

BUILDING DESIGN PARTNERSHIP LTD SHALL HAVE NO RESPONSIBILITY FOR ANY USE MADE OF THIS DOCUMENT OTHER THAN FOR THAT WHICH IT WAS PREPARED AND ISSUED.  
 ALL DIMENSIONS SHOULD BE CHECKED ON SITE.  
 DO NOT SCALE FROM THIS DRAWING.  
 ANY DRAWING ERRORS OR DIVERGENCES SHOULD BE BROUGHT TO THE ATTENTION OF BUILDING DESIGN PARTNERSHIP LTD AT THE ADDRESS SHOWN BELOW.

**METHOD STATEMENT**  
 SEE SPECIFIC NOTES FOR EACH WALL

**INTERNAL WALLS**

All metal elements associated with previous museum shelving to be carefully removed.

Carefully remove all modern plasterboard and plaster finishes from areas identified in the drawings.

Ensure existing laths are trimmed and fixed to end on a timber stud.

Fix new timber replacement laths spaced approximately 6-8mm apart to allow enough space for the haired plaster to be pushed up between them, and to form good nibs or keys. Laths to be fixed parallel to one another by nailing them to every stud that they cross. Replacement laths to be trimmed to length so that they end on a stud. A gap of 3mm to be allowed between butt ends of laths. Joints in laths to be staggered every 12th lath. Where laths pass over joists, beams, posts or studs wider than 75mm, counter lathing should be used to form a space behind the laths to accommodate plaster nibs. All new metal fixings to be non-ferrous or stainless steel.

A new 3 coat non-hydraulic lime plaster finish to be applied consisting of:  
 1) Pricking up coat- 1 part mature lime putty, 2.5 parts well-graded sand, 5kg hair per m3 of coarse stuff  
 2) Floating coat- 1 part mature lime putty, 2.5 parts well-graded sand, 3-5kg hair per m3 of coarse stuff  
 3) Setting coat plaster- 1 part mature lime putty, 1 part fine sand

New lime plaster finish to finish flush with existing adjacent plasterwork.

New matt emulsion paint decoration- Allow for 2no. coats based on colour selection to be agreed with architect and British Museum. Farrow and Ball colours to be matched with Dulux trade paint.

Repair all intrusive investigations in walls with lime plaster as above.

**CEILING**

New matt emulsion paint decoration. Colour to be agreed with architect and British Museum. Refer to (45) series reflected ceiling plans for additional information.

**WINDOWS**

Overhaul of existing sash windows to ensure full operation. To be fully redecorated. Refer to Window schedule for specific information.

**DOORS**

Doors to be redecorated in eggshell paint finish to match joinery. Refer to Door schedule for further information. Requirement for fire upgrade tbd.

**JOINERY**

Areas of missing skirting to be replaced with new hardwood boards to match the existing profile. Extent illustrated within red lines of drawing. Eggshell paint decoration in colour to be agreed.

