

kyson:

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INTRODUCTION

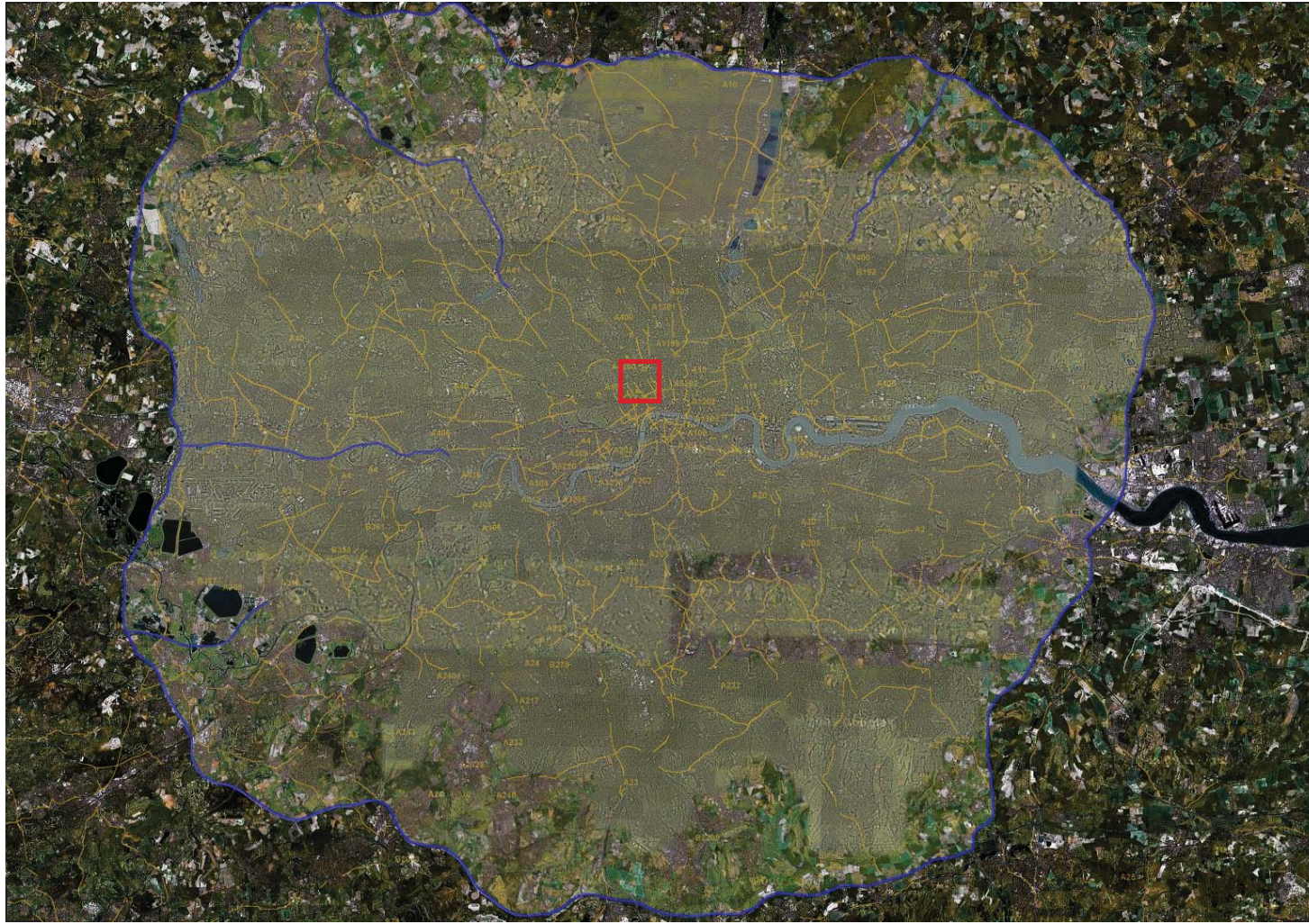
Kyson, on behalf of our client, is seeking planning permission to convert the ancillary accommodation of the upper floors of the existing building to Office use, while extending it in the form of a rear and front infill to the building as well as creating a new third floor. The Public House function will remain as existing at ground floor and basement levels.

The proposed works will create part four, part three building in B1 Office use while retaining the Public House function at ground floor and basement levels.

PART I | SITE CONTEXT

SITE LOCATION

LONDON BOROUGH OF CAMDEN



Map of London



London Borough of Camden



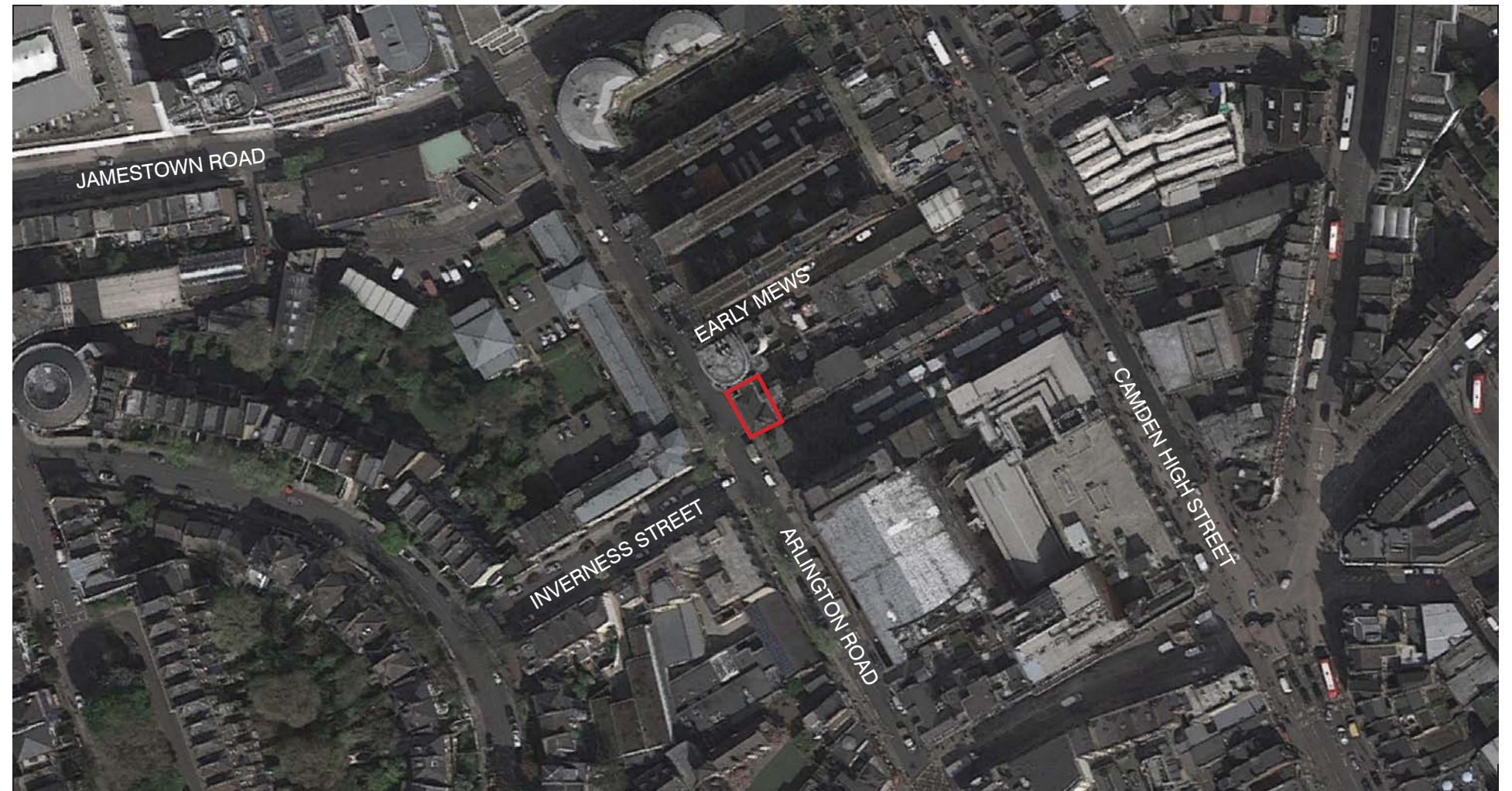
Location

The site is located at the intersection between Inverness Street and Arlington Road and is in close proximity to Camden Town Underground Station. The Good Mixer, 30 Inverness Street is not situated within conservation area, but is near the Camden Town and Primrose Hill and Regents Canal conservation areas

SITE LOCATION PROPOSAL SITE

Existing Building

The building sits on a prominent corner plot with elevations to both Arlington Road and Inverness Road. It is a three storey building with a basement. The Good Mixer currently occupies the basement & ground floor levels with ancillary accommodation on the upper floors. The building is not situated within conservation area, but is near the Camden Town and Primrose Hill and Regents Canal conservation areas.



Site Map



North View



East View



South View



West View

SITE LOCATION
SITE PHOTOGRAPHS



Arlington Road, View Looking West



Arlington Road, View Looking North West



Arlington Road, View Looking North East



Arlington Road, View Looking North

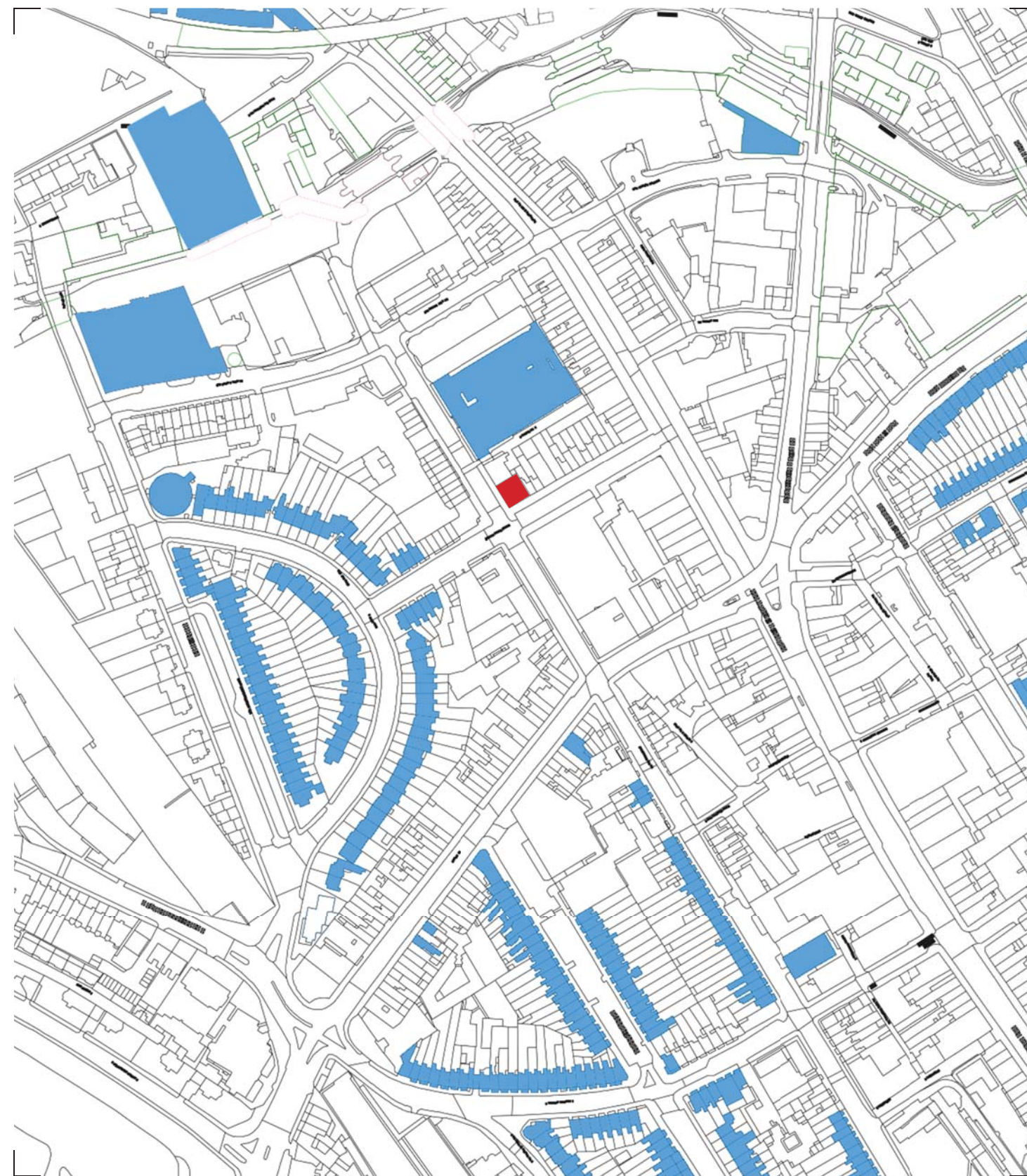
SITE HISTORY AND CONTEXT

LISTED BUILDINGS

The building is not listed but is located close to the Camden Town and Primrose Hill and Regents Canal conservation areas, which includes high proportion of listed buildings, as shown on the adjacent map.

