

Ref: 1807  
Date: 29 November 2018



## HERITAGE STATEMENT

### 9 WOODSOME ROAD LONDON NW5 1RX



Figure 1: 9 Woodsome Road, front elevation

## Details

**Application:** Removal of two storey rear offshoot and erection of new extension. Internal alterations to ground floor and second floor.

**Relevant Planning Details:**

Not Listed

Dartmouth Park Conservation Area

**Relevant Planning Policies & Guidance:**

Design CPG1

Dartmouth Park Conservation Area Appraisal and Management Strategy

Local Plan Policy D2

## Context

Woodsome Road runs east-west from Highgate Road, across Boscastle Road to York Rise. The West end of the street, which includes number 9, consists of relatively uniform three storey stock brick terraced townhouses built in the 1870s. There is a clear rhythm to the street with the terraces broken into groups of fours and fives. The end terraces have hipped roofs creating some punctuation between one group and the next. Almost all of the houses have brick two storey offshoots to the rear, which cover approximately 50% of the rear elevation. Many of these houses have had alterations and extensions carried out over the years.

While the front elevations have maintained their uniform appearance with stucco to the ground floor, brick to the upper floors and decorative corbels beneath the eaves line, the rear is more of a patchwork. Many houses have in filled the space between the rear offshoots at ground floor level. One in particular has removed the whole of the offshoot and replaced it with a new extension.

The rear offshoot of number 9 forms a utility and shower room on the ground floor and a linen cupboard and bathroom on the first floor. The construction is relatively basic. The solid brick walls are plastered on the hard with no insulation. The roof is covered with brown concrete roof tiles. While the original materials to the rear would have been predominantly stock brick, that is now interspersed with several white painted offshoots and one or two white rendered offshoots.



Figure 2: View of rear from garden.



Figure 3: Views of rear from garden.

The photos above show how these houses lack good connection to the garden. The rear rooms were historically of less significance with the offshoot effectively blocking any connecting being created. Modern lifestyles now demand much greater connection with the garden. The kitchen is also now one of the principal rooms in the house with family life centred there. The combination of the greater connection to the garden and greater use of the kitchen means that many houses social centre of gravity is moving to the rear, away from the grander public rooms. To make full use of these rear rooms and the garden, the houses need to be adapted and remodelled to accommodate changes in lifestyle and how people wish to live.

# Heritage and Conservation

There is clearly a strong character to Woodsome Road and the surrounding area. The Dartmouth Park Conservation Area Appraisal and Management Strategy goes to some length to describe the character of the area and states specific examples of key building and characteristics.

It is important therefore to discuss the impact of this proposed development on the conservation area. However, context is important and the impact must also be assessed in relation to what has gone before.

Although Woodsome Road presents itself as a very uniform, set pattern, of houses, a closer look reveals how this well organised architectural set piece has accommodated many changes over the years since it was built in the 1870s.

To the front, not much would appear to be different, there is little scope to make changes without radically disrupting the rhythm of the carefully detailed fenestration and ornamental stucco.

To the rear many changes have been made. Some of the most common alternations have been:

- The conversion of the annex roof into a roof terrace
- The infill between the rear annexes at ground level
- The complete infill between the annexes as at 8 Woodsome Road, 10 Woodsome Road and others including 3 and 15 Woodsome Road on the same side as 9 Woodsome Road

Along the street, the pattern of rear annexes is varied and does change. For example, even numbers 2-10 have full width offshoots. It's not clear if these are original or later infills. This makes for a less regular pattern to the rear. A clear example of this disruption of the pattern can be seen at 8 Woodsome Road (2011/4527/P) which was subsequently extended, disrupting the neat building line to the rear.

