INFORMATION 05/12/18 SMR/SMR</p>	<p><i>project name</i> 10 NUTLEY TERRACE LONDON NW3 5SB</p> <p><i>drawing title</i> EXISTING SIDE / WEST ELEVATION</p>	<p>StudioMarkRuthven architecture</p> <p>92 Prince of Wales Road, London, NW5 3NE 11 & 13 Patwell Street, Bruton, BA10 0EQ T 020 7485 0050</p>
<p>purpose of issue</p> <p>INFORMATION</p>		<p>rev notes date by checked * for construction do not scale from this drawing. * check all dimensions on site.</p>	<p>scale: 1:100 @ A3 1:50 @ A1 date 10.10.18 drawn by . checked .</p>	<p>project ref. drawing no. revision NU2 NU2-X-301 -</p>



SCALE BAR 1:50 (IN METERS @ A1)
SCALE BAR 1:100 (IN METERS @ A3)

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<p>purpose of issue</p> <p>INFORMATION</p>		<p>scale 1:100 @ A3 1:50 @ A1</p> <p>date 10.10.18</p> <p>drawn by . checked .</p> <p>* for construction do not scale from this drawing. * check all dimensions on site.</p>	<p>project ref. drawing no. revision</p> <p>NU2 NU2-X-302 -</p>	

DASHED LINE REPRESENTS CONSENTED SIDE ELEVATION OF 14 NETHERHALL GARDENS, BEYOND, EXTRAPOLATED FROM DRAWING NO.: E_040_G200_001 FROM THE PLANING PORTAL WEBSITE



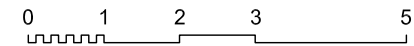
SCALE BAR 1:50 (IN METERS @ A1)
SCALE BAR 1:100 (IN METERS @ A3)

<p>general notes</p> <p>THIS DRAWING IS COPYRIGHT OF STUDIO MARK RUTHVEN. THIS DRAWING MUST BE READ IN CONJUNCTION WITH THE DESIGNER'S RISK ASSESSMENT, SPECIFICATION AND ALL OTHER RELEVANT DOCUMENTATION AND DRAWINGS. STUDIO MARK RUTHVEN ACCEPT NO LIABILITY FOR ANY EXPENSE, LOSS OR DAMAGE OF WHATSOEVER NATURE AND HOWEVER ARISING FROM ANY VARIATION MADE TO THIS DRAWING OR IN THE EXECUTION OF THE WORK TO WHICH IT RELATES WHICH HAS NOT BEEN REFERRED TO THEM AND THEIR APPROVAL OBTAINED.</p> <p>FOR THE PURPOSE OF CONSTRUCTION DO NOT SCALE FROM THIS DRAWING OR THE COMPUTER DIGITAL DATA, ONLY FIGURED DIMENSIONS ARE TO BE USED.</p> <p>IF IN DOUBT ASK.</p>	<p>notes</p>	<p>project name 10 NUTLEY TERRACE LONDON NW3 5SB</p> <p>drawing title EXISTING SIDE / EAST ELEVATION</p> <p>StudioMarkRuthven architecture 92 Prince of Wales Road, London, NW5 3NE 11 & 13 Patwell Street, Bruton, BA10 0EQ T 020 7485 0050</p>	<p>scale 1:100 @ A3 1:50 @ A1</p> <p>date 10.10.18</p> <p>project ref. drawing no. revision</p> <p>NU2 NU2-X-303 -</p>
<p>purpose of issue</p> <p>INFORMATION</p>		<p>PLANNING SUBMITTAL 17/12/18 SMR/SMR</p> <p>INFORMATION 05/12/18 SMR/SMR</p> <p>rev notes date by checked</p> <p>* for construction do not scale from this drawing. * check all dimensions on site.</p>	

41 MARESFIELD GARDENS

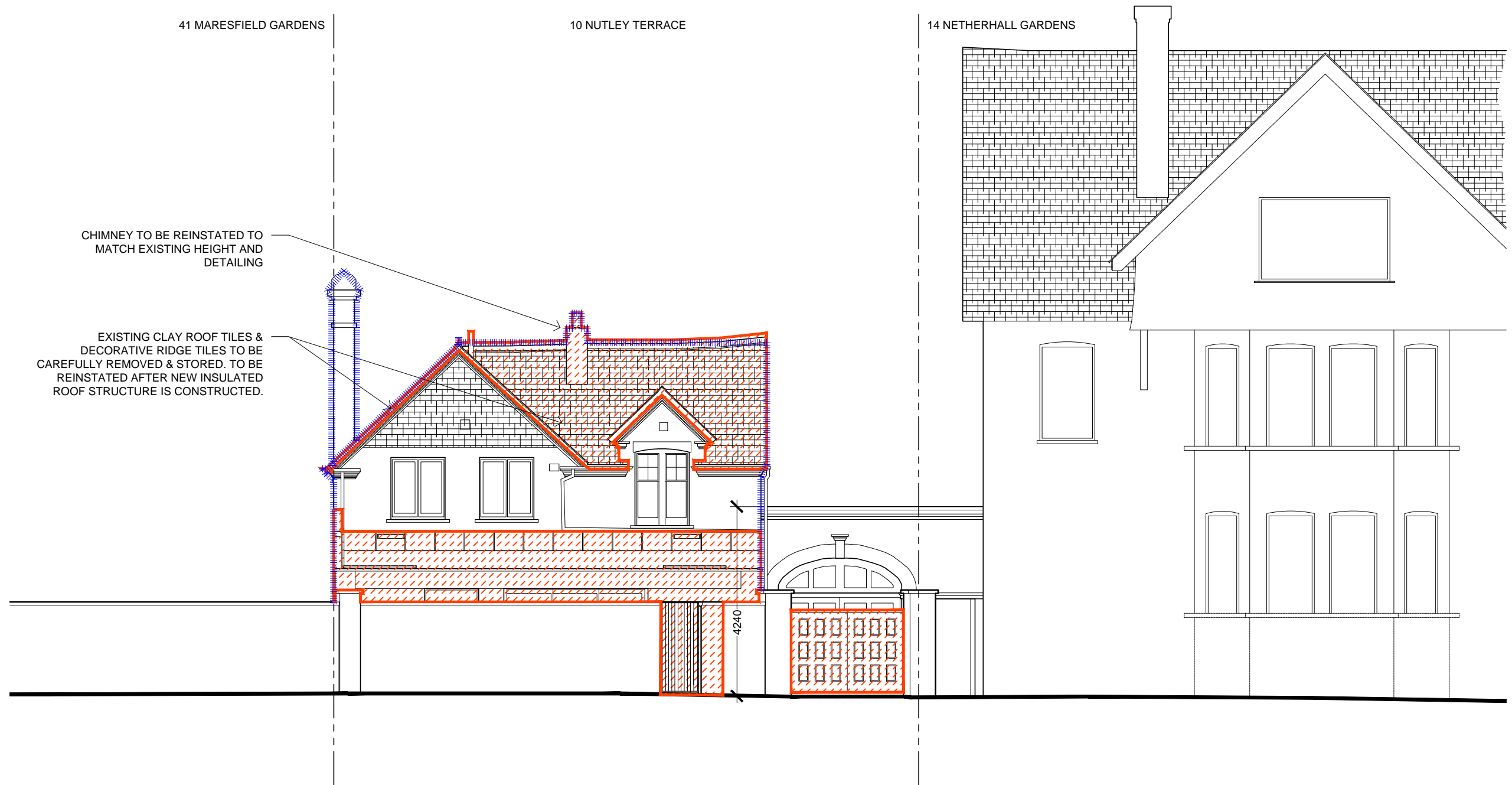
10 NUTLEY TERRACE

14 NETHERHALL GARDENS



SCALE BAR 1:50 (IN METERS @ A1)
SCALE BAR 1:100 (IN METERS @ A3)

<p>general notes</p> <p>THIS DRAWING IS COPYRIGHT OF STUDIO MARK RUTHVEN. THIS DRAWING MUST BE READ IN CONJUNCTION WITH THE DESIGNER'S RISK ASSESSMENT, SPECIFICATION AND ALL OTHER RELEVANT DOCUMENTATION AND DRAWINGS. STUDIO MARK RUTHVEN ACCEPTS NO LIABILITY FOR ANY EXPENSE, LOSS OR DAMAGE OF WHATSOEVER NATURE AND HOWEVER ARISING FROM ANY VARIATION MADE TO THIS DRAWING OR IN THE EXECUTION OF THE WORK TO WHICH IT RELATES WHICH HAS NOT BEEN REFERRED TO THEM AND THEIR APPROVAL OBTAINED.</p> <p>FOR THE PURPOSE OF CONSTRUCTION DO NOT SCALE FROM THIS DRAWING OR THE COMPUTER DIGITAL DATA, ONLY FIGURED DIMENSIONS ARE TO BE USED.</p> <p>IF IN DOUBT ASK.</p>	<p>notes</p>	<p>PLANNING SUBMITTAL 17/12/18 SMR/SMR</p> <p>INFORMATION 05/12/18 SMR/SMR</p>	<p>project name</p> <p>10 NUTLEY TERRACE LONDON NW3 5SB</p> <p>drawing title</p> <p>EXISTING FRONT/NORTH ELEVATION</p>	<p>StudioMarkRuthven architecture</p> <p>92 Prince of Wales Road, London, NW5 3NE 11 & 13 Patwell Street, Bruton, BA10 0EQ T 020 7485 0050</p>
<p>purpose of issue</p> <p>INFORMATION</p>		<p>rev notes date by checked</p> <p>* for construction do not scale from this drawing. * check all dimensions on site.</p>	<p>scale 1:100 @ A3 1:50 @ A1 date 10.10.18</p> <p>drawn by . checked .</p>	<p>project ref. drawing no. revision</p> <p>NU2 NU2-X-304 -</p>



0 1 2 3 5
 SCALE BAR 1:50 (IN METERS @ A1)
 SCALE BAR 1:100 (IN METERS @ A3)

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IF IN DOUBT ASK.


purpose of issue

PLANNING

notes

LEGEND

 EXISTING BUILDING ELEMENTS TO BE DEMOLISHED

 OUTLINE OF PROPOSED DEVELOPMENT

PLANNING SUBMITTAL	17/12/18	MP/MR
rev	notes	date by checked
		scale: 1:100 @ A3 1:50 @ A1 date 11.06.15
* for construction do not scale from this drawing.		drawn by MP checked MR
* check all dimensions on site.		