Extracts from Camden Town Conservation Area Appraisal and Management Strategy

The Conservation Area has a high proportion of 19th century buildings both listed and unlisted, which make a positive contribution to the historic character and appearance of the Conservation Area. There is an overall 19th century architectural and historic character and appearance throughout.



- Grade II Listed buildings
- Site Location

SITE HISTORY AND CONTEXT
CAMDEN TOWN CONSERVATION AREA

The site is not situated within a conservation area but is near the Camden Town Conservation Area, as shown on the adjacent map.

Extracts from Camden Town Conservation Area Appraisal and Management Strategy

Camden Town Conservation Area was designated by the London Borough of Camden on 11th November 1986. The boundary was extended in 1997.

Location

The Camden Town Conservation Area lies central to the Borough of Camden. Due north of Camden Town Conservation Area lies Kentish Town while the village of Highgate is further northward and the village of Hampstead and the Heath to the northwest. Euston Station and its approaches are to the south and Regents Park lies just to the southwest. The northern border of the Conservation Area is bounded by Parkway and Inverness Street.

The Conservation Area almost adjoins the Regent’s Canal Conservation Area to the north and the Primrose Hill Conservation Area to the northwest.

Character

The ancient north-south route, which has become Camden High Street. Typical of 19th century speculative development the plan form of the area evolved as a series of grid patterns - streets of terraced houses within garden plots.

The Camden Town Conservation Area can be divided into two sub areas of distinctly different character, a busy commercial and retail area, and, a quieter more formal residential area. The retail and commercial area is powerfully urban in character with few openings between the continuous building lines and an absence of public open spaces and soft landscaping.

Camden High Street and Parkway are the main commercial streets. Non-residential uses extend to Kentish Town Road, Camden Road, the east side of Arlington Road, the west side of Bayham Street, Eversholt Street and the streets off Camden High Street; the proportion of the commercial/residential mix in these secondary locations varies. There is greater architectural variety in this area, due to greater pressure for redevelopment since the later 19th century. Where historic buildings survive, there is a greater tendency for alterations, resulting in a much lower proportion of listed buildings.

Architecture

The buildings reflect the diverse and changing architectural styles over the last two hundred years. Terraces of flat fronted early to mid 19th century houses now fronted by shops, mid Victorian stucco terraces, Victorian Gothic buildings, late Victorian and Edwardian red brick parades four and five storeys high with decorative gables, imposing banks, places of entertainment and public houses occupying key focal sites, and 20th century buildings all contribute to the wide ranging variety of architectural styles.

The buildings at the junction with Parkway are also important corner buildings by way of their four and five storey heights, vertical emphasis and elaborate architectural treatment; the three-storey corner building on the Kentish Town Road/ Camden Road corner is a landmark building by way of its gabled façade and distinctive mock-Tudor architectural treatment. During the later part of the 20th century the northern part of Camden Town has become the focus for youth culture and now attracts visitors from across the world attracted by the lively shops, markets, music venues and unstuffy atmosphere.

Work to existing buildings within the Conservation Area

Development proposals will be expected to preserve or enhance the character or appearance of the Camden Town Conservation Area. This also applies to developments which are outside the conservation area but would affect its setting or views into or out of the area.

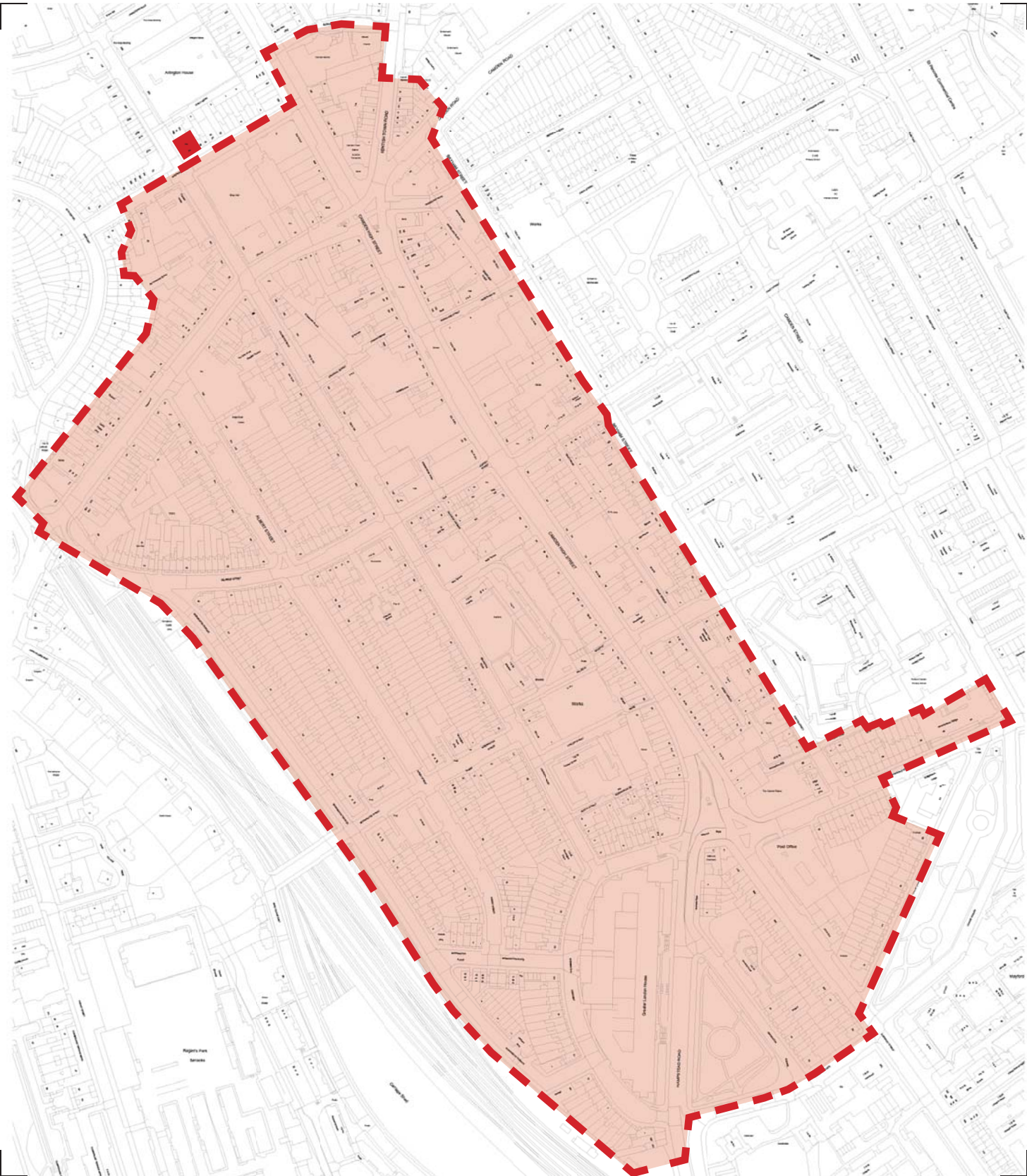
Extracts from Camden Planning Guidance. Design

Alterations

Alterations should always take into account the character and design of the property and its surroundings. A harmonious contrast with the existing property and surroundings may be appropriate for some new work to distinguish it from the existing building; in other cases closely matching materials and design details are more appropriate so as to ensure the new work blends with the old. A rear extension is often the most appropriate way to extend a house or property.

Roof alterations and extensions

Additional storeys and roof alterations are likely to be acceptable where: here is an established form of roof addition or alteration to a terrace or group of similar buildings and where continuing the pattern of development would help to re-unite a group of buildings and townscape;



--- Conservation Area

● Site Location

SITE HISTORY AND CONTEXT
HISTORIC DEVELOPMENT



1850-1851



1872-1873



1895



1916



1949-1951



1963-1969

 Proposal Site

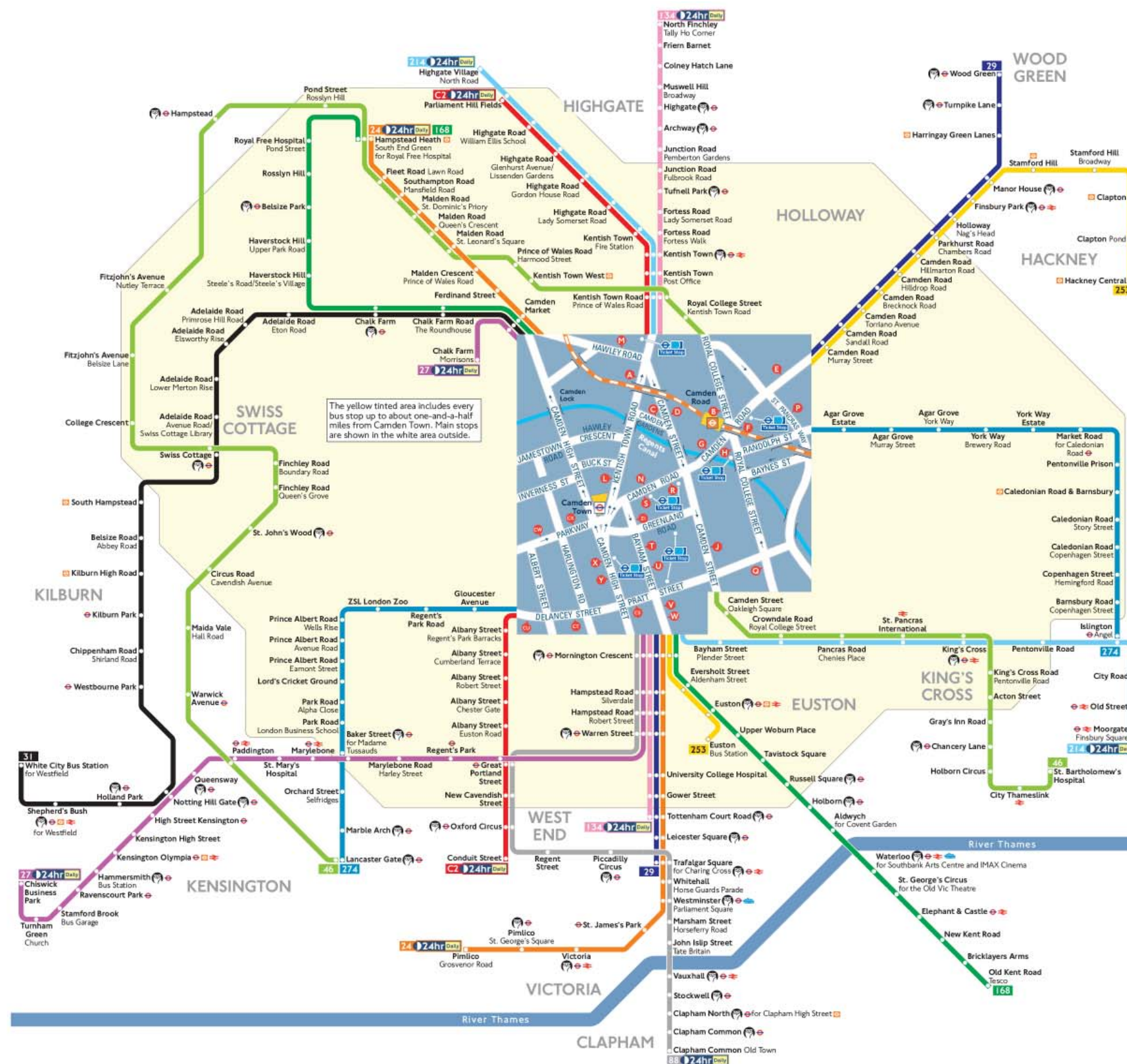
SITE HISTORY AND CONTEXT

LOCAL ACCESSIBILITY

The public transport links to the property are excellent, being within a short walking distance from Camden Town Underground Station, which is on the Northern line. The PTAL rating for the building's location is 6a and is in Travelcard zone 2.

