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**FAO: Seonaid Carr / Frances Madders**

07 December 2018

**Our ref: NGR/HBR/J10383A**

**Your ref:**

Dear Sir

**16-20 Kentish Town Road, London, NW1  
Application for Planning Permission**

We write on behalf of our client, Camden Mixed Developments Limited, to submit a planning application for the partial demolition and redevelopment of 16-20 Kentish Town Road, London ('the Site').

**The Site**

The Site is made up of 16 Kentish Town Road and Grand Union House, 20 Kentish Town Road.

The Site is located in the north-western corner of the triangular block between Kentish Town Road, Camden Road and Regents Canal on the eastern side of Kentish Town Road, opposite the entrance to Buck Street, 100 yards north of Camden Town underground station. Accordingly the Site benefits from a Public Transport Accessibility Level (PTAL) of 6b (the highest possible level).

The Site is also located opposite the proposed secondary entrance to Camden Town underground station, on Buck Street. A planning application is due to be submitted by TfL at the end of 2019/beginning of 2020. Planning permission was also recently granted for a new market on Buck Street, opposite the Site.

The Site is located within Camden Town Town Centre and forms a secondary protected frontage. The Site also sits within the Regent's Canal and Camden Town Conservation Areas. Whilst the existing building is not listed there are a number of listed and locally listed buildings nearby, most notably the Grade II listed Church of St Michael's, adjacent.

The existing building at 20 Kentish Town Road occupies the eastern side of Kentish Town Road, and is located on the former site of a four storey Art Deco main production building of the ABC factory (built in 1939 and demolished in the early 1980s). The existing building is part of the subsequent 1980s Sainsbury's supermarket development on Camden Road designed by Nicolas Grimshaw Architects.

The existing building at Grade Union House, 20 Kentish Town Road has a raised first floor podium level, with columns and metal sheeting at ground floor level to shield the car parking behind. From

first floor podium level up, there is a single storey of office (Class B1) accommodation with an additional mezzanine level. The office accommodation is accessed off a lift and stair core located adjacent to the route through the Site at ground floor level. On the opposite side of the route is a small retail (Class A1) unit. There is also a retail bar (Class A4) located within the southernmost unit of the building. 16 Kentish Town Road is a separate single storey building of one storey accessed directly off Kentish Town Road, adjacent to the bar within Grand Union House. Some of the office space accommodation is occupied and the retail unit is also currently let. The rest of the building is vacant.

### The Proposals

The proposals have been subject to extensive pre-application consultation with officers, statutory consultees, amenity groups and local residents, as documented in the Statement of Community Involvement submitted with the application. The proposals have evolved throughout the consultation process to address comments raised.

The planning application seeks permission for the following:

**“Partial demolition and redevelopment of the existing building, to provide a new office (Class B1) building with associated roof terraces, ground floor flexible town centre uses (Class A1 and/or A3 and/or D2), and 6 affordable housing units, along with associated landscaping works.”**

### Application Documentation

As agreed with officers during pre-application discussions, the following documents have been submitted on the Planning Portal:

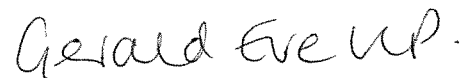
- Planning Application Drawings produced by AP Architects;
- Design and Access Statement produced by AP Architects;
- Landscape Statement produced by Turkington Martin;
- Affordable Housing Statement produced by Gerald Eve LLP;
- Daylight and Sunlight Assessment produced by Point 2 Surveyors;
- Statement of Community Involvement produced by Four Communications;
- Sustainability Statement (including BREEAM Pre-Assessment) produced by WSP;
- Acoustic Report produced by WSP;
- Air Quality Assessment produced by WSP;
- Construction Management Plan produced by RPM;
- Transport Assessment (including Travel Plan, Waste Strategy and Delivery and Servicing Management Plan) produced by WSP;
- Sustainable Urban Drainage Strategy produced by WSP;
- Townscape, Heritage Visual Impact Assessment produced by Ettwein Bridges;
- Structural Report produced by WSP;
- Energy Statement produced by WSP;
- Health Impact Assessment produced by WSP;
- Regeneration Statement produced by Quod;
- Arboricultural Assessment produced by WSP; and
- Financial Viability Assessment produced by Savills.

The planning application fee of £38,346.00 is being paid by BACS transfer following submission of the application on the Planning Portal.

We look forward to confirmation of registration and validation of the application shortly.

Should you have any questions in the meantime, please do not hesitate to contact either Nia Fraser or Hannah Bryant of this office.

Yours faithfully



**Gerald Eve LLP**

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