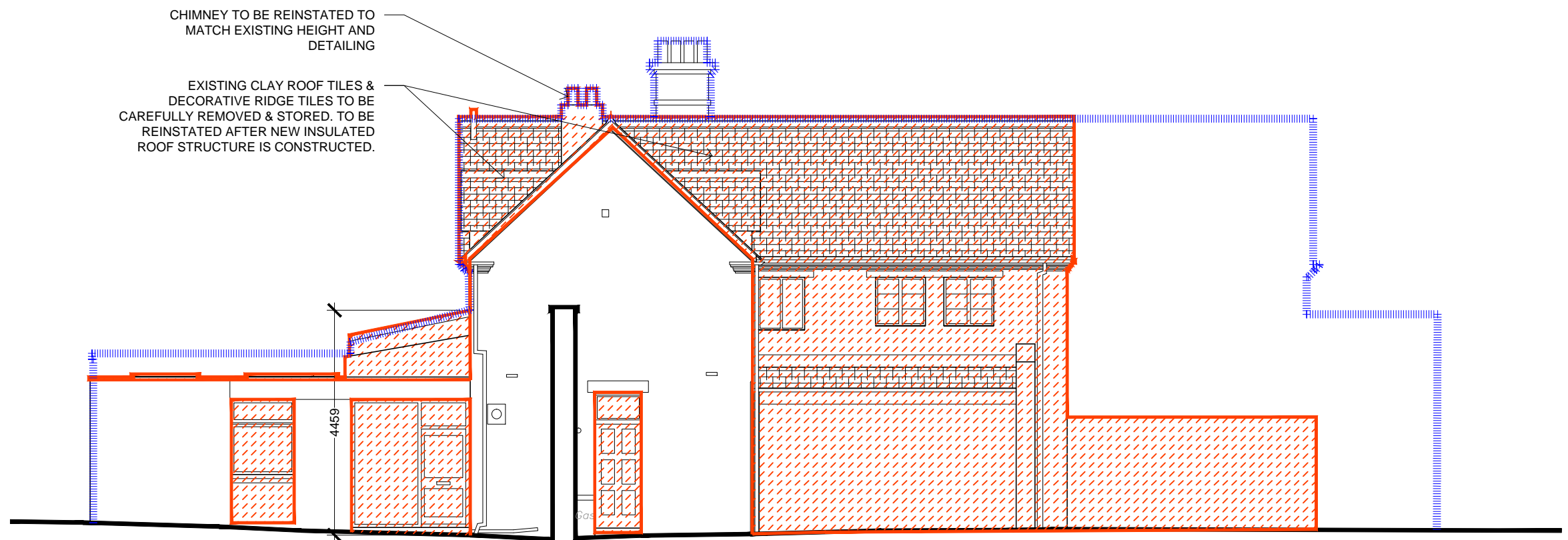
project name
 10 NUTLEY TERRACE
 LONDON NW3 5SB

drawing title
 EXIST'G STREET DEMO.
 ELEVATION & OUTLINE
 OF PROPOSAL

StudioMarkRuthven
 architecture

92 Prince of Wales Road, London, NW5 3NE
 11 & 13 Patwell Street, Bruton, BA10 0EQ
 T 020 7485 0050

project ref.	drawing no.	revision
NU2	NU2-X-350	-



SCALE BAR 1:50 (IN METERS @ A1)
SCALE BAR 1:100 (IN METERS @ A3)

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
purpose of issue

PLANNING

notes

LEGEND

 EXISTING BUILDING ELEMENTS TO BE DEMOLISHED

 OUTLINE OF PROPOSED DEVELOPMENT

PLANNING SUBMITTAL	17/12/18	MP/MR
rev	notes	date by checked
		scale: 1:100 @ A3 1:50 @ A1
		date 11.06.15
		drawn by MP
		checked MR

project name

**10 NUTLEY TERRACE
LONDON NW3 5SB**

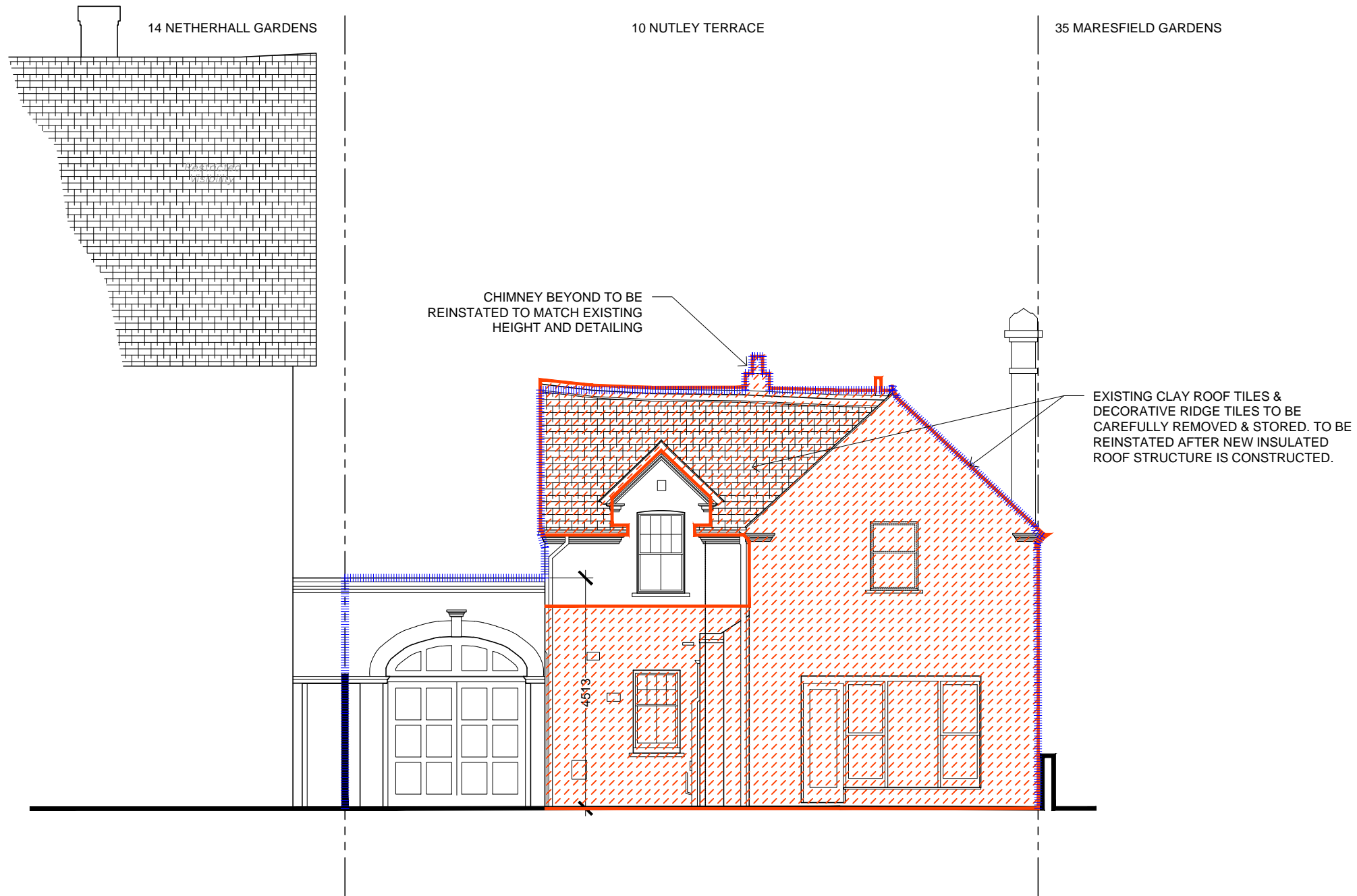
drawing title

EXIST'G SIDE/WEST DEMO
ELEVATION & OUTLINE
OF PROPOSAL

**StudioMarkRuthven
architecture**

92 Prince of Wales Road, London, NW5 3NE
11 & 13 Patwell Street, Bruton, BA10 0EQ
T 020 7485 0050

project ref.	drawing no.	revision
NU2	NU2-X-351	-



SCALE BAR 1:50 (IN METERS @ A1)
SCALE BAR 1:100 (IN METERS @ A3)

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IF IN DOUBT ASK.

purpose of issue

PLANNING

notes

LEGEND

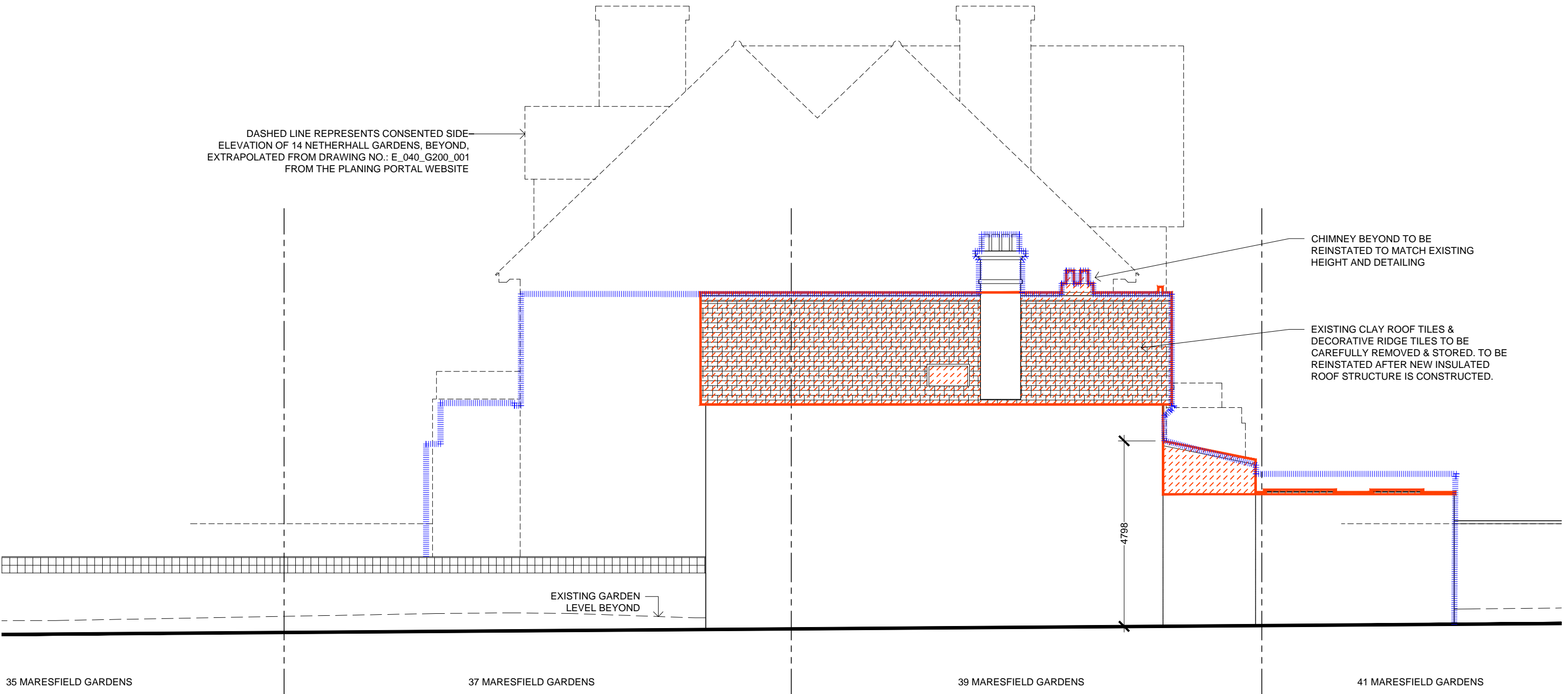
EXISTING BUILDING ELEMENTS TO BE DEMOLISHED