Local Bus Routes:

24	Hampstead Heath Pimlico
27	Chalk Farm Chiswick Business Park
29	Trafalgar Square Wood Green
31	White City
46	Lancaster Gate St Bartholomew's Hospital
88	Clapham Common
134	North Finchley Tottenham Court Road
168	Hampstead Heath Old Kent Road
214	Hilgate Village Moorgate
253	Euston Hackney Central
274	Islington Lancaster Gate
C2	Conduit Street Parliament Hill Fields



Bus Routes from Camden Town

PLANNING APPRAISAL
RELEVANT PLANNING APPLICATIONS

- Proposal Site
- Relevant Planning Applications



Site Map



Whilst considering the various planning policies, the following application proposals have been taken into consideration setting the precedence for similar developments carried out within immediate vicinity and are noted on the above map:

- 1. 33 Inverness Street London NW1 7HB**
APPLICATION 2013/7250/P

Single storey basement extension not extending beyond front, rear or side walls of the original dwelling.
APPROVED 03/01/2014
- 2. 96a Arlington Road London NW1 7HT**
APPLICATION 2013/7851/P

Erection of roof extension with balcony at rear elevation.
APPROVED 30/02/2014

- 3. 133 Arlington Road London NW1 7ET**
APPLICATION 2012/6783/L

Internal and external works to existing dwelling house to include the demolition of existing rear extension and erection of single storey extension at basement level with timber decking above (roof level).
APPROVED 02/04/2014
- 4. 69 Arlington Road London NW1 7ES**
APPLICATION 2013/2908/P

Erection of new part-width rear extension, following demolition of existing and installation of glass roof to attic of dwelling house (Class C3).
APPROVED 05/08/2013

- 5.129 Arlington Road London NW1 7ET**
APPLICATION 2015/3790/P

Erection of partial width single storey rear extension (following demolition of outhouse) and installation of cast iron steps to front lightwell and gate to front railings.
APPROVED 12/11/2015
- 6.109 Arlington Road London NW1 7ET**
APPLICATION 2011/4103/P

Erection of single storey rear extension following removal of the existing extension, erection of a new outbuilding, and replacement of window at front lower ground floor level to existing dwellinghouse.
APPROVED 01/11/2011

- 7. 61 Arlington Road London NW1 7ES**
APPLICATION 2010/4095/L

Enlargement of existing rear extension at basement level with altered access bridge and step to the garden and alterations to door at rear ground floor level and internal works to the banister to single dwelling (Class C3)
APPROVED 18/10/2010
- 8. 40 Arlington Road London NW1 7HU**
APPLICATION 2016/0771/P

Erection of mansard roof extension.
APPROVED 12/04/2016

PART II | EXISTING BUILDING

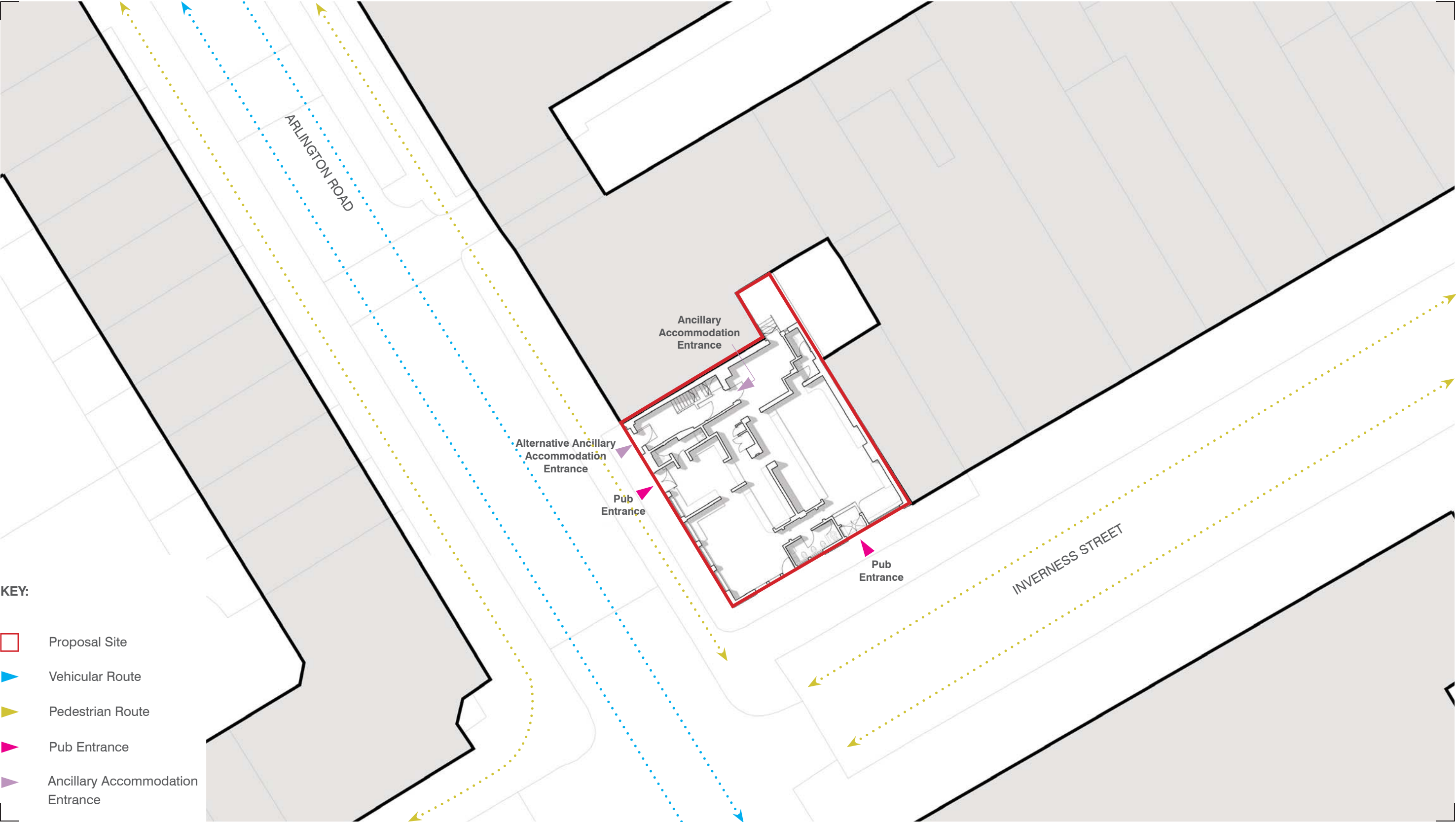
EXISTING DRAWINGS
SITE PLANS



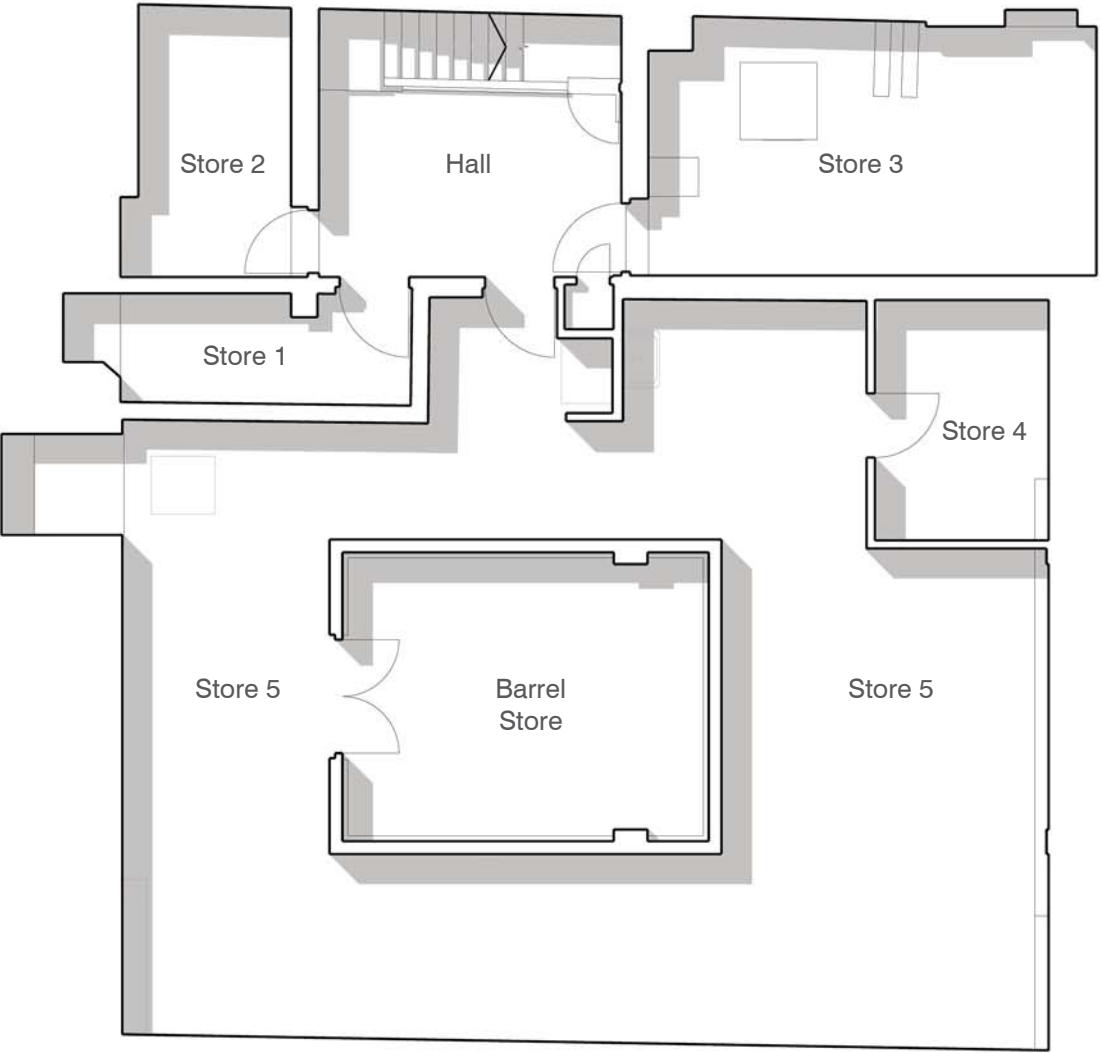
SITE LOCATION PLAN. DRAWING no. 0500. 1:1250@A3