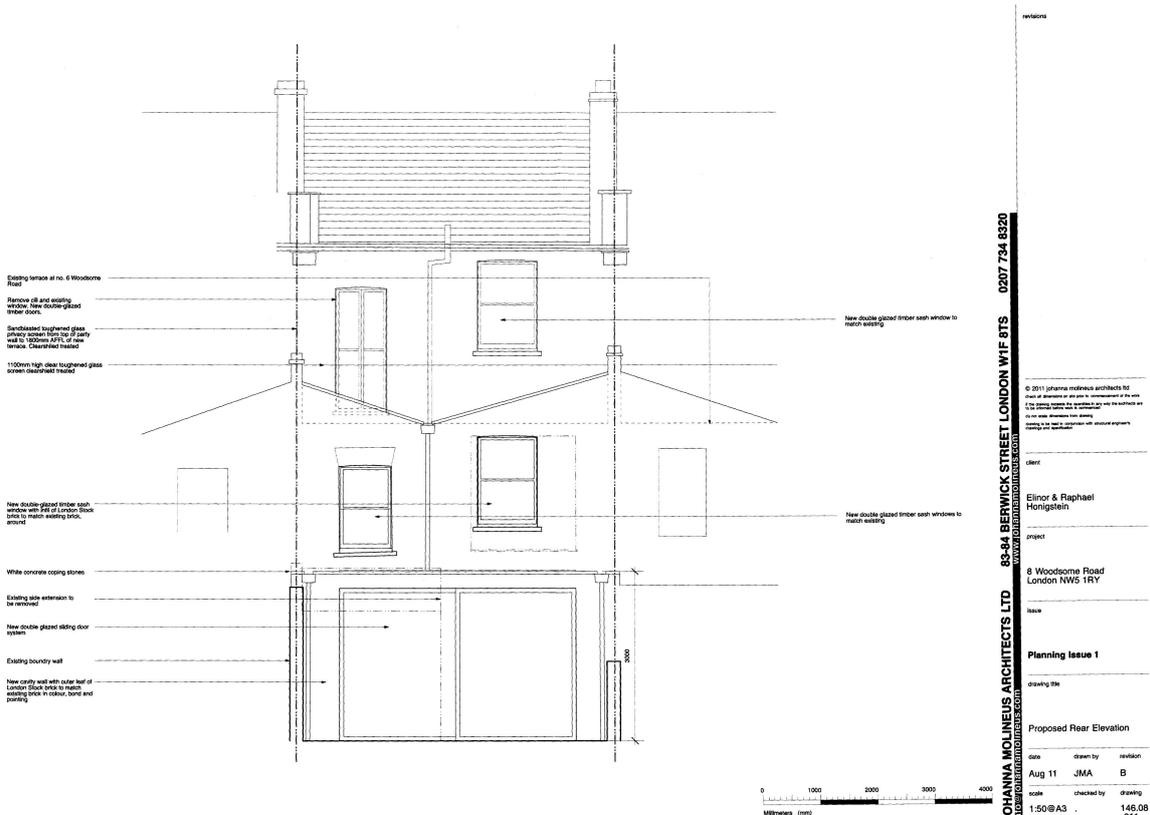


Figure 4: Rear elevation of 8 Woodsome Road



Figure 5: Rear elevation of 10 Woodsome Road

Of particular relevance to these proposals is the consented design for 2 Woodsome Road (2013/7957/P). This proposal included demolition of the rear annex complete with a replacement built in blue brick, contrasting with the existing London stock. This project is very similar in many respects to this application. Relevant points from no2 which should give context to the proposals at no 9 are:

- The demolition of the rear annex was deemed not to harm the character of the conservation area
- The erection of a new rear extension, over both ground and first floors was deemed acceptable
- The upper floor is wider than the original
- The use of different materials ie not matching the existing building or immediate context
- The use of glass balustrades
- The design employs modern details and materials which are not in keeping with the original building