OUTLINE OF PROPOSED DEVELOPMENT

PLANNING SUBMITTAL	17/12/18	MP/MR
rev	notes	date by checked
* for construction do not scale from this drawing.		
* check all dimensions on site.		

project name	
10 NUTLEY TERRACE LONDON NW3 5SB	
drawing title	
EXIST'G REAR/SOUTH DEMO. ELEV & OUTLINE OR PROPOSED	
scale 1:100 @ A3 1:50 @ A1	date 11.06.15
drawn by MP	checked MR

StudioMarkRuthven architecture		
92 Prince of Wales Road, London, NW5 3NE 11 & 13 Patwell Street, Bruton, BA10 0EQ T 020 7485 0050		
project ref.	drawing no.	revision
NU2	NU2-X-352	-



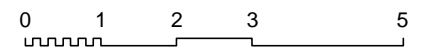
DASHED LINE REPRESENTS CONSENTED SIDE ELEVATION OF 14 NETHERHALL GARDENS, BEYOND, EXTRAPOLATED FROM DRAWING NO.: E_040_G200_001 FROM THE PLANING PORTAL WEBSITE

CHIMNEY BEYOND TO BE REINSTATED TO MATCH EXISTING HEIGHT AND DETAILING

EXISTING CLAY ROOF TILES & DECORATIVE RIDGE TILES TO BE CAREFULLY REMOVED & STORED. TO BE REINSTATED AFTER NEW INSULATED ROOF STRUCTURE IS CONSTRUCTED.

EXISTING GARDEN LEVEL BEYOND

4798



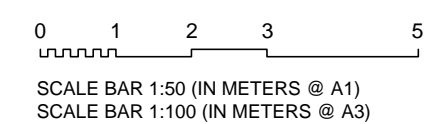
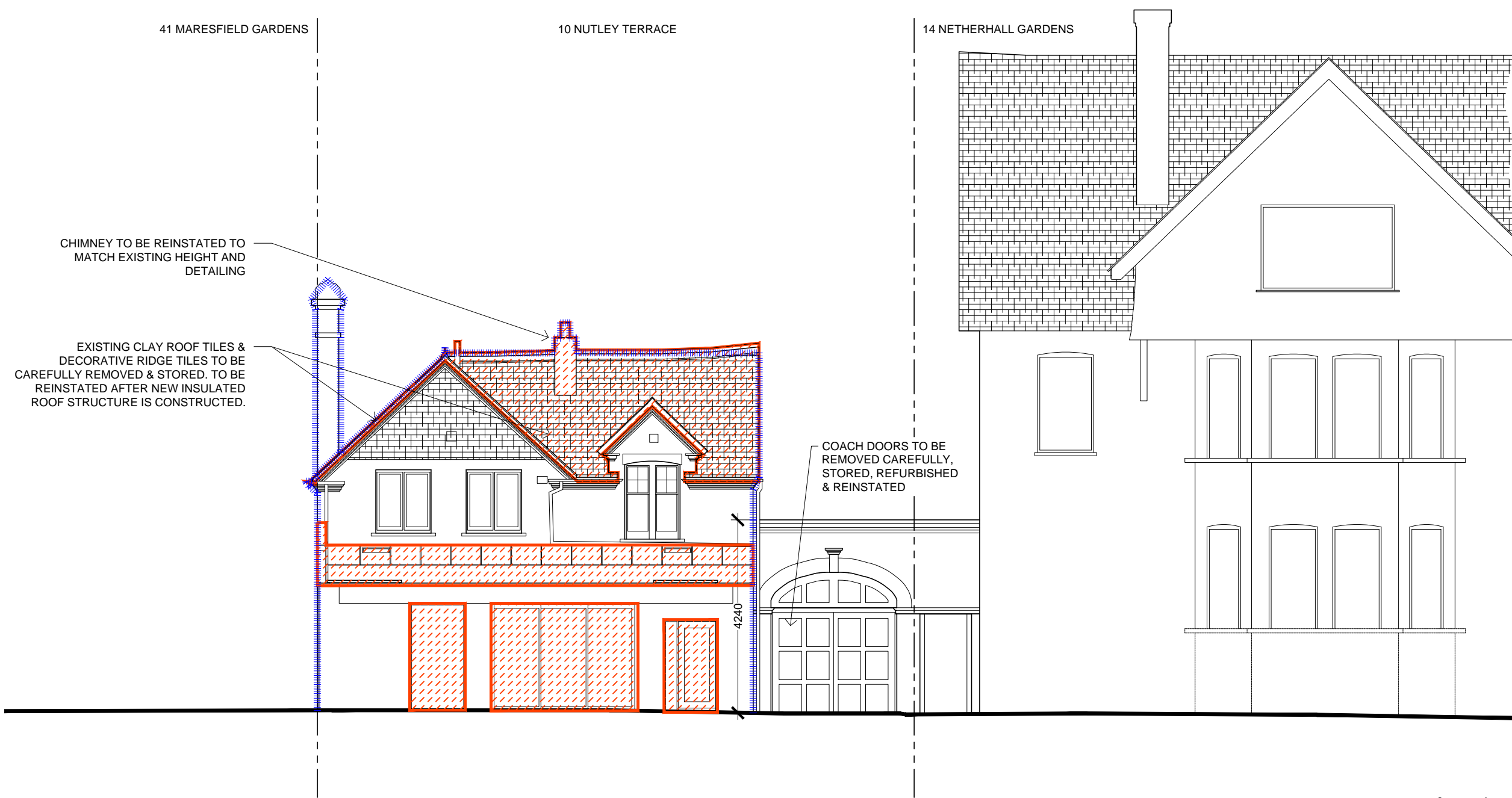
SCALE BAR 1:50 (IN METERS @ A1)
SCALE BAR 1:100 (IN METERS @ A3)

general notes	notes
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purpose of issue	
PLANNING	

LEGEND
EXISTING BUILDING ELEMENTS TO BE DEMOLISHED
OUTLINE OF PROPOSED DEVELOPMENT

PLANNING SUBMITTAL	17/12/18	MP/MR		
rev	notes	date	by	checked
* for construction do not scale from this drawing. * check all dimensions on site.				

project name 10 NUTLEY TERRACE LONDON NW3 5SB		StudioMarkRuthven architecture	
drawing title EXIST'G SIDE/EAST DEMO. ELEVATION & OUTLINE OF PROPOSED		92 Prince of Wales Road, London, NW5 3NE 11 & 13 Patwell Street, Bruton, BA10 0EQ T 020 7485 0050	
scale: 1:100 @ A3 1:50 @ A1	date 11.06.15	project ref.	drawing no.
drawn by .	checked .	NU2	NU2-X-353
			revision
			-



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purpose of issue

PLANNING

notes

LEGEND

EXISTING BUILDING ELEMENTS TO BE DEMOLISHED

OUTLINE OF PROPOSED DEVELOPMENT

PLANNING SUBMITTAL	17/12/18	MP/MR		
rev	notes	date	by	checked
		11.06.15		MR
* for construction do not scale from this drawing.			* check all dimensions on site.	