THE GOOD MIXER. 30 INVERNESS STREET. LONDON. NW1 7HJ



BLOCK PLAN. DRAWING no. 0501. 1:250@A3

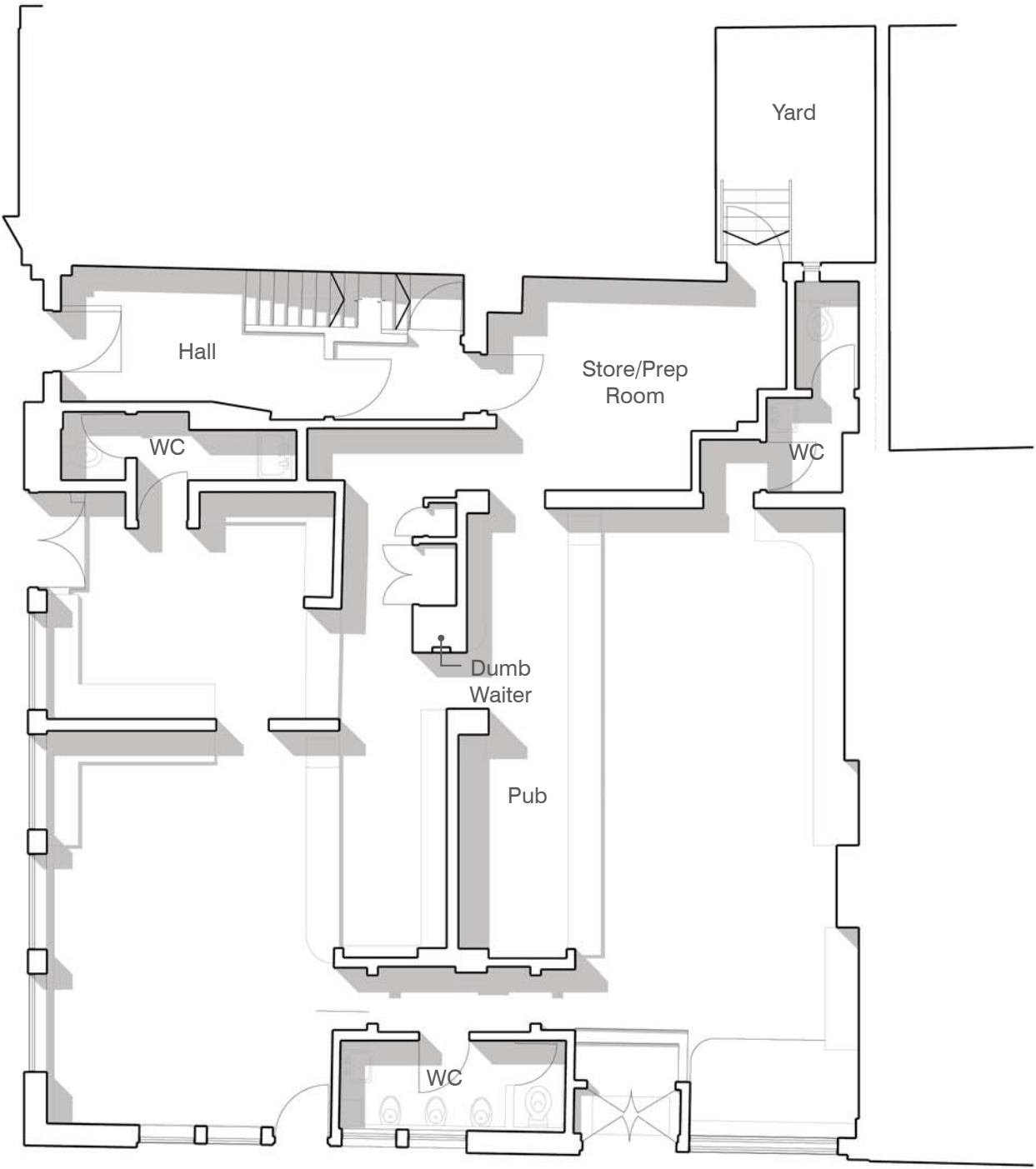


BASEMENT FLOOR PLAN. DRAWING no. 0999. 1:100@A3



THE GOOD MIXER. 30 INVERNESS STREET. LONDON. NW1 7HJ



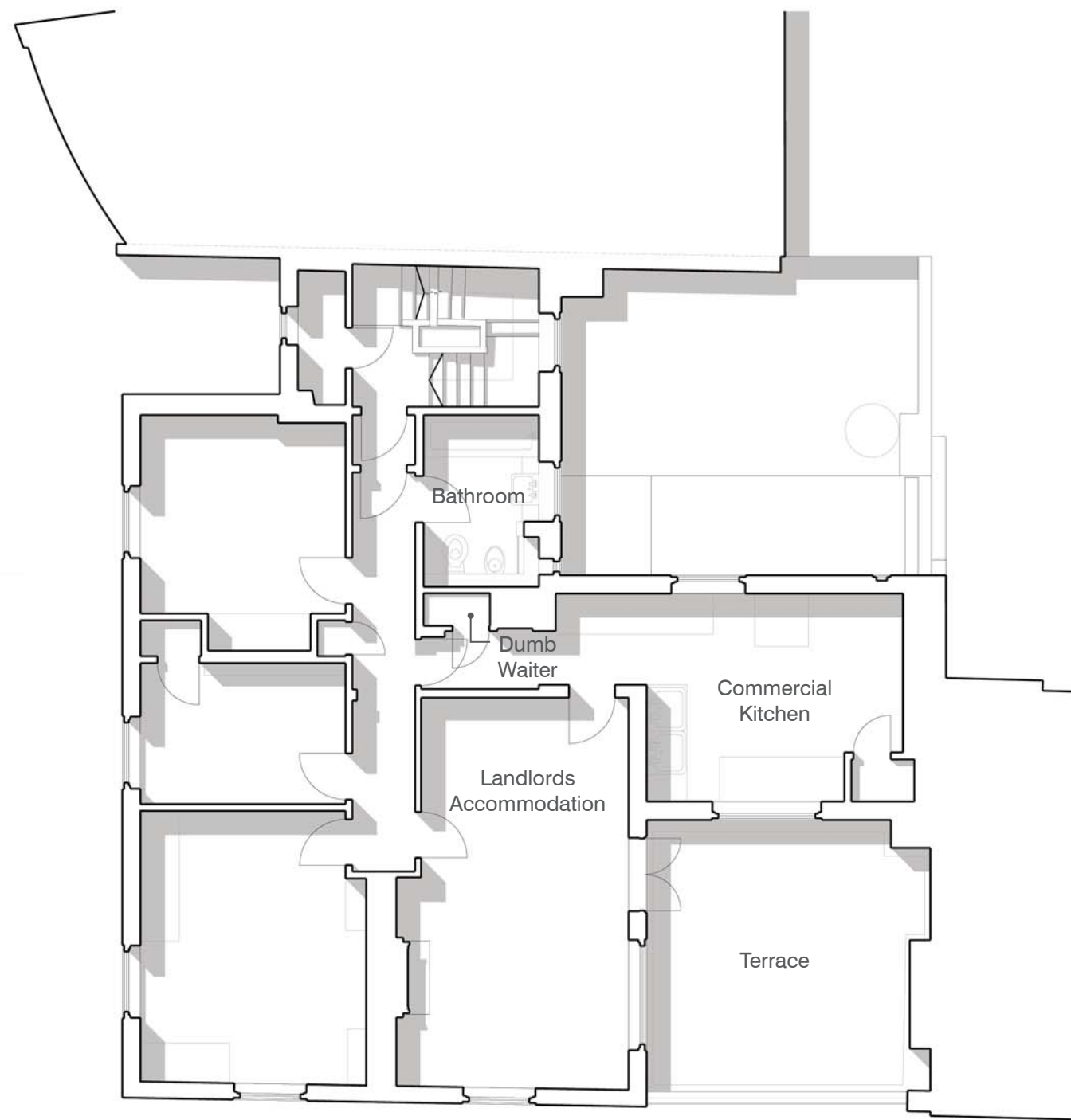


GROUND FLOOR PLAN. DRAWING no. 1000. 1:100@A3

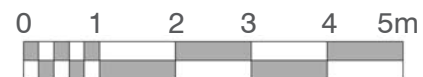


THE GOOD MIXER. 30 INVERNESS STREET. LONDON. NW1 7HJ

EXISTING DRAWINGS
FLOOR PLANS



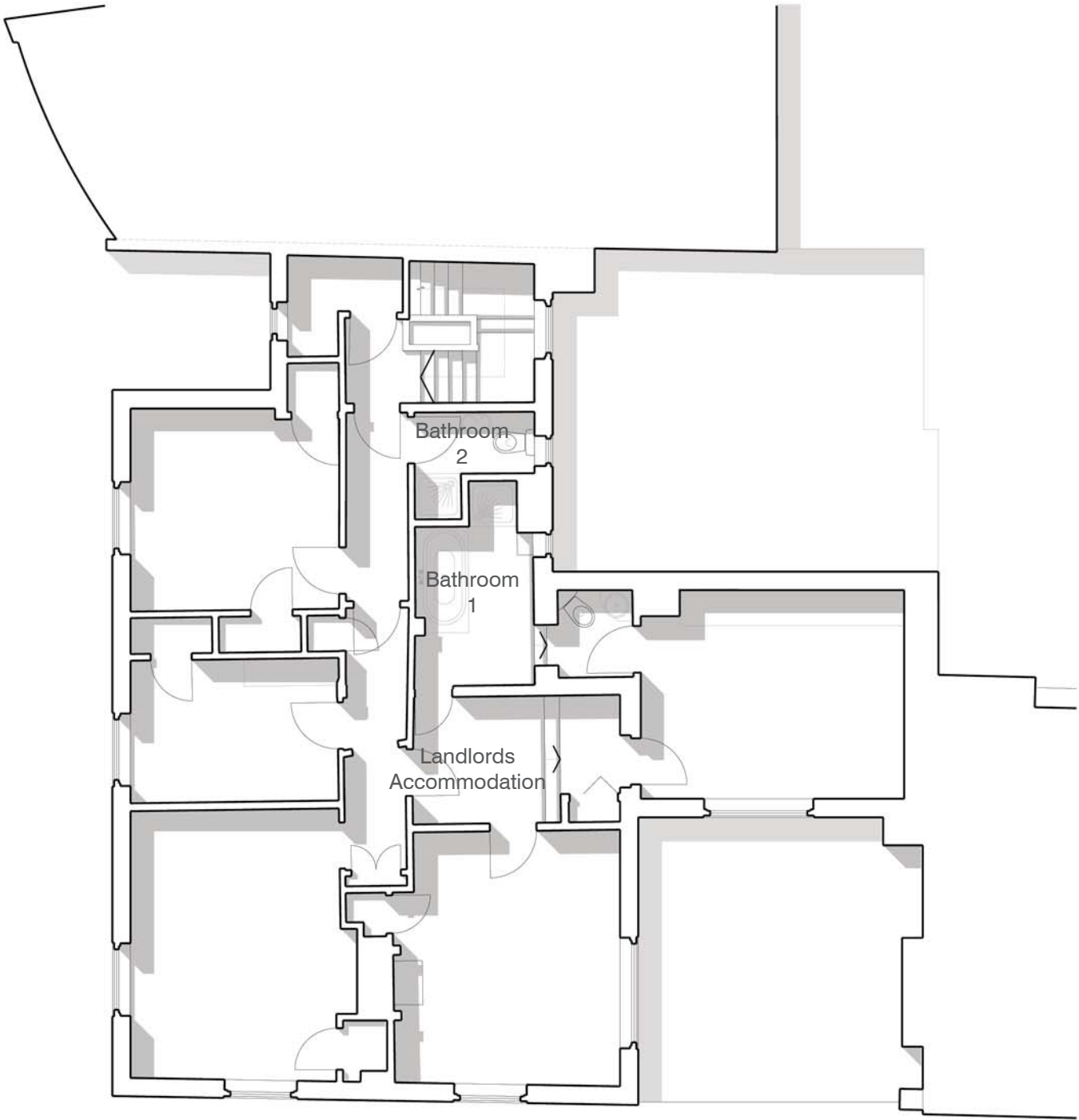
FIRST FLOOR PLAN. DRAWING no. 1001. 1:100@A3



THE GOOD MIXER. 30 INVERNESS STREET. LONDON. NW1 7HJ



kyson

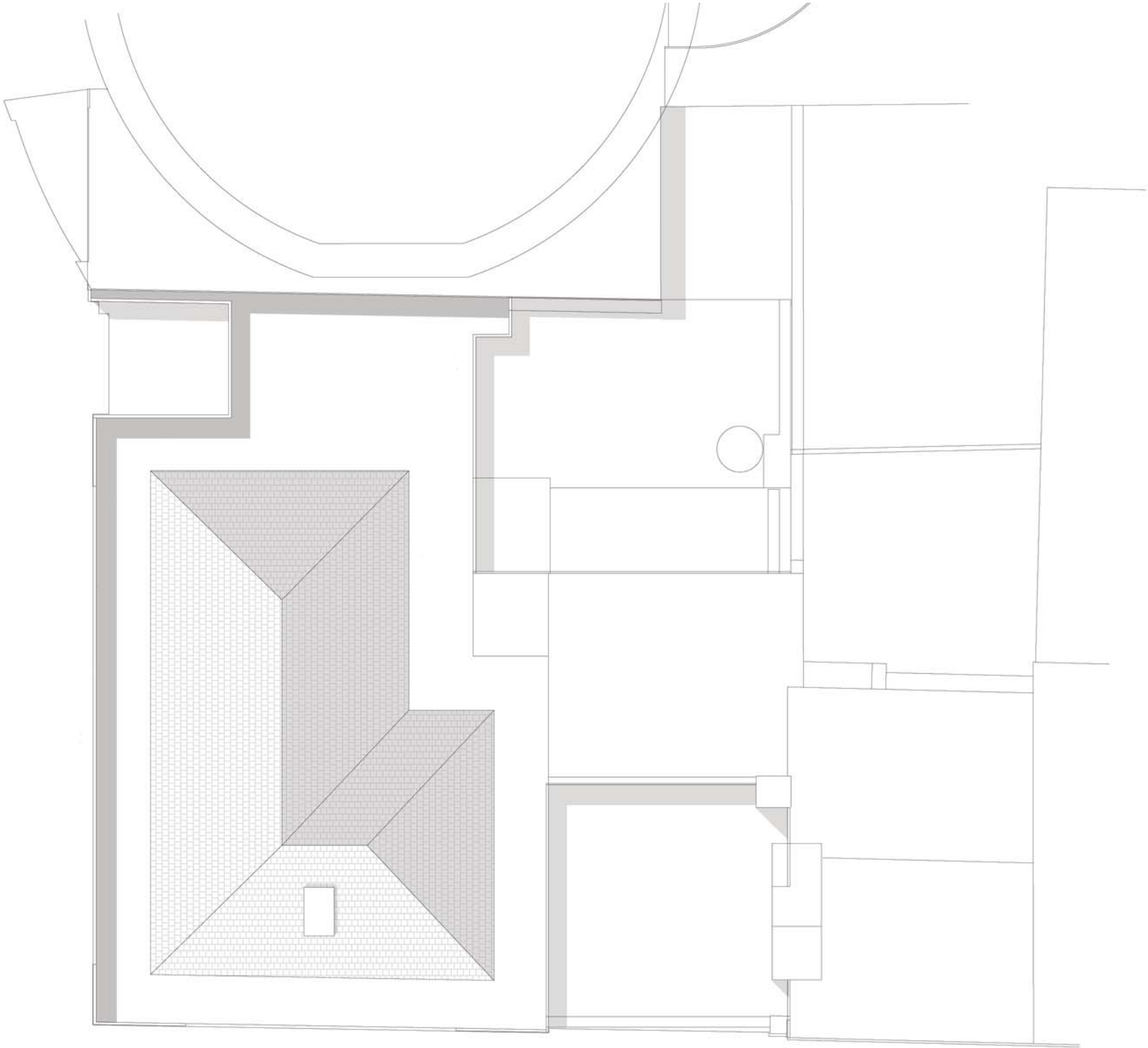


SECOND FLOOR PLAN. DRAWING no. 1002. 1:100@A3



THE GOOD MIXER. 30 INVERNESS STREET. LONDON. NW1 7HJ





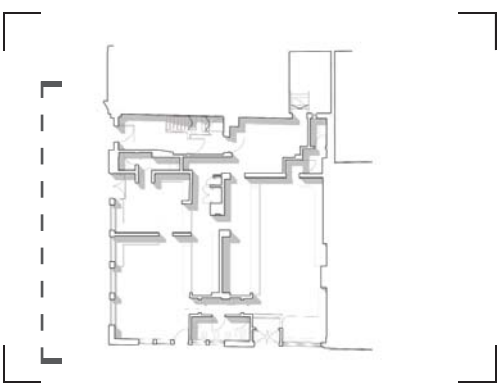
ROOF PLAN. DRAWING no. 1003. 1:100@A3



THE GOOD MIXER. 30 INVERNESS STREET. LONDON. NW1 7HJ



EXISTING DRAWINGS
ELEVATIONS

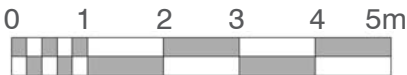


KEY

- 1. Dashed line indicates existing railings, to be removed



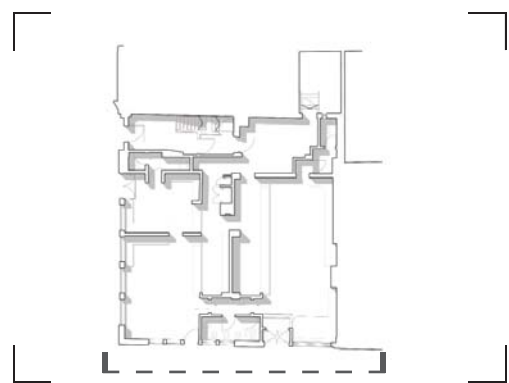
ARLINGTON ROAD ELEVATION. DRAWING no. 1100. 1:100@A3