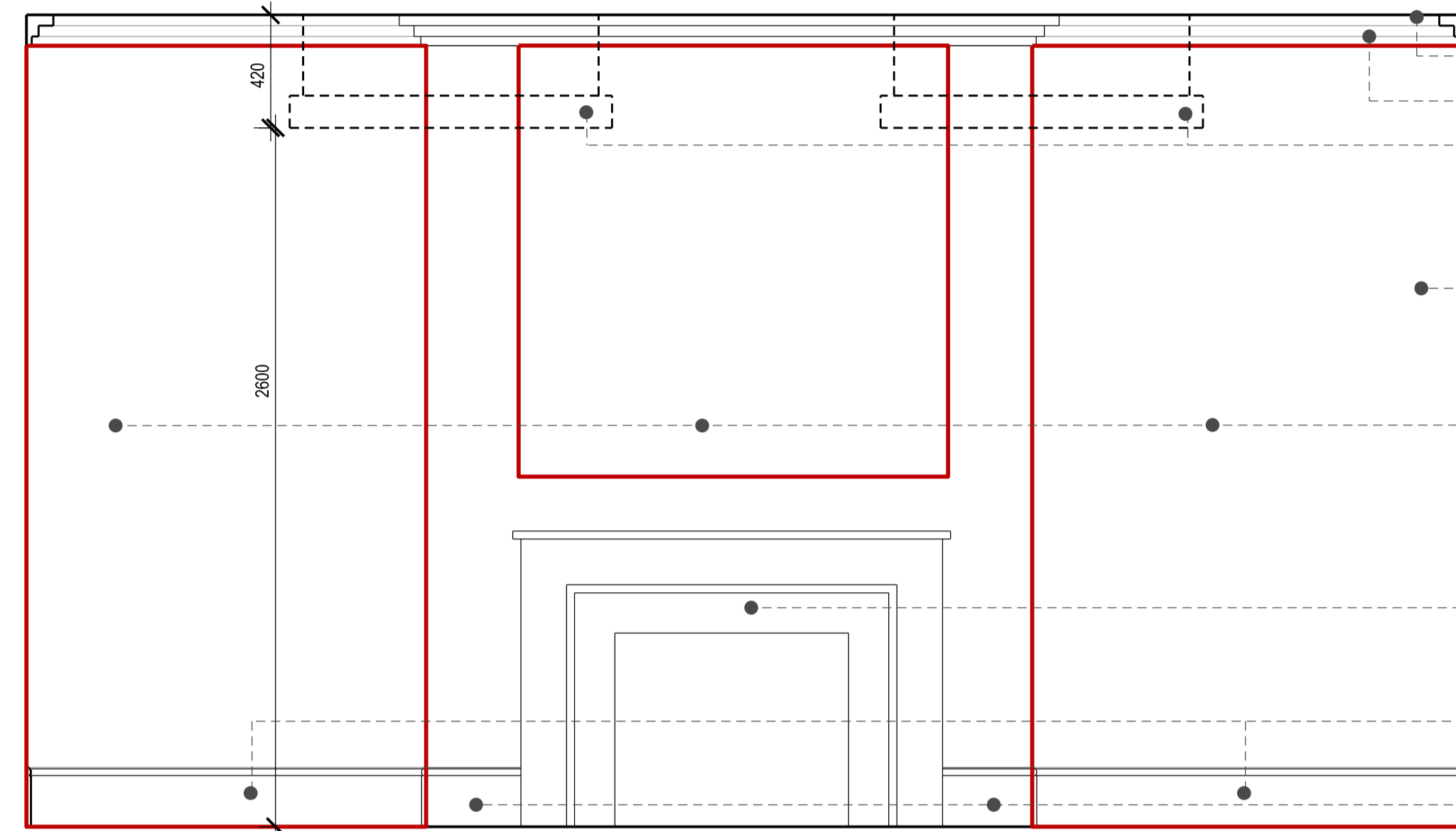
**NOTES**

EXISTING STRUCTURE

NEW CONSTRUCTION

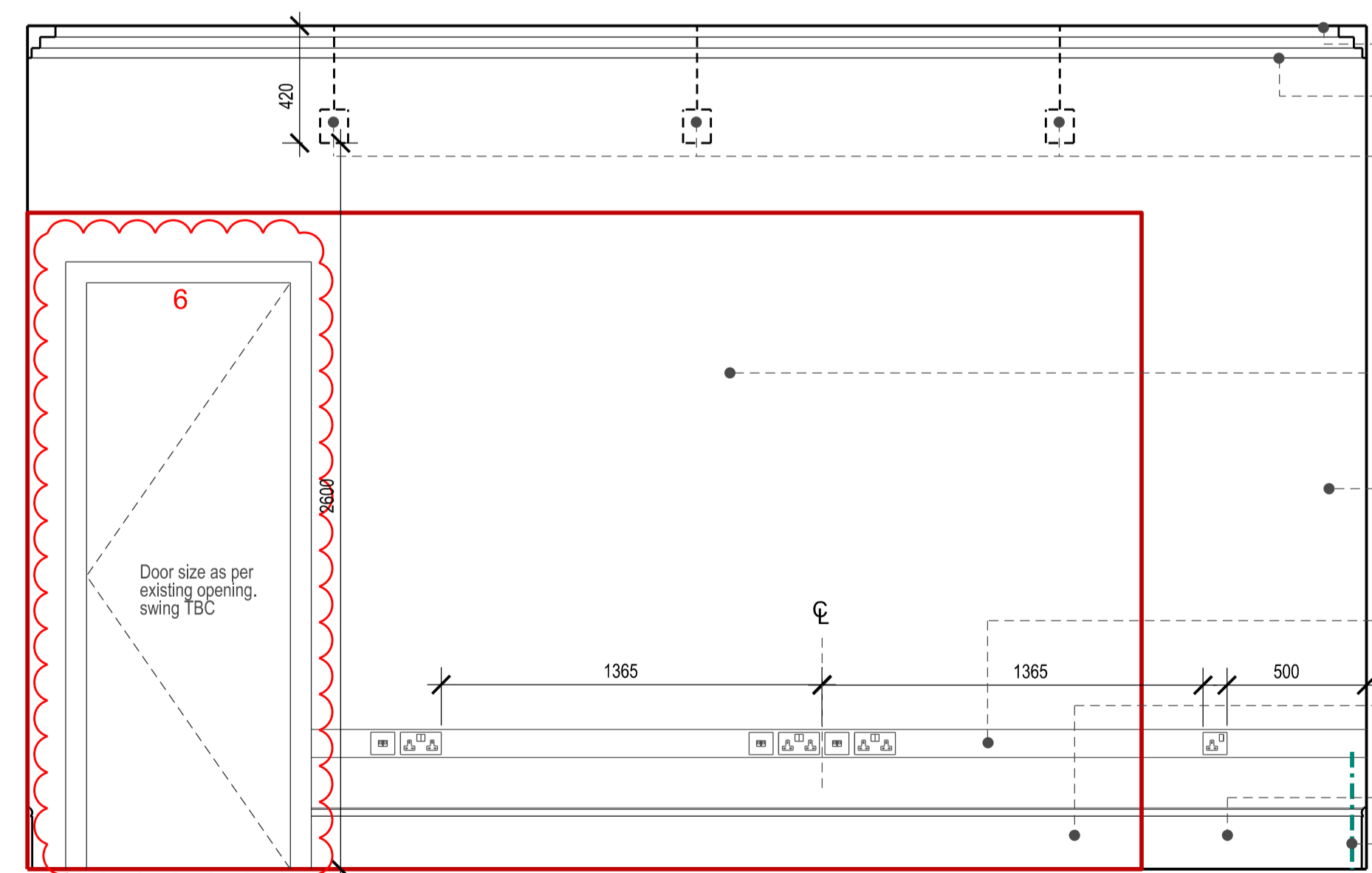
EXTENT OF REPAIR WORK

REVISION CLOUD REFERS TO VRF REMOVED OR RADIATOR ADDED



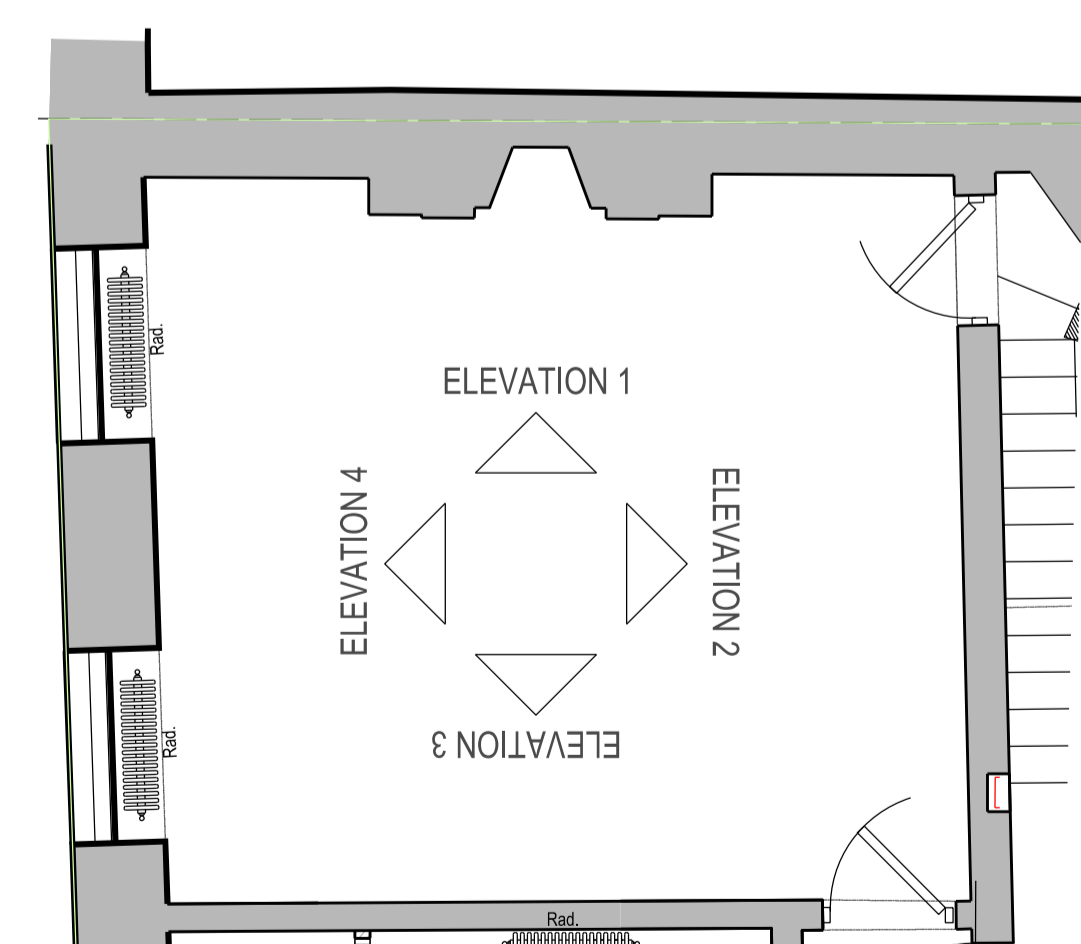
ELEVATION 1  
1:20

- Ceilings to be repaired where required and redecorated. Refer to drawing (35)AP004
- Existing decorative plaster cornice to be redecorated
- Indicative layout for suspended lighting. Refer to reflected ceiling plans (35 series drawings) for further details. Lighting specification TBD
- All walls to be redecorated with matt emulsion paint. Colour to be agreed.
- Metalwork and damaged modern plaster finishes to be carefully removed. New lath and plaster finish to match existing adjacent. TBD
- Fireplace to be cleaned. Protection required throughout construction phase
- New skirting to match profile of existing