project name

**10 NUTLEY TERRACE
LONDON NW3 5SB**

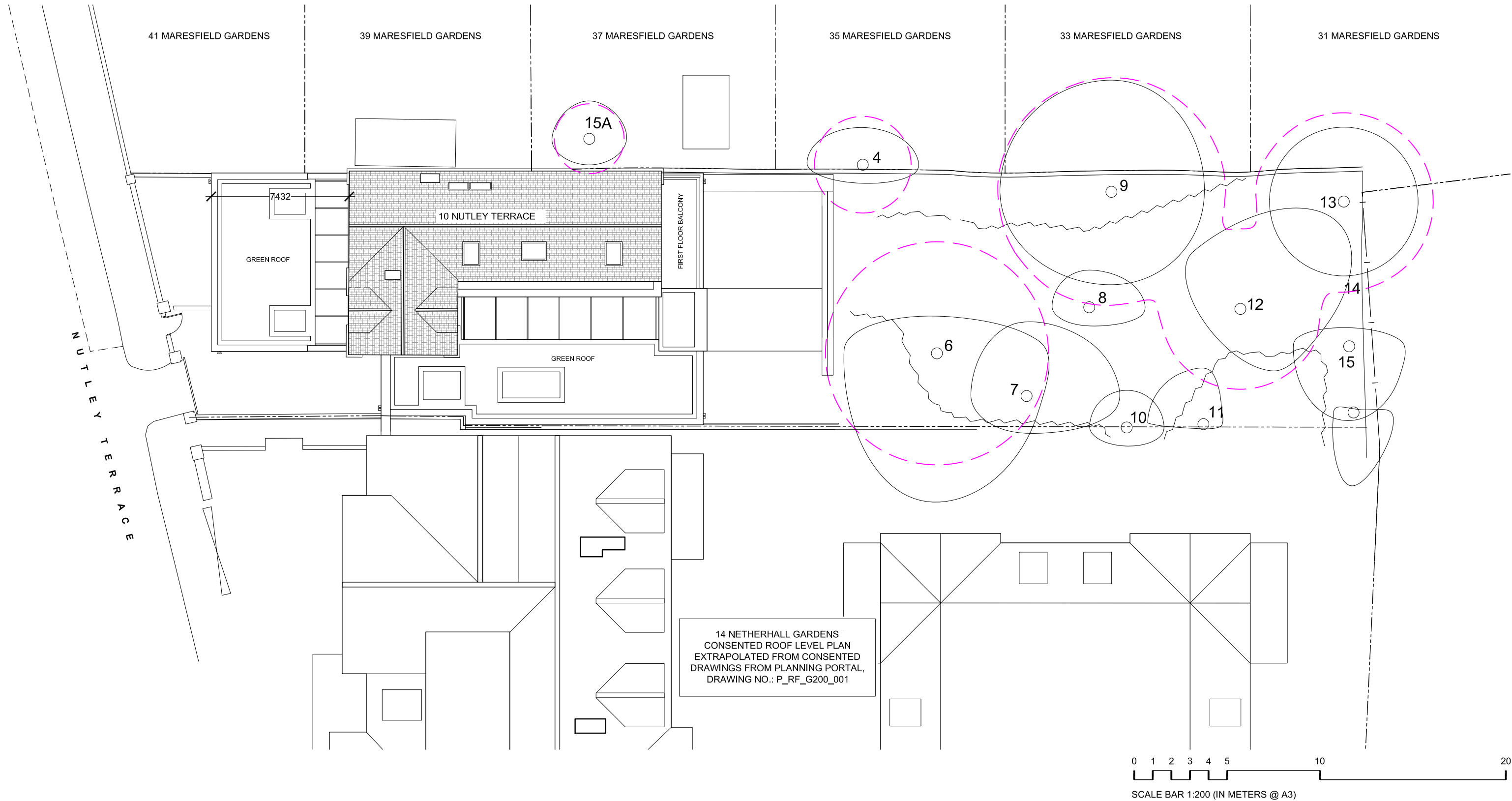
drawing title

EXIST'G FRON/NORTH
DEMO. ELEV. & OUTLINE
OF PROPOSED

**StudioMarkRuthven
architecture**

92 Prince of Wales Road, London, NW5 3NE
11 & 13 Patwell Street, Bruton, BA10 0EQ
T 020 7485 0050

project ref.	drawing no.	revision
NU2	NU2-X-354	-



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purpose of issue

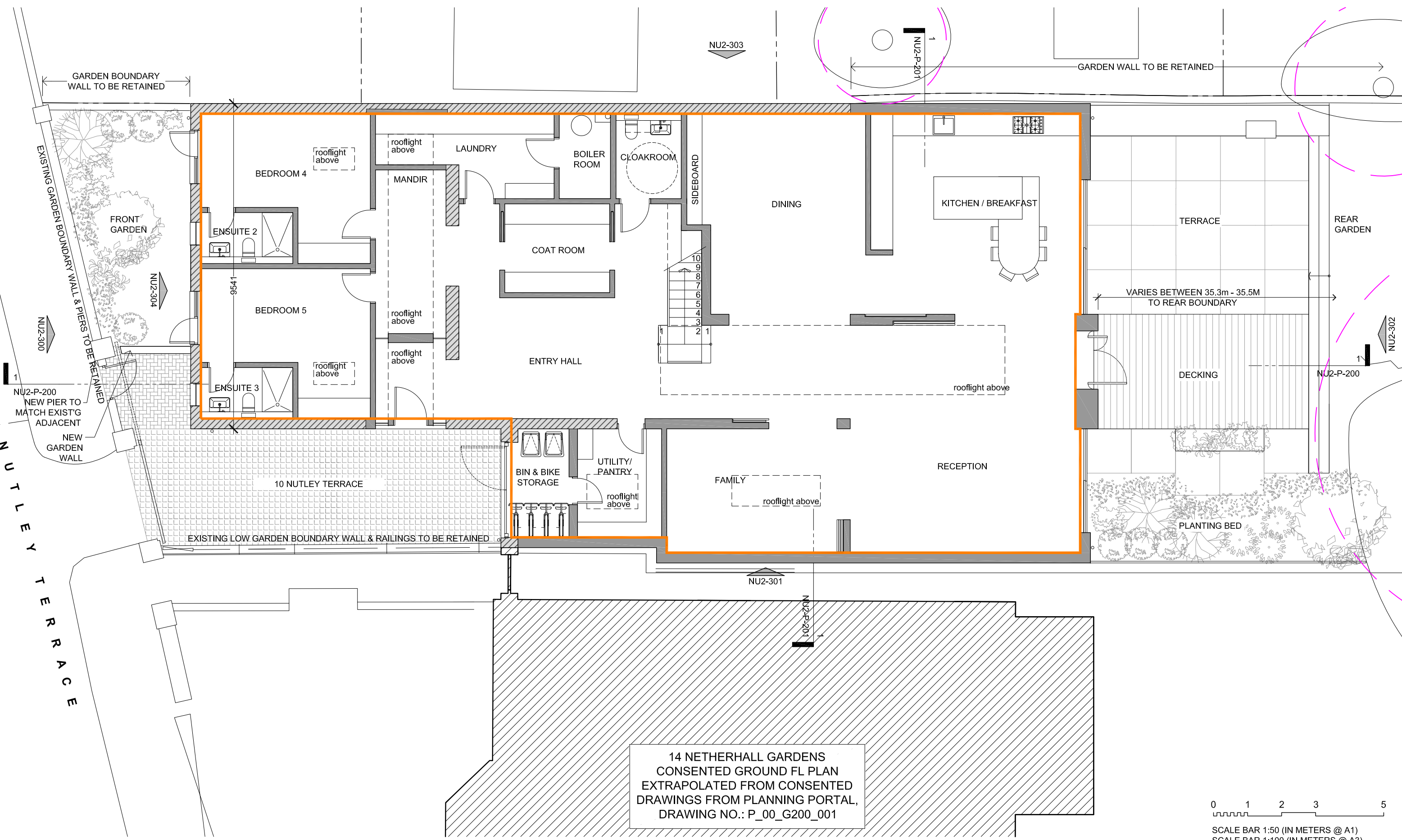
PLANNING

notes

Root Protection Area (RPA)
 for trees with high higher retention priority

NO CHANGE TO ROOF LINES FROM CONSENTED APPLICATION REF: 2015/6528/P, DATED 5 MAY 2017

- PLANNING SUBMITTAL 12/12/18 MP/MR - INFORMATION 05/12/18 MP/MR		project name 10 NUTLEY TERRACE LONDON NW3 5SB		StudioMarkRuthven architecture	
rev notes * for construction do not scale from this drawing. * check all dimensions on site.		drawing title PROPOSED SITE / ROOF PLAN		92 Prince of Wales Road, London, NW5 3NE 11 & 13 Patwell Street, Bruton, BA10 0EQ T 020 7485 0050	
date 12/12/18 by MP/MR checked MP/MR		scale 1:200 @ A3		date 10.10.18	
date 05/12/18 by MP/MR checked MP/MR		drawn by MP		checked MR	
project ref. NU2		drawing no. NU2-P-002		revision -	



14 NETHERHALL GARDENS
 CONSENTED GROUND FL PLAN
 EXTRAPOLATED FROM CONSENTED
 DRAWINGS FROM PLANNING PORTAL,
 DRAWING NO.: P_00_G200_001

0 1 2 3 5
 SCALE BAR 1:50 (IN METERS @ A1)
 SCALE BAR 1:100 (IN METERS @ A3)

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IF IN DOUBT ASK.

purpose of issue

PLANNING

notes

Root Protection Area (RPA)
 for trees with high higher retention priority

GROSS INTERNAL AREA
 = 294.49 SQ. M.

LEGEND

EXISTING TO BE RETAINED

PROPOSED

NO CHANGE TO GROUND FLOOR FOOTPRINT FROM CONSENTED APPLICATION REF: 2015/6528/P, DATED 5 MAY 2017

project name
**10 NUTLEY TERRACE
 LONDON NW3 5SB**

drawing title
 PROPOSED
 GROUND FLOOR
 PLAN

**StudioMarkRuthven
 architecture**

92 Prince of Wales Road, London, NW5 3NE
 11 & 13 Patwell Street, Bruton, BA10 0EQ
 T 020 7485 0050

rev | **notes** | **date** | **by** | **checked**

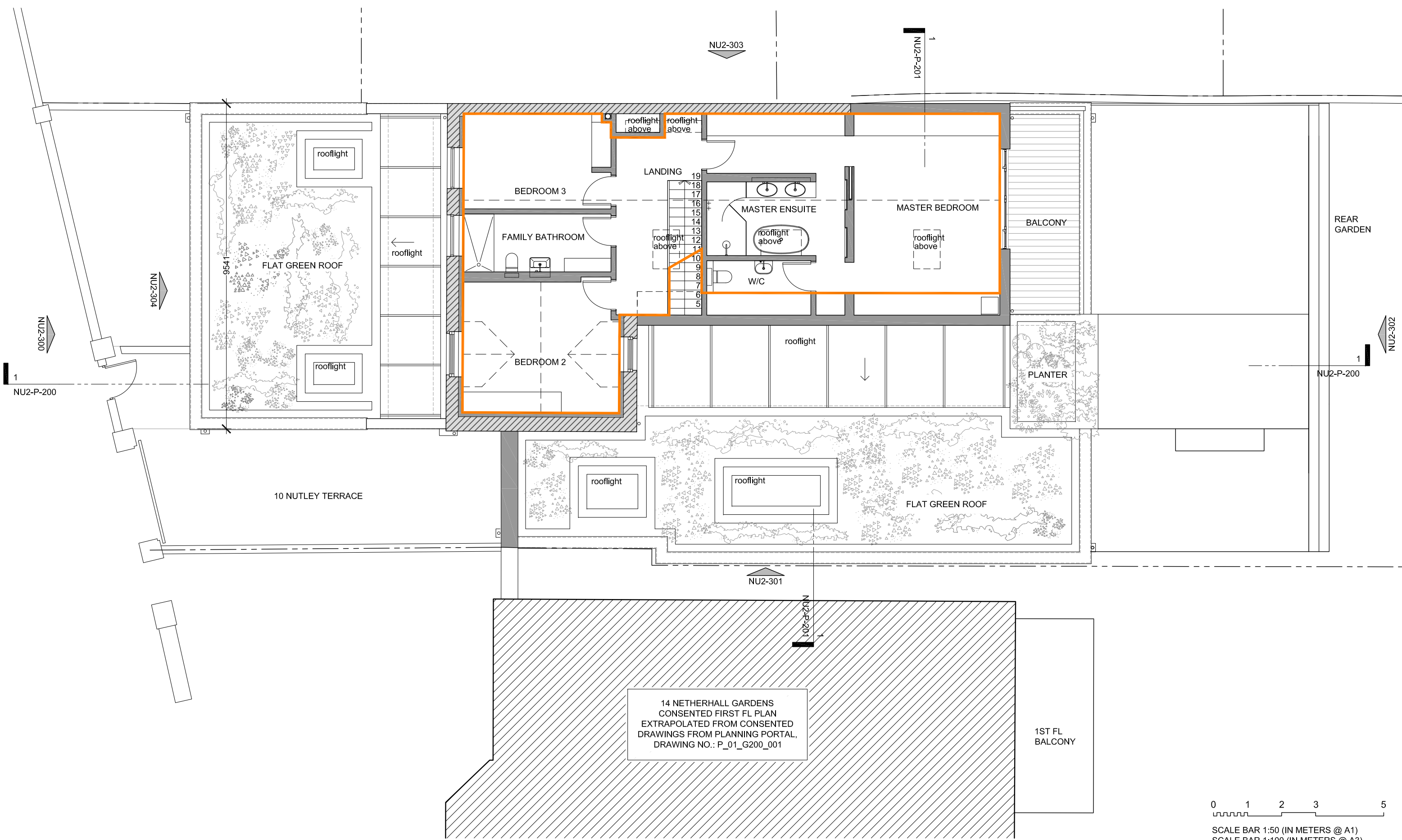
- PLANNING SUBMITTAL 12/12/18 MP/MPR
 - INFORMATION 05/12/18 MP/MPR

scale 1:100 @ A3 | 1:50 @ A1 | date 10.10.18

drawn by MP | checked MR

* for construction do not scale from this drawing.
 * check all dimensions on site.