THE GOOD MIXER. 30 INVERNESS STREET. LONDON. NW1 7HJ



EXISTING DRAWINGS
ELEVATIONS



KEY

- 1. Dashed line indicates existing railings, to be removed

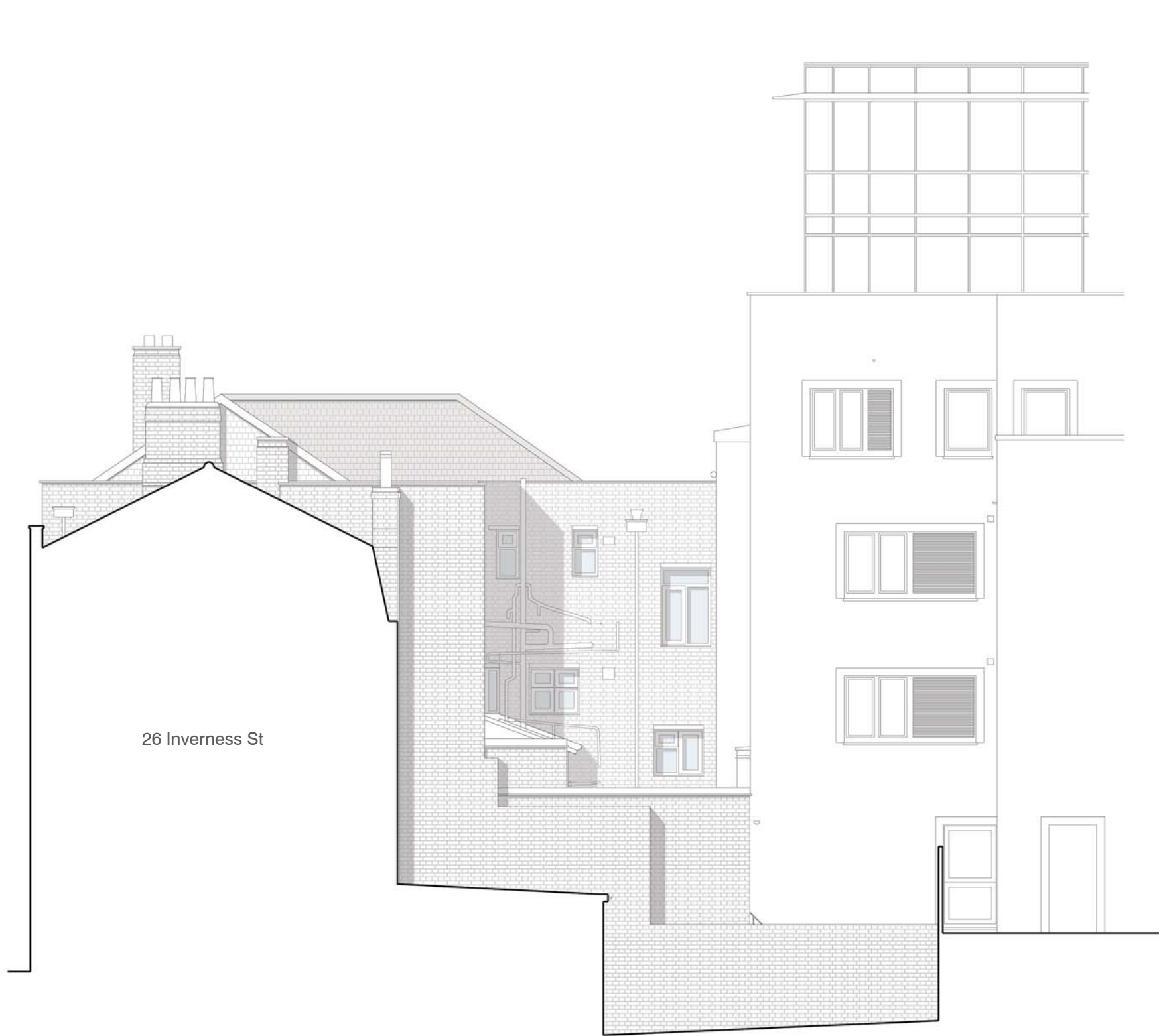


INVERNESS STREET ELEVATION. DRAWING no. 1101. 1:100@A3

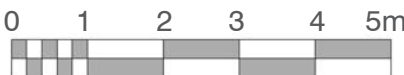


THE GOOD MIXER. 30 INVERNESS STREET. LONDON. NW1 7HJ

EXISTING DRAWINGS
ELEVATIONS

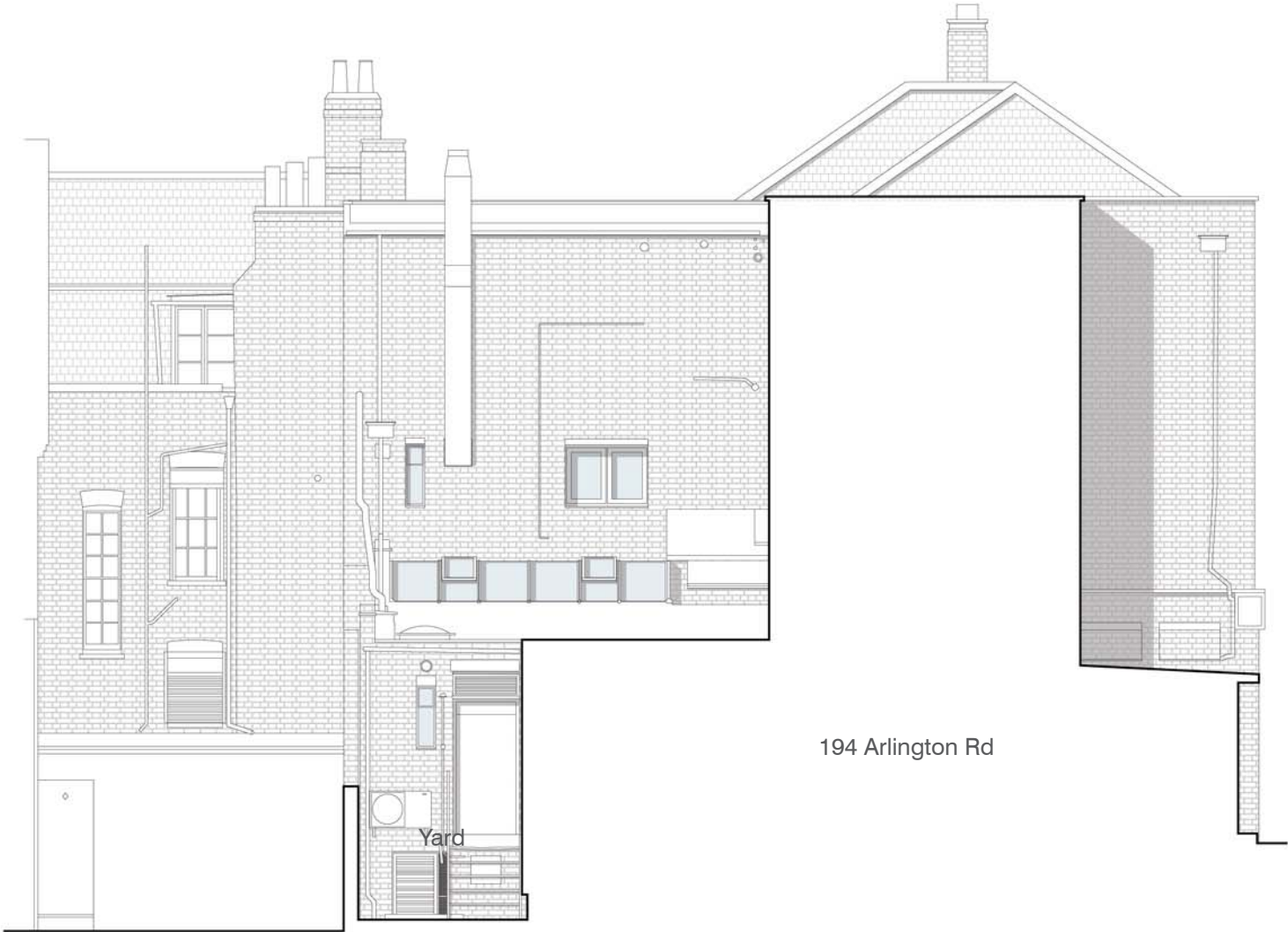
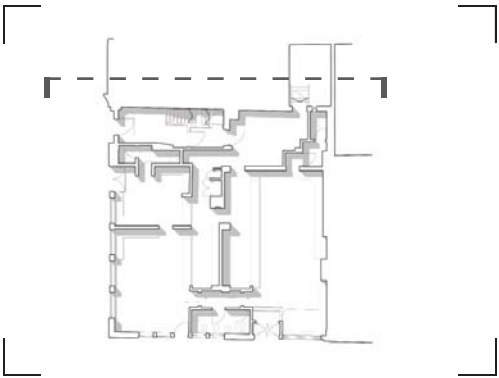