- Existing skirting in good condition to be retained and redecorated



ELEVATION 2  
1:20

- Ceilings to be repaired where required and redecorated. Refer to drawing (35)AP004
- Existing decorative plaster cornice to be redecorated
- Indicative layout for suspended lighting. Refer to reflected ceiling plans (35 series drawings) for further details. Lighting specification TBD
- Metalwork to be carefully removed. Damaged modern plaster finishes made good to provide suitable surface for new plasterboard.
- Lath and plaster wall to be overboarded with new plasterboard to provide the required 30 minute fire protection. New skim coat and decoration with matt emulsion paint finish. Colour to be agreed.
- New surface mounted perimeter trunking "Sceptre trunking" range by Marshall. 100x40 mm
- New skirting to match profile of existing
- Existing skirting in good condition to be retained and redecorated
- Recessed cable route to horizontal trunking. Localised plaster repairs and redecoration required.



PLAN - 1MS/4/008 - 1.50



REVISION / DESCRIPTION	DRAWN	CHECKED	DATE

E - For Planning and Listed Building Consent Application	NA	AC	17/12/18
D - For Planning and Listed Building Consent Application	NA	AC	05/11/18
C - For Planning and Listed Building Consent Application	NA	AC	24/04/18
B - For Planning and Listed Building Consent Application	LBE	MB	23/06/17
A - For Planning and Listed Building Consent Application	LBE	MB	01/06/17
FIRST ISSUE	LB	MB	12/05/17



**BDP.**

16 Brewhouse Yard  
 Clerkenwell  
 London, EC1V 4LJ  
 United Kingdom

T +44 (0)20 7812 8000  
 F +44 (0)20 7812 8399  
 www.bdp.com

British Museum Perimeter Properties Refurbishment	
P2007246	
DRAWING TITLE 1 Montague Street Second Floor Level 1MS/4/008 Internal Elevations 1 - 2 Planning and LBC Application	SCALE 1:20@A1
DRAWING NO. (70)AD011	DATE May 17
	REVISION E