project ref.	drawing no.	revision
NU2	NU2-P-101	-



14 NETHERHALL GARDENS
 CONSENTED FIRST FL PLAN
 EXTRAPOLATED FROM CONSENTED
 DRAWINGS FROM PLANNING PORTAL,
 DRAWING NO.: P_01_G200_001

0 1 2 3 4 5
 SCALE BAR 1:50 (IN METERS @ A1)
 SCALE BAR 1:100 (IN METERS @ A3)

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FOR THE PURPOSE OF CONSTRUCTION DO NOT SCALE FROM THIS DRAWING OR THE COMPUTER DIGITAL DATA, ONLY FIGURED DIMENSIONS ARE TO BE USED.

IF IN DOUBT ASK.

purpose of issue

PLANNING

notes

NO CHANGE TO FIRST FLOOR OUTLINE FROM CONSENTED APPLICATION REF: 2015/6528/P, DATED 5 MAY 2017

GROSS INTERNAL AREA

= 97.94 SQ. M.

LEGEND

EXISTING TO BE RETAINED

PROPOSED

- PLANNING SUBMITTAL 12/12/18 MP/MP - INFORMATION 05/12/18 MP/MP		project name 10 NUTLEY TERRACE LONDON NW3 5SB	StudioMarkRuthven architecture
rev notes date by checked * for construction do not scale from this drawing. * check all dimensions on site.		drawing title PROPOSED FIRST FLOOR PLAN	92 Prince of Wales Road, London, NW5 3NE 11 & 13 Patwell Street, Bruton, BA10 0EQ T 020 7485 0050
		scale 1:100 @ A3 1:50 @ A1 date 10.10.18	project ref. drawing no. revision NU2 NU2-P-102 -
		drawn by MP checked MR	

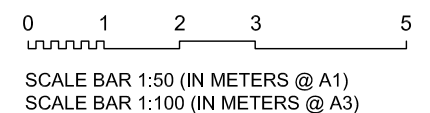
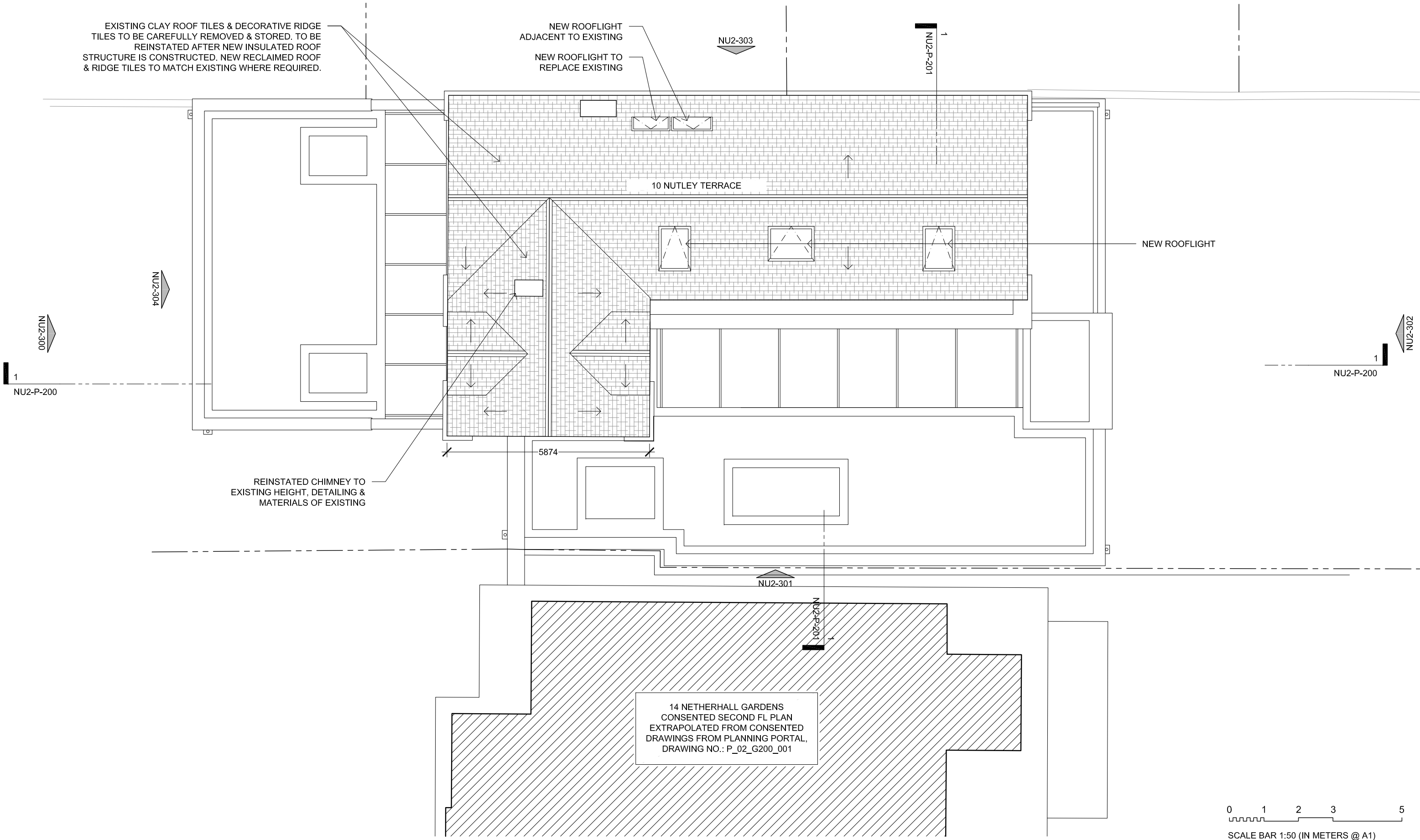
EXISTING CLAY ROOF TILES & DECORATIVE RIDGE TILES TO BE CAREFULLY REMOVED & STORED. TO BE REINSTATED AFTER NEW INSULATED ROOF STRUCTURE IS CONSTRUCTED. NEW RECLAIMED ROOF & RIDGE TILES TO MATCH EXISTING WHERE REQUIRED.

NEW ROOFLIGHT ADJACENT TO EXISTING
NEW ROOFLIGHT TO REPLACE EXISTING

NEW ROOFLIGHT

REINSTATED CHIMNEY TO EXISTING HEIGHT, DETAILING & MATERIALS OF EXISTING

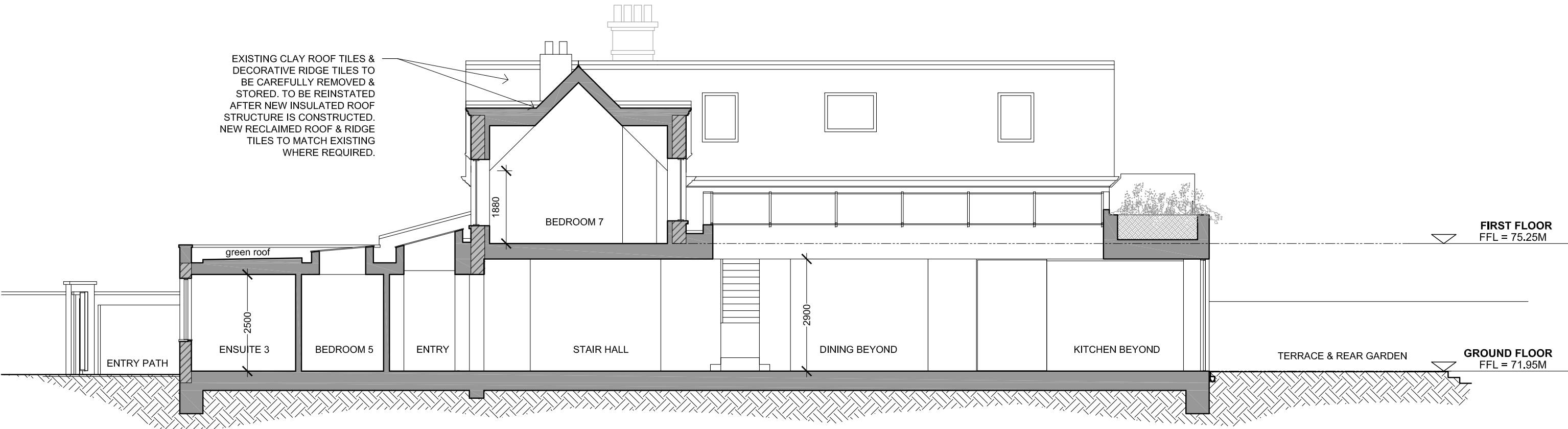
14 NETHERHALL GARDENS
CONSENTED SECOND FL PLAN
EXTRAPOLATED FROM CONSENTED
DRAWINGS FROM PLANNING PORTAL,
DRAWING NO.: P_02_G200_001



general notes
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IF IN DOUBT ASK.
purpose of issue
PLANNING

notes
NO CHANGE TO ROOF LINES FROM CONSENTED APPLICATION REF: 2015/6528/P, DATED 5 MAY 2017

project name		10 NUTLEY TERRACE LONDON NW3 5SB		StudioMarkRuthven architecture	
drawing title		PROPOSED ROOF PLAN		92 Prince of Wales Road, London, NW5 3NE 11 & 13 Patwell Street, Bruton, BA10 0EQ T 020 7485 0050	
- PLANNING SUBMITTAL	12/12/18	MP/MR			
- INFORMATION	05/12/18	MP/MR			
rev	notes	date	by	checked	scale
					1:100 @ A3 1:50 @ A1
* for construction do not scale from this drawing. * check all dimensions on site.					
			drawn by	checked	date
			MP	MR	10.10.18
project ref.	drawing no.	revision			
NU2	NU2-P-103	-			