NORTH-EAST ELEVATION. DRAWING no. 1102. 1:100@A3



THE GOOD MIXER. 30 INVERNESS STREET. LONDON. NW1 7HJ

EXISTING DRAWINGS
ELEVATIONS



NORTH-WEST ELEVATION. DRAWING no. 1103. 1:100@A3



THE GOOD MIXER. 30 INVERNESS STREET. LONDON. NW1 7HJ

EXISTING DRAWINGS
SECTIONS

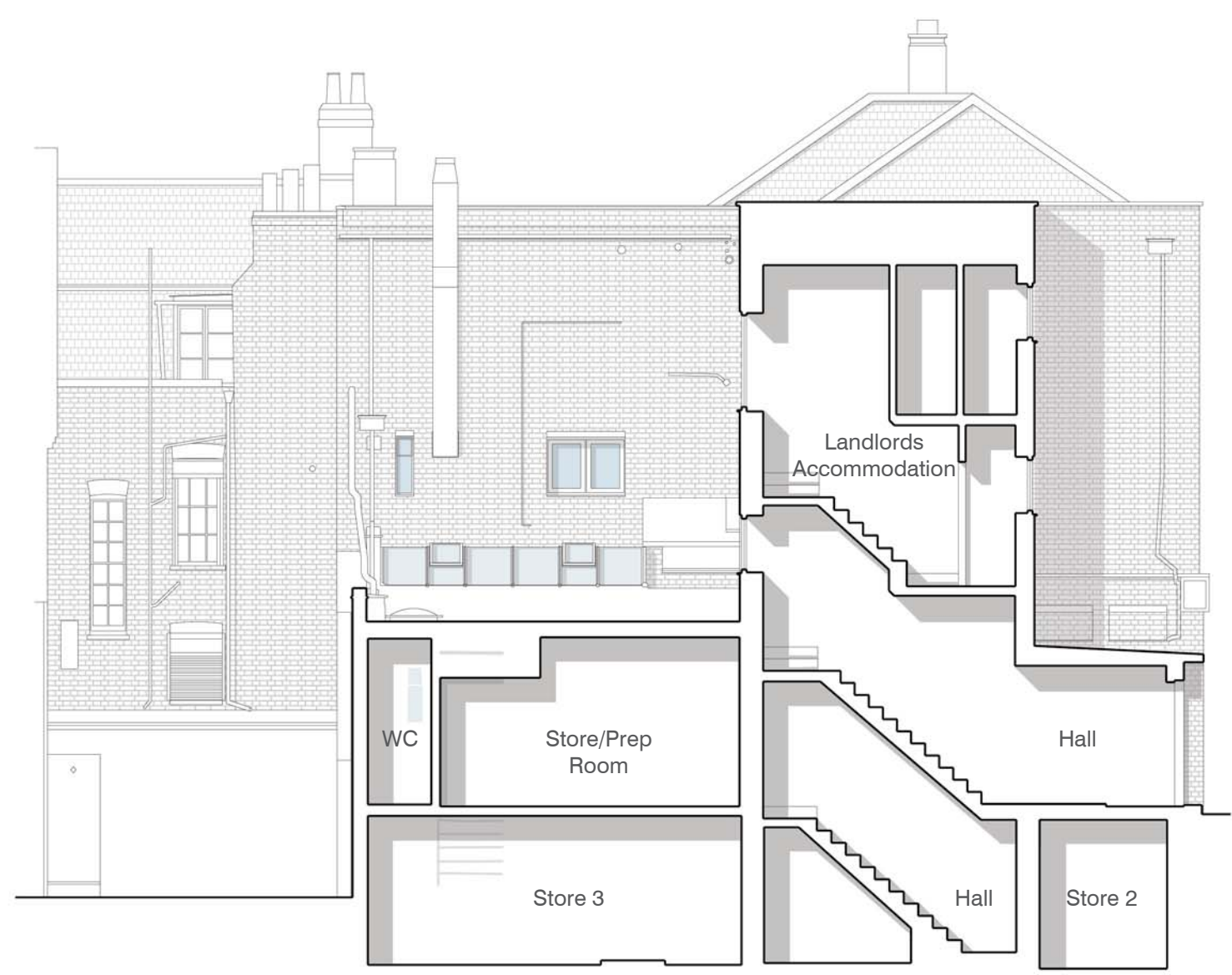


SECTION A-A. DRAWING no. 1200. 1:100@A3



THE GOOD MIXER. 30 INVERNESS STREET. LONDON. NW1 7HJ

EXISTING DRAWINGS
SECTIONS



SECTION B-B. DRAWING no. 1201. 1:100@A3



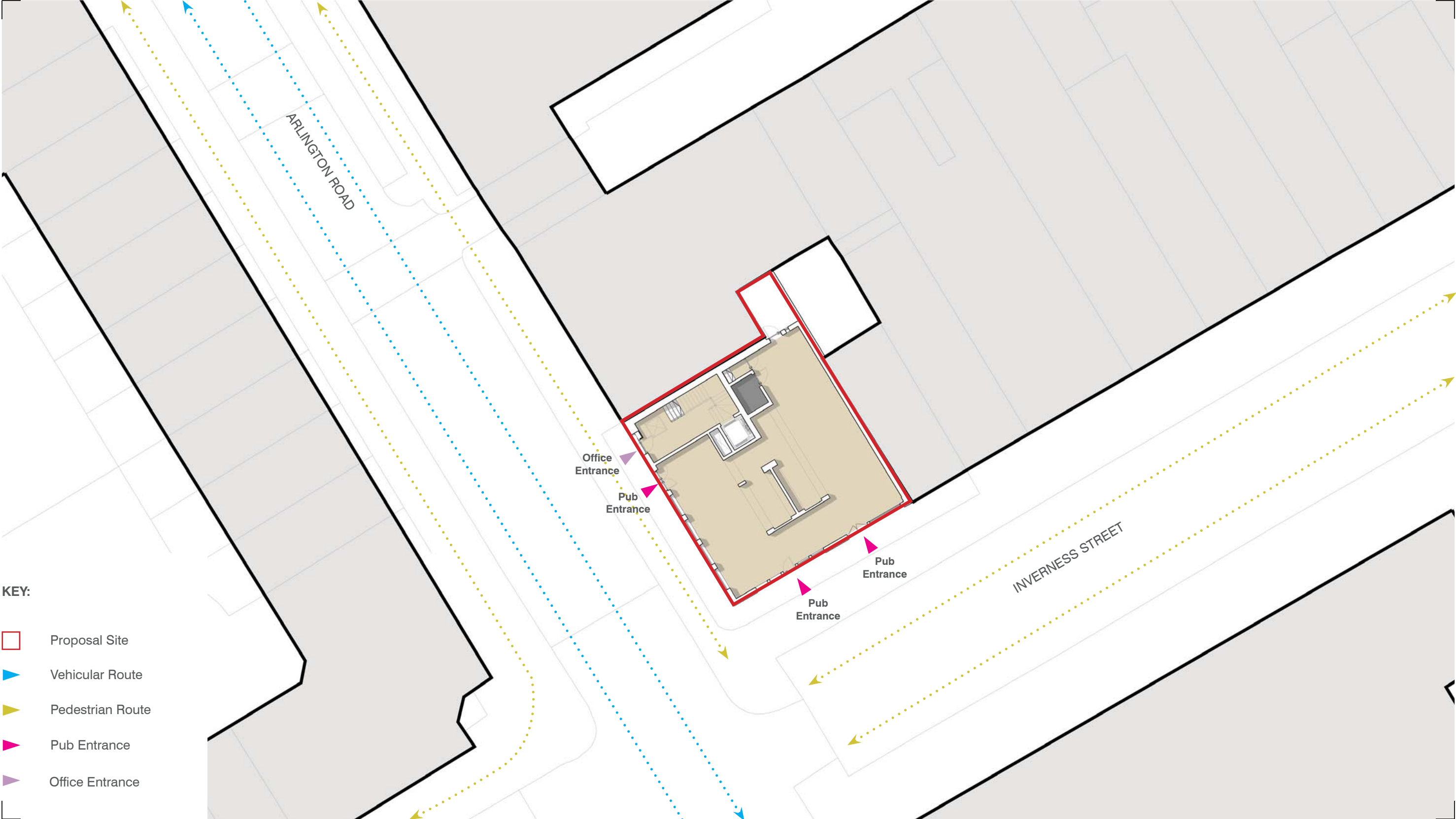
THE GOOD MIXER. 30 INVERNESS STREET. LONDON. NW1 7HJ

EXISTING SCHEDULE
SCHEDULE OF ACCOMMODATION

Total Building <i>incl. Services / Circulation</i>	566.3 m.sq	(GIA)	Basement	170.5 m.sq	(GIA)	First Floor	111.3 m.sq	(GIA)
			<i>Barrel Store</i>	<i>18.3 m.sq</i>	<i>(NIA)</i>	<i>Landlords Accomodation</i>	<i>96.9 m.sq</i>	<i>(NIA)</i>
Total A4 Public House	342.9 m.sq	(GIA)	<i>Store 1</i>	<i>6.2 m.sq</i>	<i>(NIA)</i>			
<i>313.5 m.sq</i>	<i>(NIA)</i>		<i>Store 2</i>	<i>7.5 m.sq</i>	<i>(NIA)</i>			
			<i>Store 3</i>	<i>19.8 m.sq</i>	<i>(NIA)</i>			
			<i>Store 4</i>	<i>7.3 m.sq</i>	<i>(NIA)</i>			
Total Ancillary	223.4 m.sq	(GIA)	<i>Store 5</i>	<i>86.0 m.sq</i>	<i>(NIA)</i>			
<i>Total Ancillary</i>	<i>194.3 m.sq</i>	<i>(NIA)</i>	<i>Hall</i>	<i>9.7 m.sq</i>	<i>(NIA)</i>			
			Total A4	170.5 m.sq	(GIA)	Total Ancillary	111.3 m.sq	(GIA)
			<i>Total A4</i>	<i>154.8 m.sq</i>	<i>(NIA)</i>	<i>Total Ancillary</i>	<i>96.9 m.sq</i>	<i>(NIA)</i>
			Ground Floor	172.4 m.sq	(GIA)	Second Floor	112.1 m.sq	(GIA)
			<i>Pub</i>	<i>119.2 m.sq</i>	<i>(NIA)</i>	<i>Landlords Accomodation</i>	<i>97.4 m.sq</i>	<i>(NIA)</i>
			<i>WC</i>	<i>12.4 m.sq</i>	<i>(NIA)</i>			
			<i>Store/Prep</i>	<i>16.5 m.sq</i>	<i>(NIA)</i>			
			<i>Hall</i>	<i>10.6 m.sq</i>	<i>(NIA)</i>			
			Total A4	172.4 m.sq	(GIA)	Total Ancillary	112.1 m.sq	(GIA)
			<i>Total A4</i>	<i>158.7 m.sq</i>	<i>(NIA)</i>	<i>Total Ancillary</i>	<i>97.4 m.sq</i>	<i>(NIA)</i>

PART III | PROPOSAL

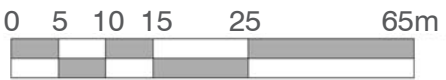
PROPOSED DRAWINGS
SITE ACCESS PLAN



KEY:

- Proposal Site
- ▶ Vehicular Route
- ▶ Pedestrian Route
- ▶ Pub Entrance
- ▶ Office Entrance