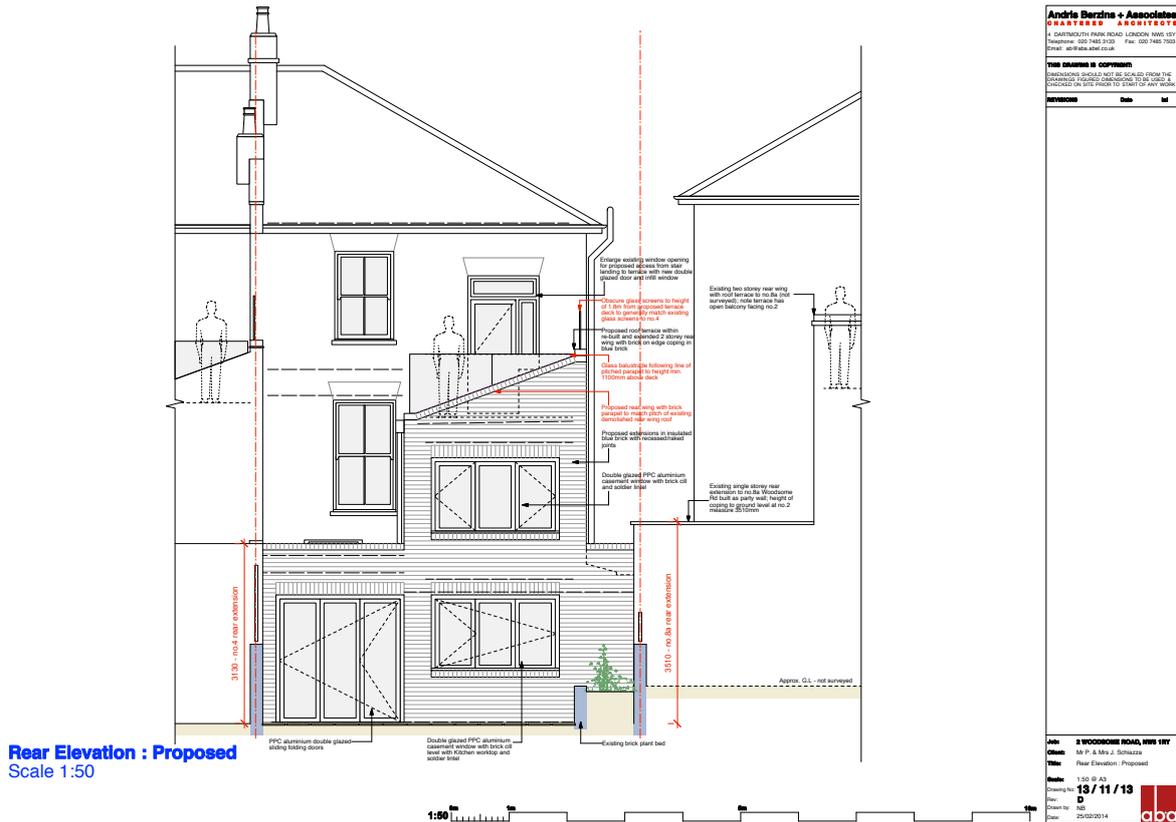


Figure 6: Rear elevation of 2 Woodsome Road

The main point we wish to demonstrate with the above examples is that the rear of these properties is varied and the differences between one to the next, overall, do not impact negatively on the conservation area. They variation is in fact characteristic of the area. In a nutshell, Woodsome Road can be summarised by uniform front elevations, and a variety of rear offshoots.

In our opinion the key characteristics to adhere to, when proposing rear extensions, in order to preserve and enhance the conservation area's character are:

- To limit any view of the extension from the front
- To respect the building lines set up by the rear elevations of both the houses and their annexes
- To respect and maintain the solid and void pattern of the annexes at first floor level

Design elements, which we argue are less well adhered to and could be open to interpretation are:

- The replacement of existing annexes with new structures
- The materials used
- The fenestration pattern

## Proposal



Figure 7: 3D image of rear extension in context.

The proposals have been developed, acknowledging the context of the existing building, not just in terms of its current condition but also its architectural character and that of the terrace and the wider conservation area. Careful thought has been given to the design, its massing, fenestration and material choices.

Cognisance has been given the guidance in CPG1 and also the commentary of the Conservation Area Appraisal.

The main aims of the proposals are to:

- Improve the internal spaces
- Improve the access to the garden
- Improve the light and connection between the main spaces
- Retain original details
- Bring high quality design to the fore
- Distinguish new interventions from the existing
- Use high quality materials that will harmonise with the existing fabric

The design has respected the character of the conservation area in a number of ways. They are:

The massing mimics the solid and void pattern that exists to the rear of these houses. The massing is altered slightly to create more internal space and less terrace space. We considered this to have very little impact on the area's character, particularly when considered amongst the other development identified above.

The proposed rear annex will largely, not be visible from the front. The impact on the street scape will be more or less unchanged. This is a more respectful design response that seen elsewhere with several new annex extensions can be seen from the street between the houses.

The use of a setback, glass balustrade was thought to be sympathetic to the area's character in that, it lessens its prominence, drawing less attention than a more solid alternative.

The material palette has been chosen so that the new construction harmonises with but also contrasts with the existing building. The desired effect is a subtle, honest expression of materials, referencing the way the existing building leaves its brick exposed but also picks out some details in white stucco. By contrast, the extension is covered in white render, to reflect light, contrast against the brick and also reference the white painted offshoots along the row. The copes and stringcourse pick up on some of the classical language of the existing house but invert the material treatment by using high quality exposed concrete.

## Design Precedent



Figure 8: Extension in Stoke Newington by Al-Jawad Pike.



Figure 9: Extension on Florence Street by Grundy & Ducker.



Figure 10: Extension in Hampstead Heath by Hayhurst and Co.

The culture of high quality, architecturally rich and contrasting contemporary rear extensions has really come to the fore in recent years, especially in the London Boroughs where Victorian houses, originally designed as modest homes for artisans and professionals of the lower middle classes, are now highly sought after.

These houses often require updating and extending to meet the demands of modern living where connection to the garden is much more desirable than it was in the Victorian era. Kitchens are now the hub of the home rather than the domain of house servants.

There are numerous excellent examples of the rear extension typology, both single and two storey. What is obvious is that these extensions are well designed, often contrasting in their massing or material palette.

Above are but three examples, which demonstrate the richness of precedent available to any perspective client or homeowner – this is a well-trodden path.

Our proposals, pick up on many of the same themes as the many of the other extensions, and employ many of the same architectural devices.

- Crisp detailing creating clean lines, enhancing strong forms
- A simple palette of contrasting but complimentary high quality materials
- Large areas of glass and doors to create flow and connection with the rear garden
- Respecting the height and building line of the adjacent buildings

## Conclusion

Our proposals for this property have come together from an extended design phase, paying close attention to the requirements of not just the clients but also the local planning guidelines, local context and precedent.

We believe the proposals are sensitive yet characterful in their own way, adding to the conservation area character; the contrast between old and new only serves to heighten one's awareness of the old, although in this case, it is predominantly only visible from the rear garden.

The massing has been adjusted to reference but not replicate the existing building, projecting no further than the existing extension and those on both sides.

Materials have been chosen which will age well, requiring little maintenance over the years while retaining their high quality finish. Concrete, render and glass, form a simple, restrained palette, which will marry well with the London brick on the rear of the terrace while being obviously modern, and should not overpower or dominate.

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