SCALE BAR 1:50 (IN METERS @ A1)
SCALE BAR 1:100 (IN METERS @ A3)

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purpose of issue
PLANNING

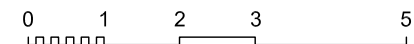
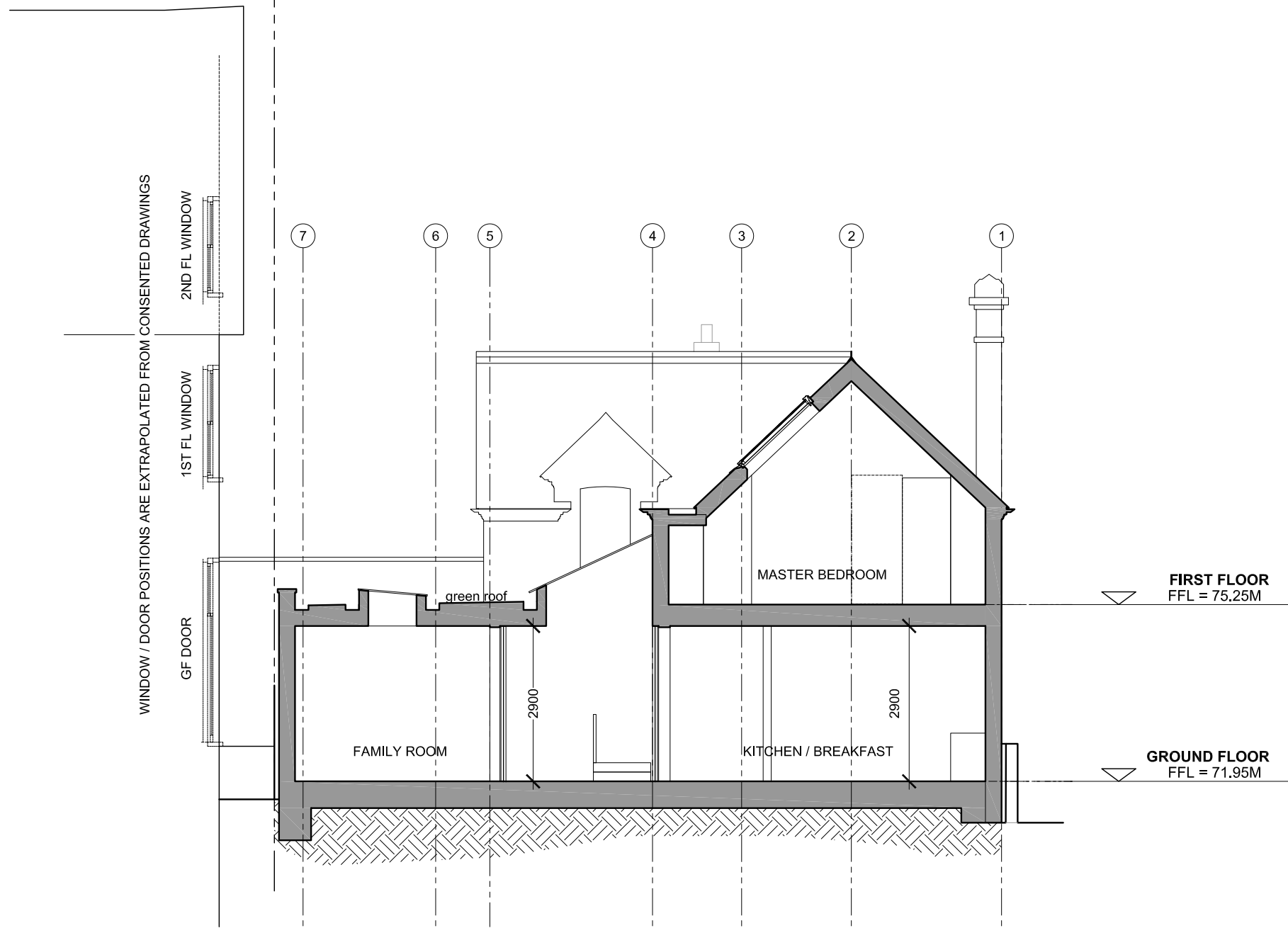
notes
LEGEND
EXISTING CONSTRUCTION TO BE RETAINED
PROPOSED CONSTRUCTION
NO CHANGE TO OUTLINE OF BUILDING SECTION ABOVE GROUND LEVEL FROM CONSENTED APPLICATION REF: 2015/6528/P, DATED 5 MAY 2017

project name		10 NUTLEY TERRACE LONDON NW3 5SB		StudioMarkRuthven architecture	
drawing title		PROPOSED BUILDING SECTION		92 Prince of Wales Road, London, NW5 3NE 11 & 13 Patwell Street, Bruton, BA10 0EQ T 020 7485 0050	
- PLANNING SUBMITTAL	12/12/18	MP/MPR			
- INFORMATION	05/12/18	MP/MPR			
rev	notes	date	by	checked	scale 1:100 @ A3 1:50 @ A1
					date 10.10.18
* for construction do not scale from this drawing.			* check all dimensions on site.		
drawn by MP		checked MR			
project ref.	drawing no.	revision			
NU2	NU2-P-200	-			

14 NETHERHALL GARDENS

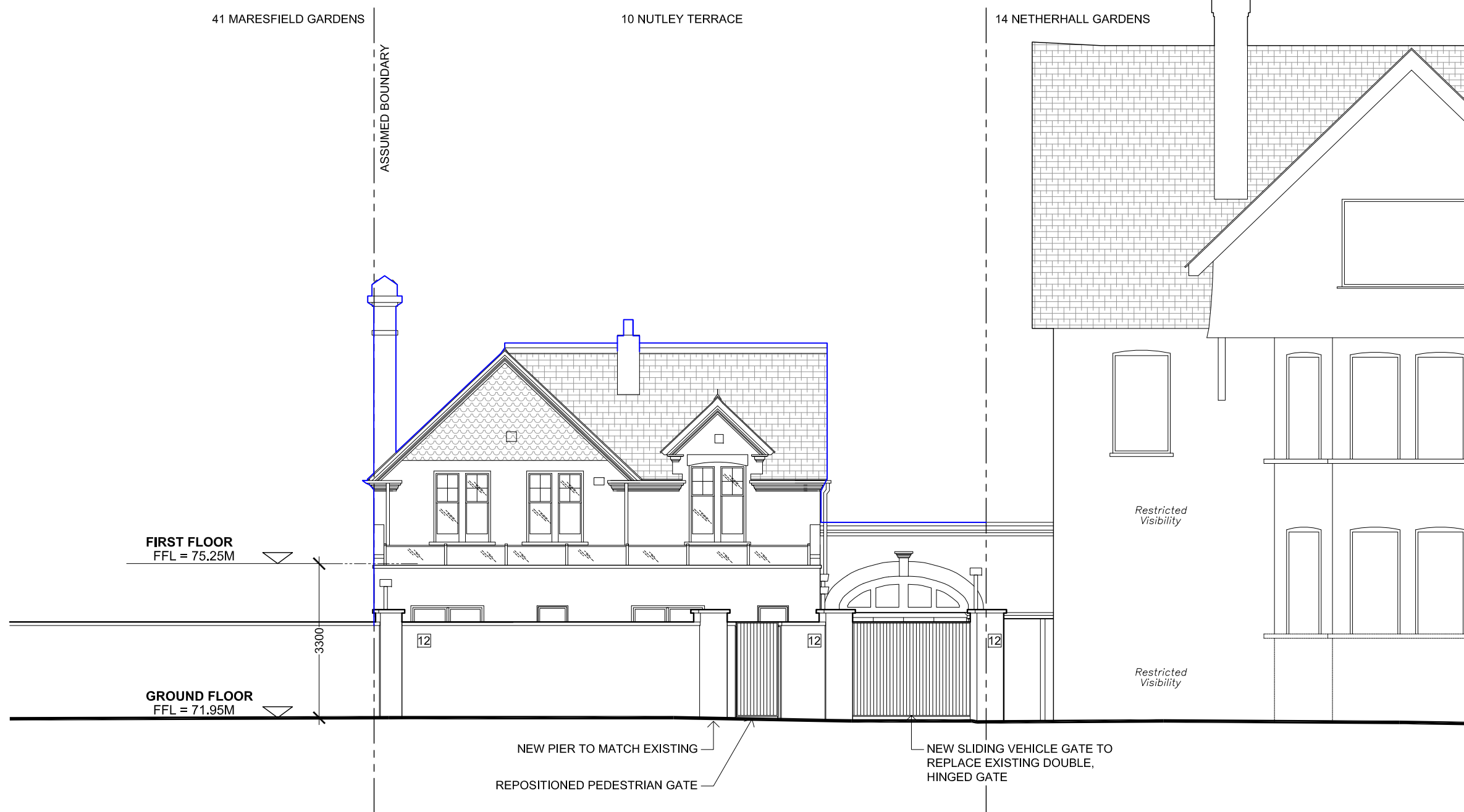
10 NUTLEY TERRACE

37 MARESFIELD GARDENS



SCALE BAR 1:50 (IN METERS @ A1)
SCALE BAR 1:100 (IN METERS @ A3)

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<p>purpose of issue</p> <p>PLANNING</p>		<p>rev notes date by checked</p> <p>- PLANNING SUBMITTAL 12/12/18 MP/MPR - INFORMATION 05/12/18 MP/MPR</p> <p>* for construction do not scale from this drawing. * check all dimensions on site.</p>	<p>scale 1:100 @ A3 1:50 @ A1 date 10.10.18</p> <p>drawn by MP checked MR</p>	<p>project ref. drawing no. revision</p> <p>NU2 NU2-P-201 -</p>