SITE ACCESS PLAN. DRAWING no. 1998B. 1:250@A3



THE GOOD MIXER. 30 INVERNESS STREET. LONDON. NW1 7HJ






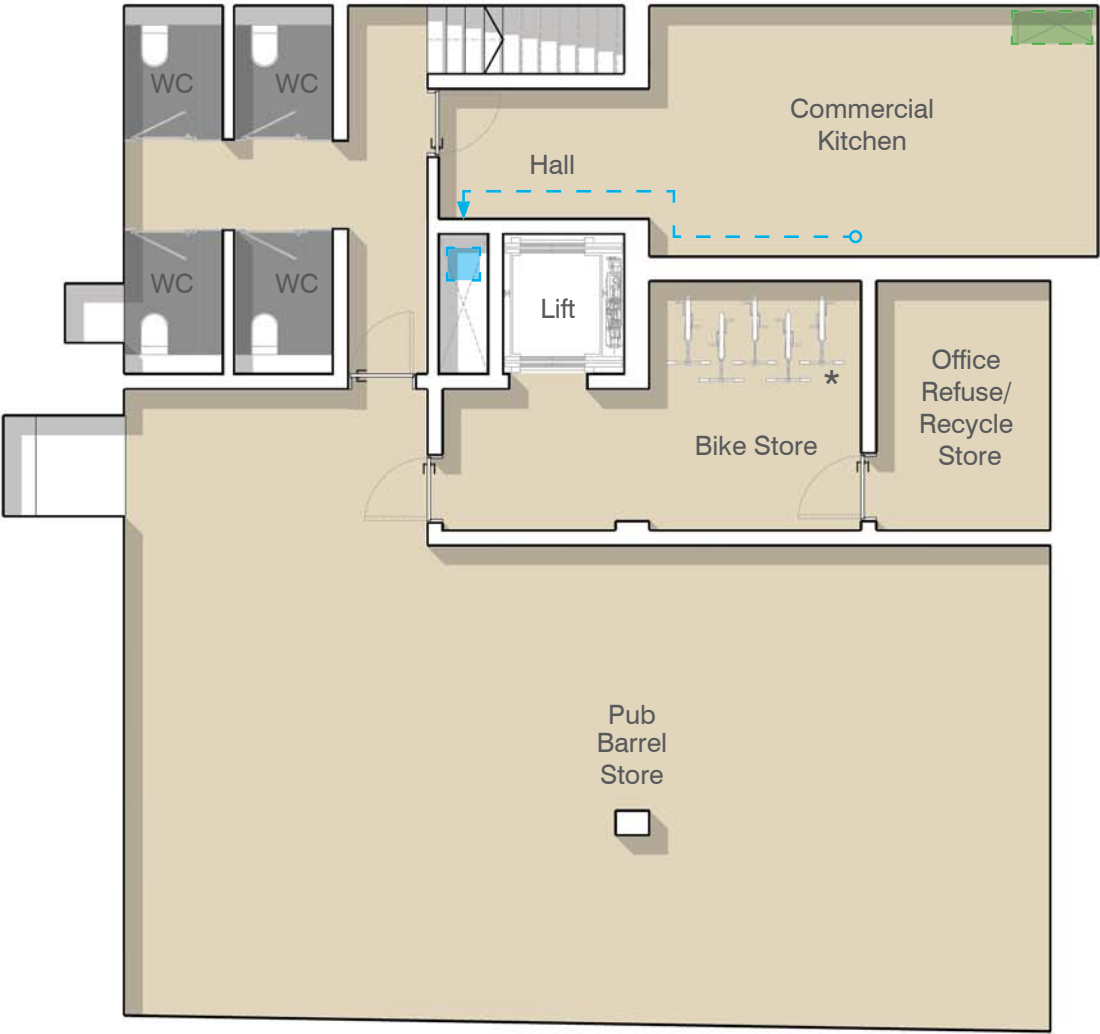
PROPOSED DRAWINGS
FLOOR PLANS



Example for semi-vertical bike stand

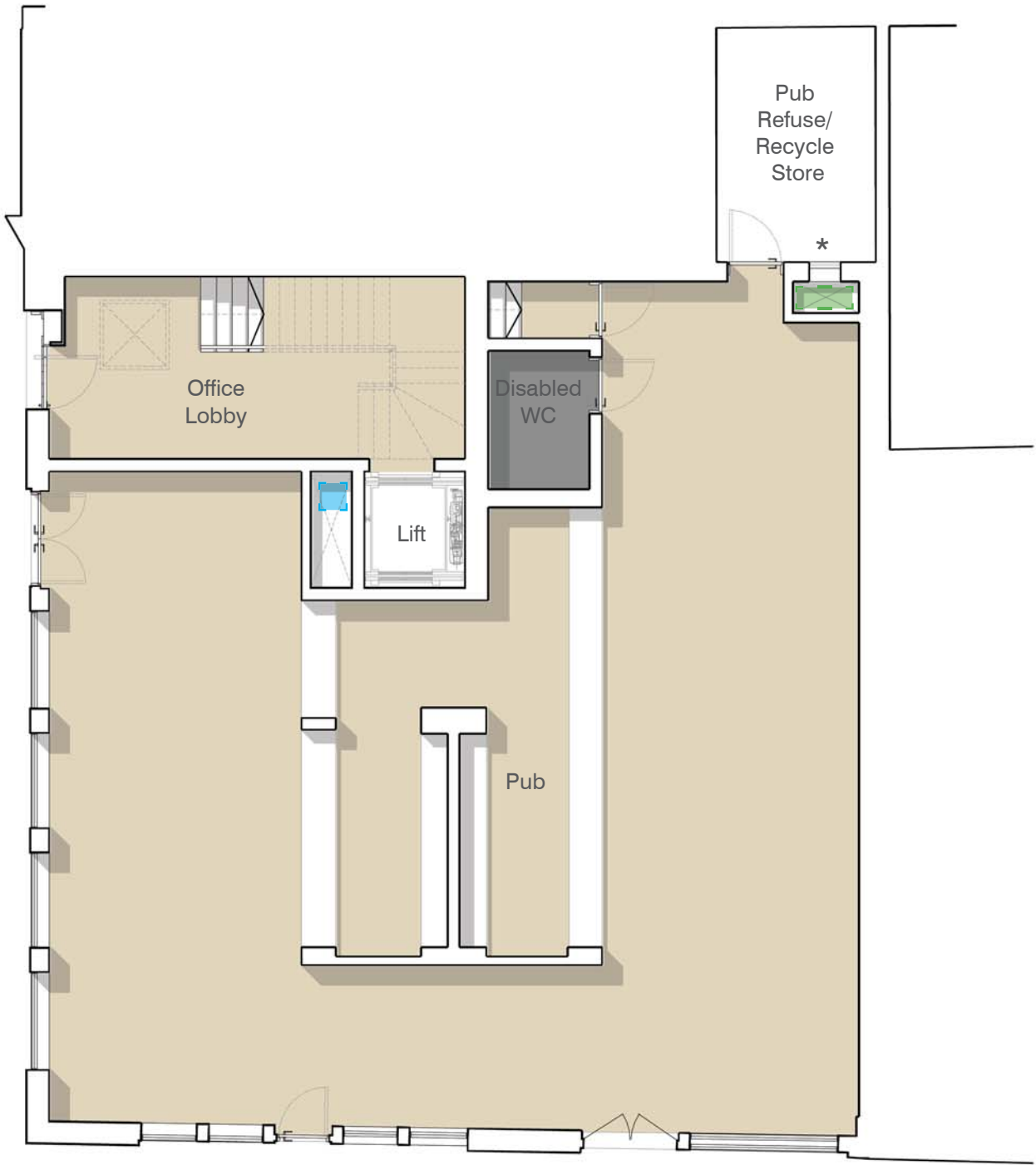
KEY

- * A minimum of 5 No. cycle parking spaces to be provided by semi-vertical bike stands
-  Indicates Air Intake ductwork from above (ductwork approx. 400mm x 700mm; details by MEP specialist)
-  Indicates kitchen extract ductwork route at high level (ductwork approx. 400mm x 400mm; details by MEP specialist)
-  Indicates extract ductwork for kitchen within riser (ductwork approx. 400mm x 400mm; details by MEP specialist)



BASEMENT FLOOR PLAN. DRAWING no. 1999B. 1:100@A3

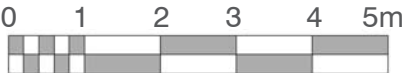




KEY

- * Air Intake Louvre
(approx. 400mm x 1500mm;
details by MEP specialist)
- Indicates Air Intake ductwork to
below (ductwork approx. 400mm x
700mm; details by MEP specialist)
- Indicates ductwork for kitchen
extract


GROUND FLOOR PLAN. DRAWING no. 2000C. 1:100@A3



THE GOOD MIXER. 30 INVERNESS STREET. LONDON. NW1 7HJ



KEY

 Indicates ductwork for kitchen extract

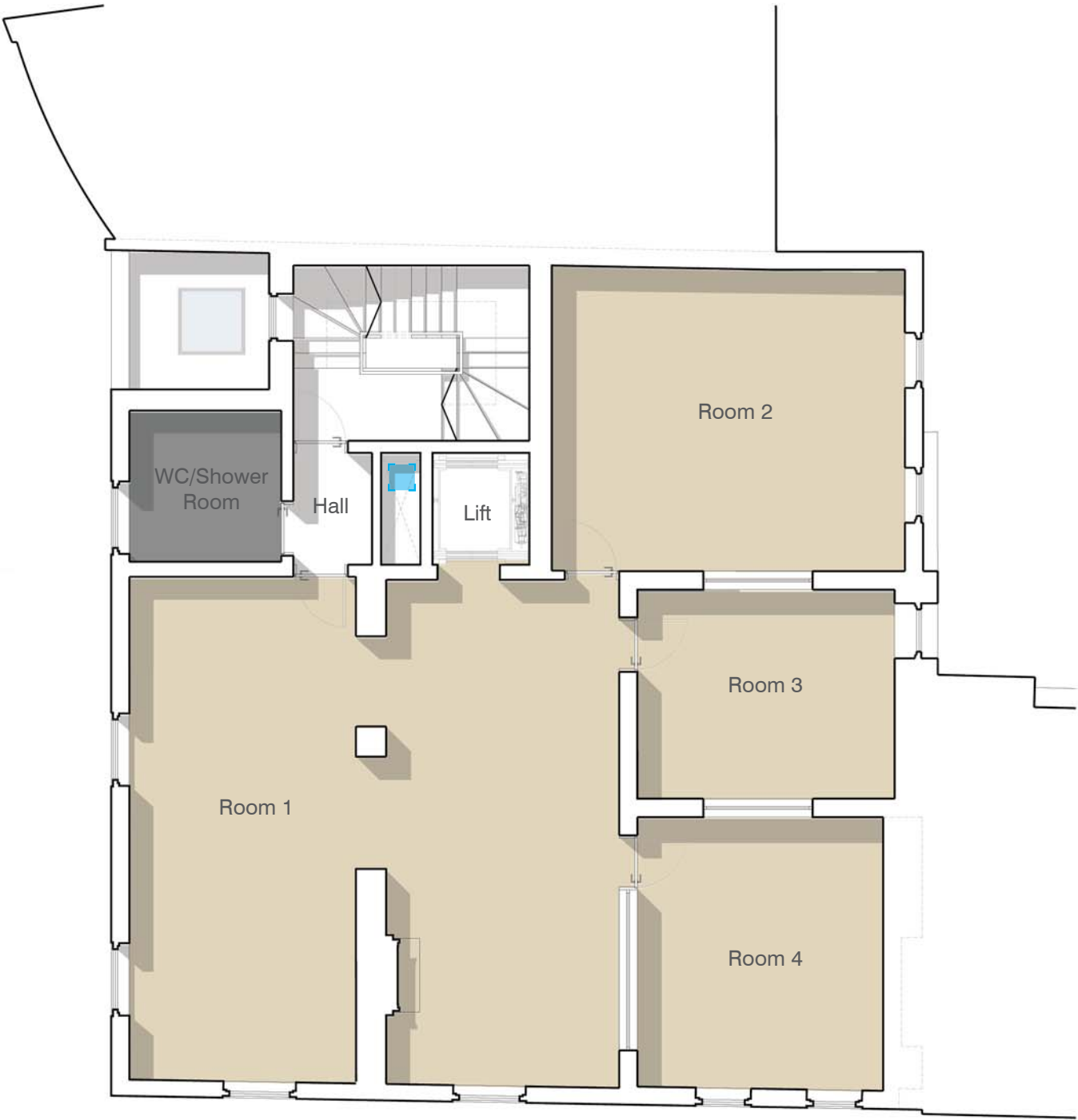


FIRST FLOOR PLAN. DRAWING no. 2001B. 1:100@A3




THE GOOD MIXER. 30 INVERNESS STREET. LONDON. NW1 7HJ



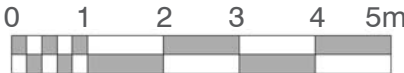


KEY

 Indicates ductwork for kitchen extract



SECOND FLOOR PLAN. DRAWING no. 2002B. 1:100@A3




THE GOOD MIXER. 30 INVERNESS STREET. LONDON. NW1 7HJ

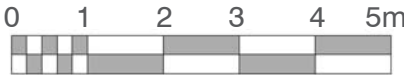




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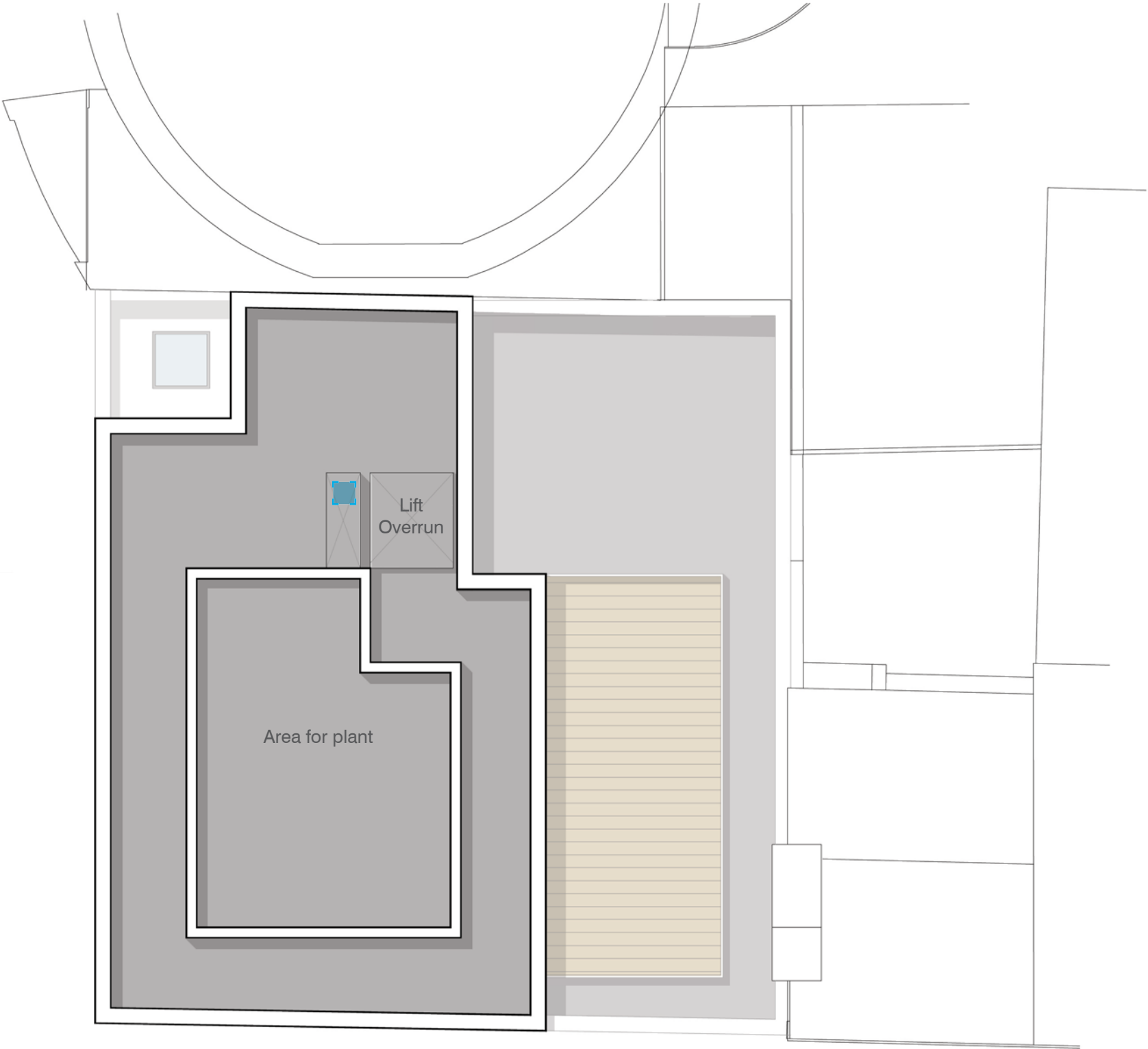
 Indicates ductwork for kitchen extract