FINISHES LEGEND

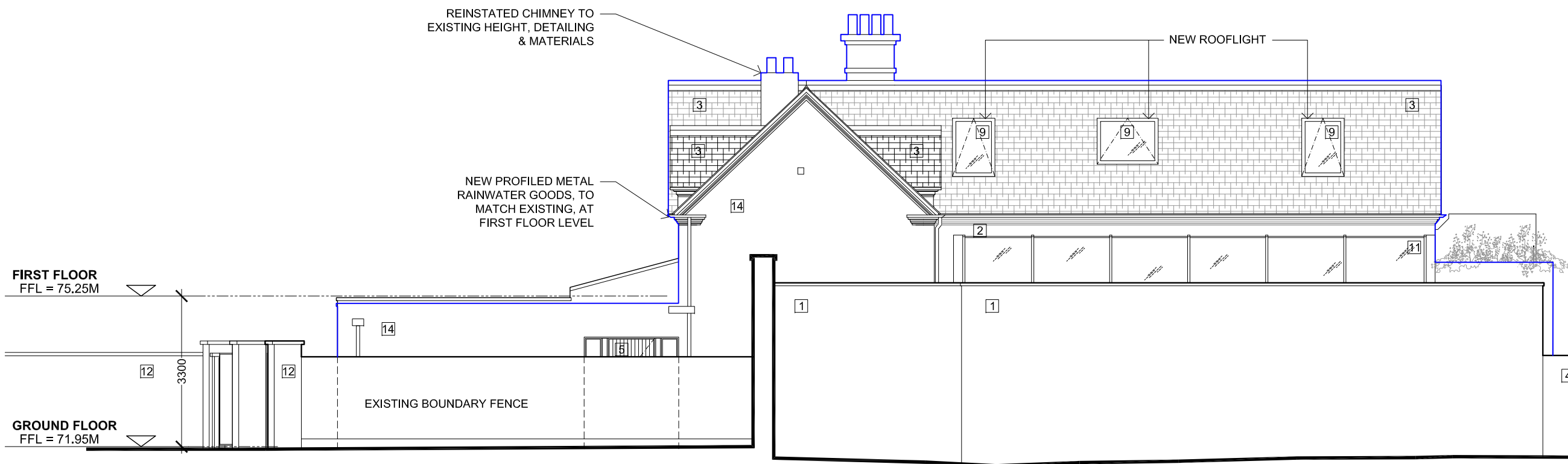
- 1 NEW BRICK MASONRY WALL
- 2 NEW BRICK MASONRY WALL & DETAILING TO MATCH EXISTING
- 3 EXISTING CLAY ROOF TILES & DECORATIVE RIDGE TILES TO BE CAREFULLY REMOVED & STORED. TO BE REINSTATED AFTER NEW INSULATED ROOF STRUCTURE IS CONSTRUCTED. NEW RECLAIMED ROOF & RIDGE TILES TO MATCH EXISTING WHERE REQUIRED OVER EXTENSION.
- 4 TIMBER FENCING
- 5 PAINTED TIMBER ENTRANCE DOOR & GLAZED SIDE PANELS
- 6 PAINTED, TIMBER FRAMED, DOUBLE GLAZED WINDOW / PART GLAZED DOOR
- 7 POWDER COATED, METAL FRAMED, DOUBLE GLAZED SLIDING DOOR
- 8 POWDER COATED, METAL FRAMED, DOUBLE GLAZED PIVOT DOOR
- 9 CONSERVATION STYLE ROOFLIGHT
- 10 FLAT ROOFLIGHT
- 11 PATENT GLAZING TYPE ROOFLIGHT
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- 18 PAINTED METAL RAILINGS
- 19 DOUBLE GLAZED TIMBER FRAMED FRENCH DOOR SET
- 20 NEW TIMBER FRAMED, DOUBLE GLAZED WINDOW TO MATCH ADJACENT

0 1 2 3 5
 SCALE BAR 1:50 (IN METERS @ A1)
 SCALE BAR 1:100 (IN METERS @ A3)

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<p>purpose of issue</p> <p style="text-align: center; font-size: 1.2em;">PLANNING</p>	

<p style="text-align: right;"><i>project name</i></p> <p style="text-align: center;">10 NUTLEY TERRACE LONDON NW3 5SB</p>					
<p style="text-align: right;"><i>drawing title</i></p> <p style="text-align: center;">PROPOSED STREET ELEVATION</p>					
<p>- PLANNING SUBMITTAL 12/12/18 MP/MPR - INFORMATION 05/12/18 MP/MPR</p>		<p>scale 1:100 @ A3 1:50 @ A1</p>		<p>date 10.10.18</p>	
<p>rev notes</p>		<p>date by checked</p>		<p>project ref. drawing no. revision</p>	
<p>* for construction do not scale from this drawing. * check all dimensions on site.</p>		<p>drawn by MP checked MR</p>		<p>NU2 NU2-P-300 -</p>	

<p>StudioMarkRuthven architecture</p>		<p>92 Prince of Wales Road, London, NW5 3NE 11 & 13 Patwell Street, Bruton, BA10 0EQ T 020 7485 0050</p>	
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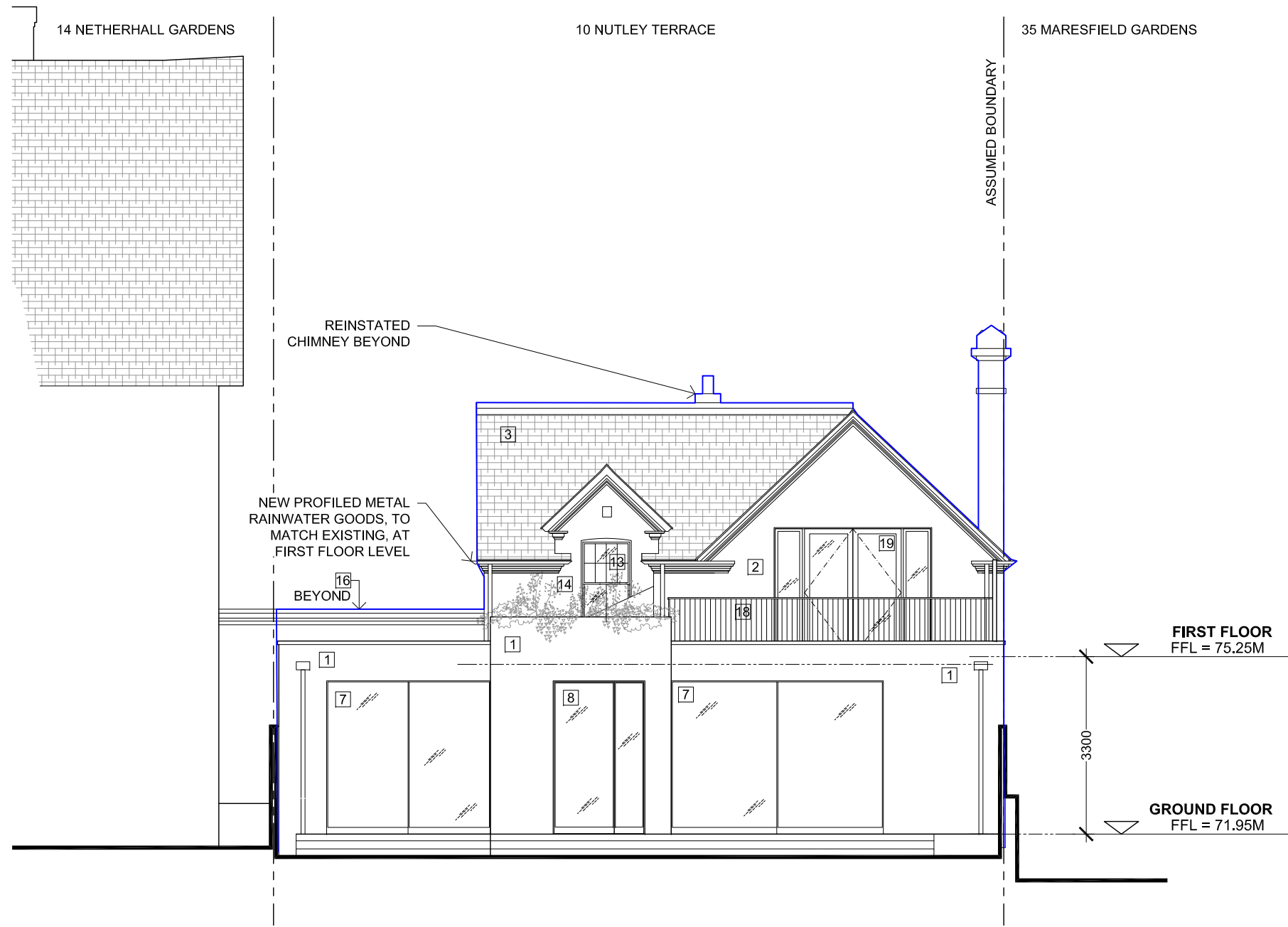
- FINISHES LEGEND**
- 1 NEW BRICK MASONRY WALL
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0 1 2 3 5
 SCALE BAR 1:50 (IN METERS @ A1)
 SCALE BAR 1:100 (IN METERS @ A3)

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purpose of issue
PLANNING

notes
<p>LEGEND</p> <p>— BLUE LINE REPRESENTS OUTLINE OF CONSENTED APPLICATION REF: 2015/6528/P, DATED 5 MAY 2017</p>

		<i>project name</i>		10 NUTLEY TERRACE LONDON NW3 5SB		StudioMarkRuthven architecture	
		<i>drawing title</i>		PROPOSED SIDE / WEST ELEVATION		92 Prince of Wales Road, London, NW5 3NE 11 & 13 Patwell Street, Bruton, BA10 0EQ T 020 7485 0050	
- PLANNING SUBMITTAL 12/12/18 MP/MPR - INFORMATION 05/12/18 MP/MPR		scale 1:100 @ A3 1:50 @ A1		date 10.10.18		<i>project ref.</i> NU2	
<i>rev</i> <i>notes</i> <i>date</i> <i>by</i> <i>checked</i>		<i>drawn by</i> MP		<i>checked</i> MR		<i>drawing no.</i> NU2-P-301	
* for construction do not scale from this drawing. * check all dimensions on site.						<i>revision</i> -	



- FINISHES LEGEND**
- 1 NEW BRICK MASONRY WALL
 - 2 NEW BRICK MASONRY WALL & DETAILING TO MATCH EXISTING
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0 1 2 3 5
 SCALE BAR 1:50 (IN METERS @ A1)
 SCALE BAR 1:100 (IN METERS @ A3)

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purpose of issue

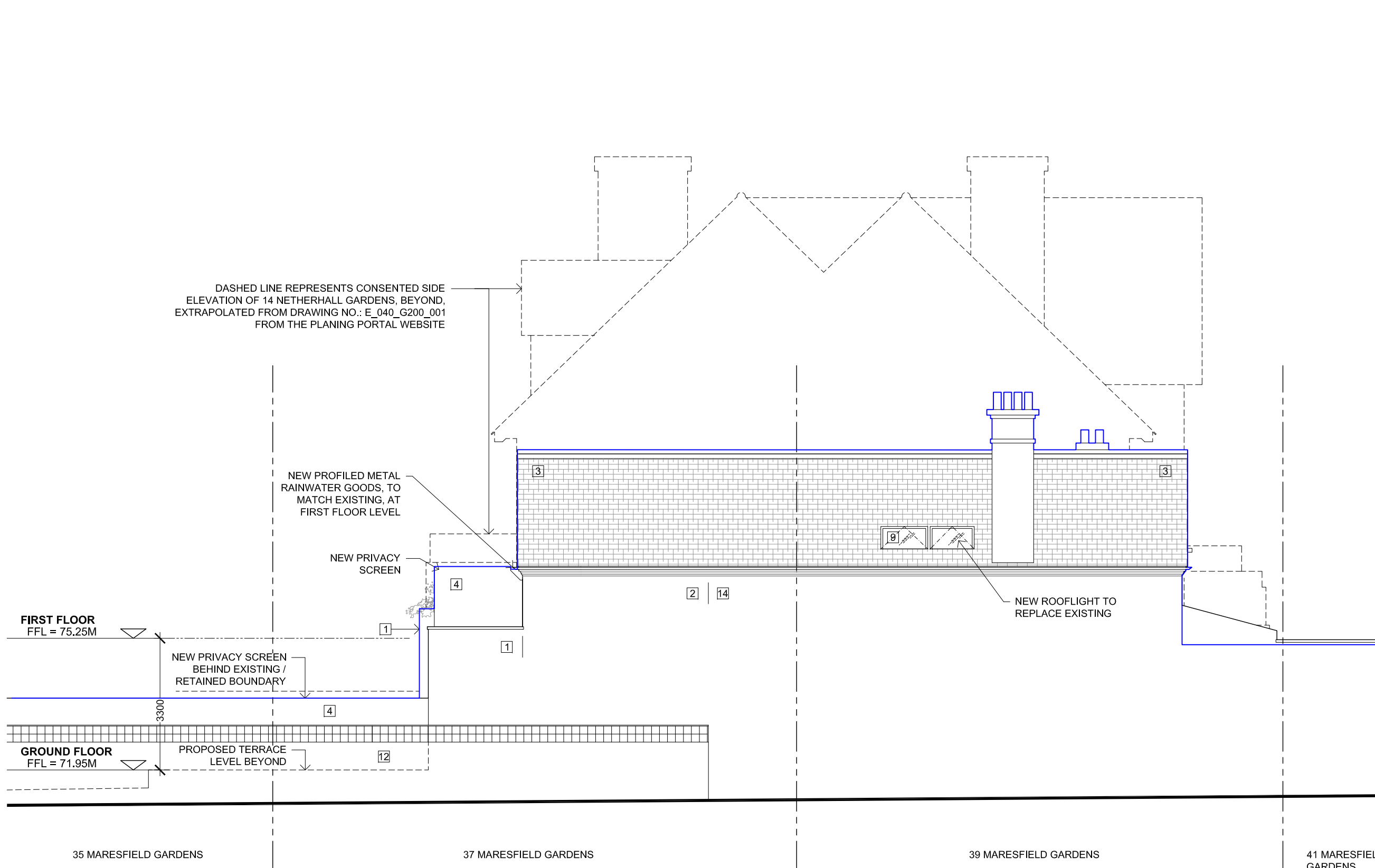
PLANNING

notes

LEGEND

— BLUE LINE REPRESENTS OUTLINE OF CONSENTED APPLICATION REF: 2015/6528/P, DATED 5 MAY 2017

- PLANNING SUBMITTAL 12/12/18 MP/MP - INFORMATION 05/12/18 MP/MP		project name 10 NUTLEY TERRACE LONDON NW3 5SB		StudioMarkRuthven architecture	
rev notes date by checked * for construction do not scale from this drawing. * check all dimensions on site.		drawing title PROPOSED REAR / SOUTH ELEVATION		92 Prince of Wales Road, London, NW5 3NE 11 & 13 Patwell Street, Bruton, BA10 0EQ T 020 7485 0050	
scale 1:100 @ A3 1:50 @ A1 date 10.10.18		project ref. drawing no. revision NU2 NU2-P-302 -			
drawn by MP checked MR					



DASHED LINE REPRESENTS CONSENTED SIDE ELEVATION OF 14 NETHERHALL GARDENS, BEYOND, EXTRAPOLATED FROM DRAWING NO.: E_040_G200_001 FROM THE PLANING PORTAL WEBSITE

NEW PROFILED METAL RAINWATER GOODS, TO MATCH EXISTING, AT FIRST FLOOR LEVEL

NEW PRIVACY SCREEN

NEW PRIVACY SCREEN BEHIND EXISTING / RETAINED BOUNDARY

NEW ROOFLIGHT TO REPLACE EXISTING

- FINISHES LEGEND**
- 1 NEW BRICK MASONRY WALL
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0 1 2 3 5
 SCALE BAR 1:50 (IN METERS @ A1)
 SCALE BAR 1:100 (IN METERS @ A3)

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purpose of issue

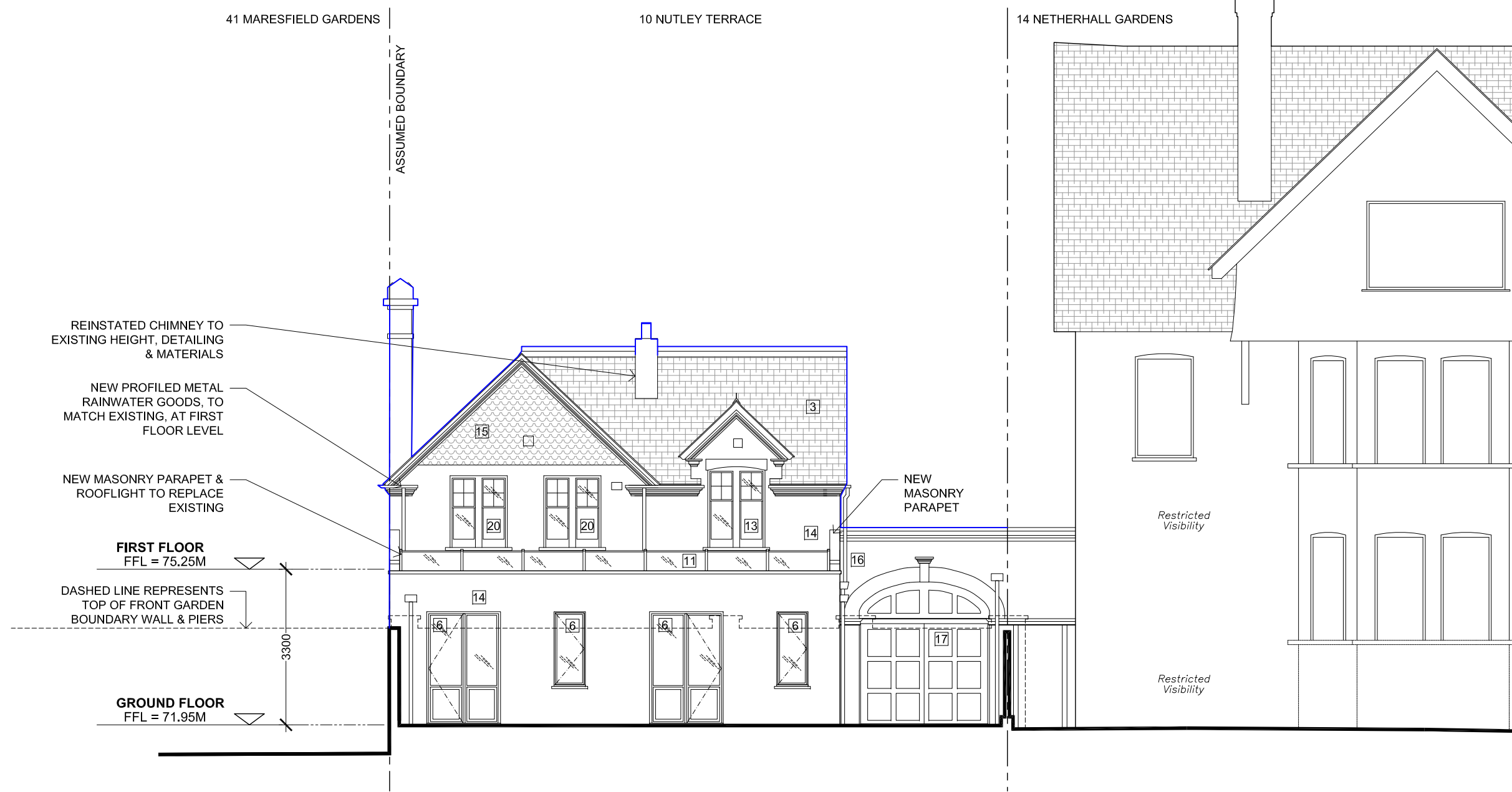
PLANNING

notes

LEGEND

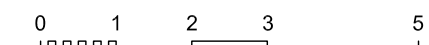
— BLUE LINE REPRESENTS OUTLINE OF CONSENTED APPLICATION REF: 2015/6528/P, DATED 5 MAY 2017

- PLANNING SUBMITTAL 12/12/18 MP/MP - INFORMATION 05/12/18 MP/MP		<i>project name</i> 10 NUTLEY TERRACE LONDON NW3 5SB		StudioMarkRuthven architecture		
		<i>drawing title</i> PROPOSED SIDE / EAST ELEVATION		92 Prince of Wales Road, London, NW5 3NE 11 & 13 Patwell Street, Bruton, BA10 0EQ T 020 7485 0050		
<i>rev</i> <i>notes</i>	<i>date</i> <i>by</i> <i>checked</i>	<i>scale</i> 1:100 @ A3 1:50 @ A1	<i>date</i> 10.10.18	<i>project ref.</i> NU2	<i>drawing no.</i> NU2-P-303	<i>revision</i> -
* for construction do not scale from this drawing. * check all dimensions on site.		<i>drawn by</i> MP	<i>checked</i> MR			



FINISHES LEGEND

- 1 NEW BRICK MASONRY WALL
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SCALE BAR 1:50 (IN METERS @ A1)
SCALE BAR 1:100 (IN METERS @ A3)

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<p>LEGEND</p> <p>— BLUE LINE REPRESENTS OUTLINE OF CONSENTED APPLICATION REF: 2015/6528/P, DATED 5 MAY 2017</p>

project name		10 NUTLEY TERRACE LONDON NW3 5SB		StudioMarkRuthven architecture	
drawing title		PROPOSED FRONT / NORTH ELEVATION		92 Prince of Wales Road, London, NW5 3NE 11 & 13 Patwell Street, Bruton, BA10 0EQ T 020 7485 0050	
- PLANNING SUBMITTAL	12/12/18	MP/MP			
- INFORMATION	05/12/18	MP/MP			
rev	notes	date	by	checked	scale 1:100 @ A3 1:50 @ A1
					date 10.10.18
* for construction do not scale from this drawing.					
* check all dimensions on site.					
drawn by MP		checked MR		project ref. NU2	drawing no. NU2-P-304
				revision	-