THIRD FLOOR PLAN. DRAWING no. 2003B. 1:100@A3




THE GOOD MIXER. 30 INVERNESS STREET. LONDON. NW1 7HJ



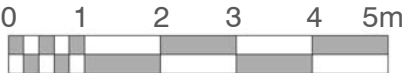


KEY

 Indicates ductwork for kitchen extract



ROOF PLAN. DRAWING no. 2004C. 1:100@A3



THE GOOD MIXER. 30 INVERNESS STREET. LONDON. NW1 7HJ



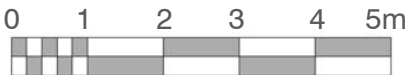
**PROPOSED DRAWINGS
ELEVATIONS**

KEY

- 1. New casement windows with glazing bars
- 2. New casement windows
- 3. New brickwork to match existing
- 4. Existing brickwork to be cleaned and repointed as necessary
- 5. Office entrance
- 6. Public House entrance
- 7. Shopfront to be retained and refurbished
- 8. Dashed line indicates existing railings, to be refurbished
- 9. Blocked up windows to be reinstated
- 10. Metal Juliet balcony, painted black



ARLINGTON ROAD ELEVATION. DRAWING no. 2100C



THE GOOD MIXER. 30 INVERNESS STREET. LONDON. NW1 7HJ

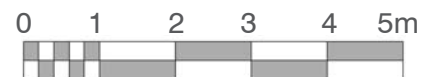
PROPOSED DRAWINGS ELEVATIONS

KEY

1. New double glazed timber sash windows
2. New casement windows
3. New brickwork to match existing
4. Existing brickwork to be cleaned and repointed as necessary
5. Metal balustrade, painted black
6. Public House entrance
7. Shopfront to be retained and refurbished
8. Dashed line indicates existing railings, to be refurbished
9. Blocked up window to be reinstated
10. Metal Juliet balcony, painted black



INVERNESS STREET ELEVATION. DRAWING no. 2101B. 1:100@A3



THE GOOD MIXER. 30 INVERNESS STREET. LONDON. NW1 7HJ

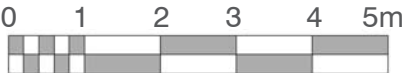
PROPOSED DRAWINGS
ELEVATIONS



KEY

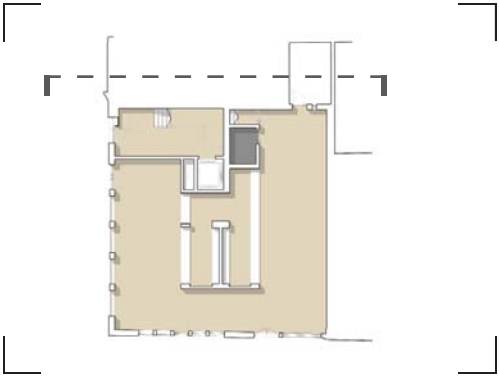
- 1. New double glazed timber sash
- 2. New glazed double doors
- 3. New brickwork to match existing
- 4. Existing brickwork to be cleaned and repointed as necessary
- 5. Metal balustrade, painted black

NORTH-EAST ELEVATION. DRAWING no. 2102B. 1:100@A3



THE GOOD MIXER. 30 INVERNESS STREET. LONDON. NW1 7HJ

PROPOSED DRAWINGS
ELEVATIONS

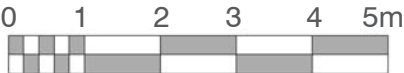


KEY

- 1. New brickwork to match existing
- 2. Existing brickwork to be cleaned and repointed as necessary
- 3. Metal balustrade, painted black
- 4. Privacy Screen
- 5. Air Intake Louvre (approx. 400mm x 1500mm; details by MEP specialist)

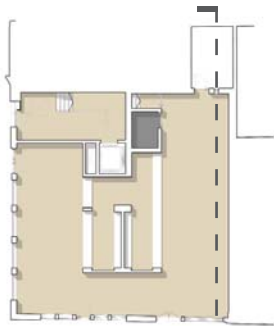


NORTH-WEST ELEVATION. DRAWING no. 2103B. 1:100@A3



THE GOOD MIXER. 30 INVERNESS STREET. LONDON. NW1 7HJ

PROPOSED DRAWINGS
SECTIONS



KEY

- 1. New glazed double doors
- 2. New brickwork to match existing
- 3. Metal balustrade, painted black



SECTION A-A. DRAWING no. 2200B. 1:100@A3

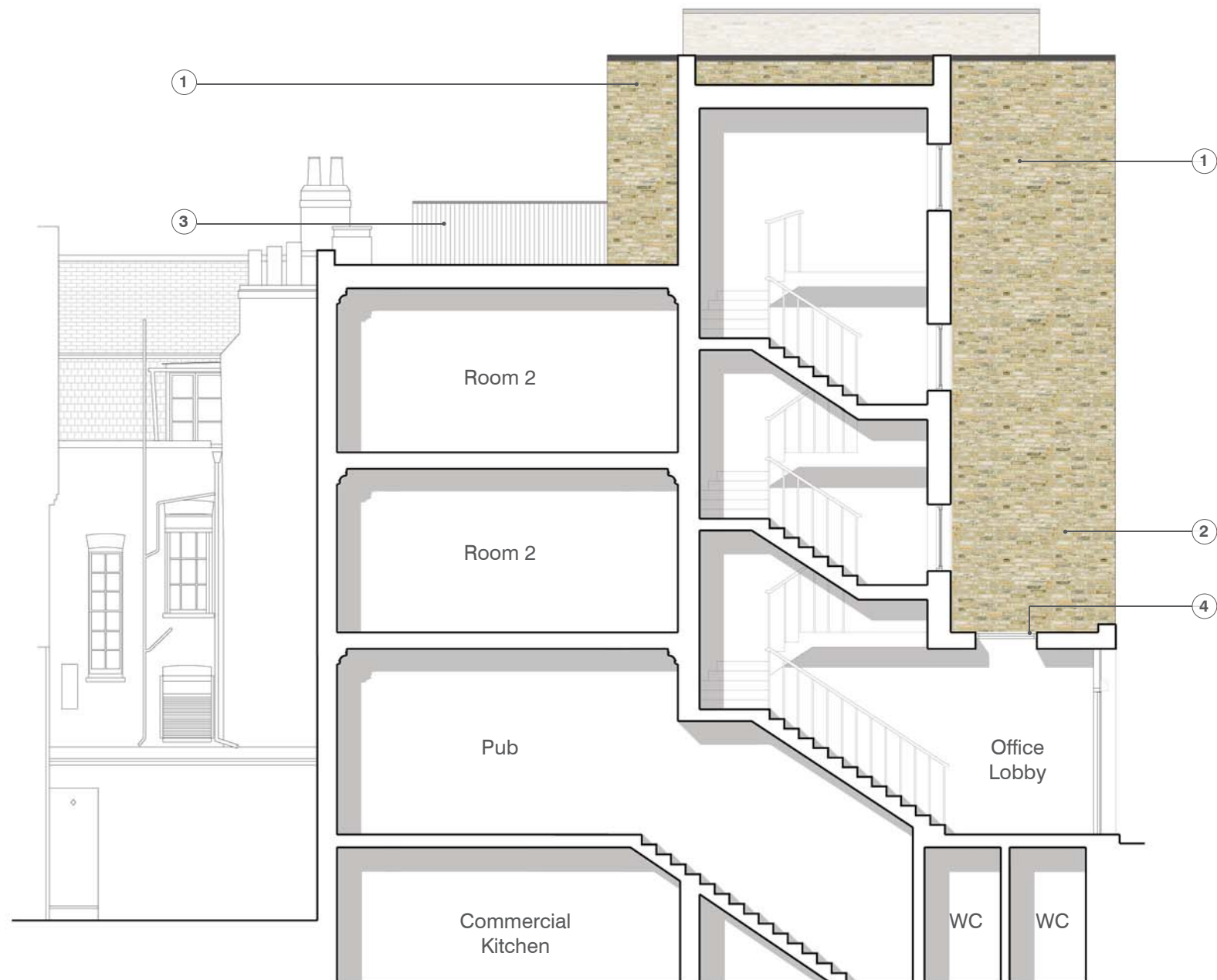


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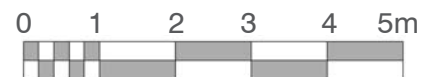
PROPOSED DRAWINGS SECTIONS

KEY

1. New brickwork to match existing
2. Existing brickwork to be cleaned and repointed as necessary
3. Metal balustrade, painted black
4. Skylight



SECTION B-B. DRAWING no. 2201C. 1:100@A3

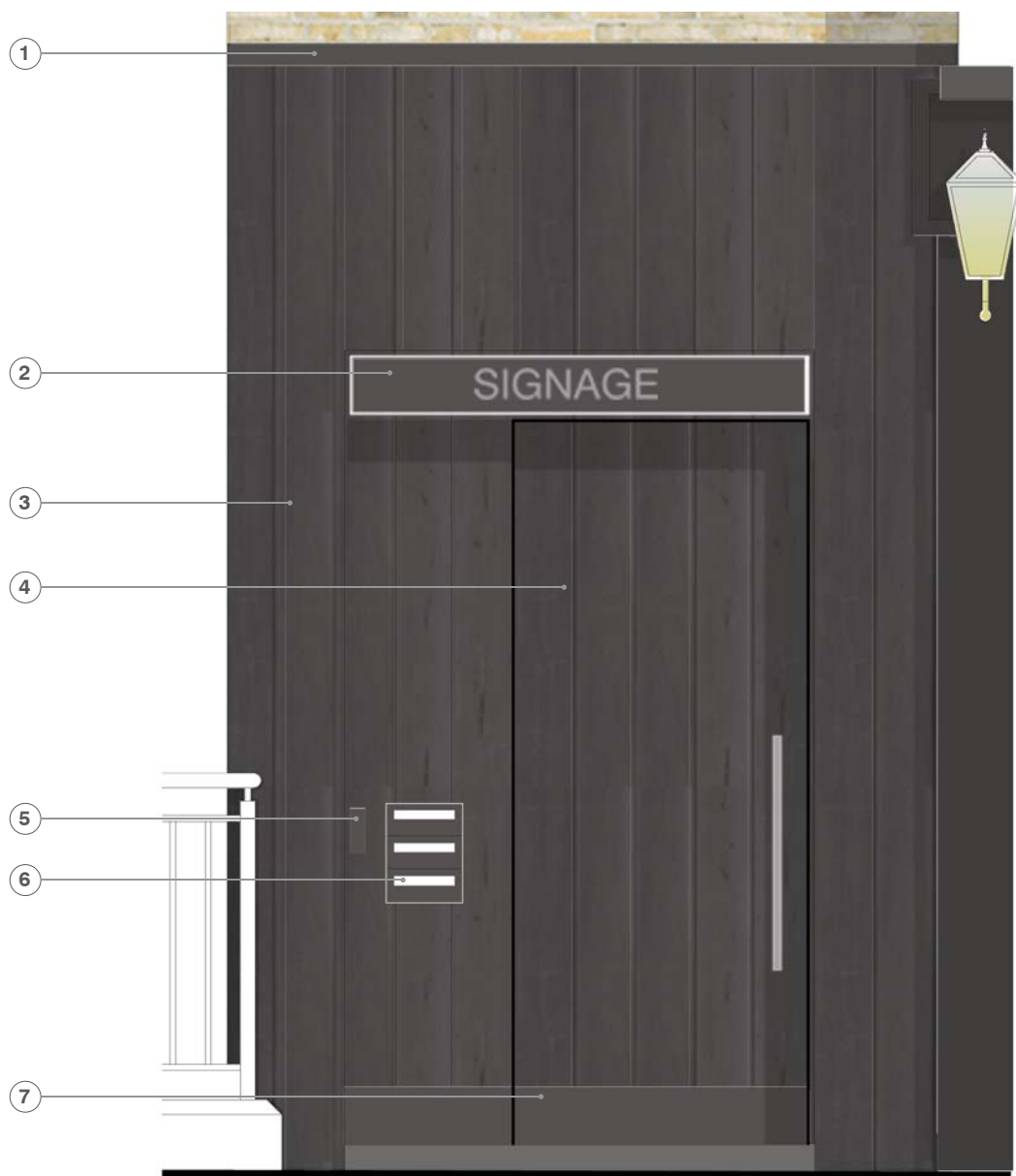


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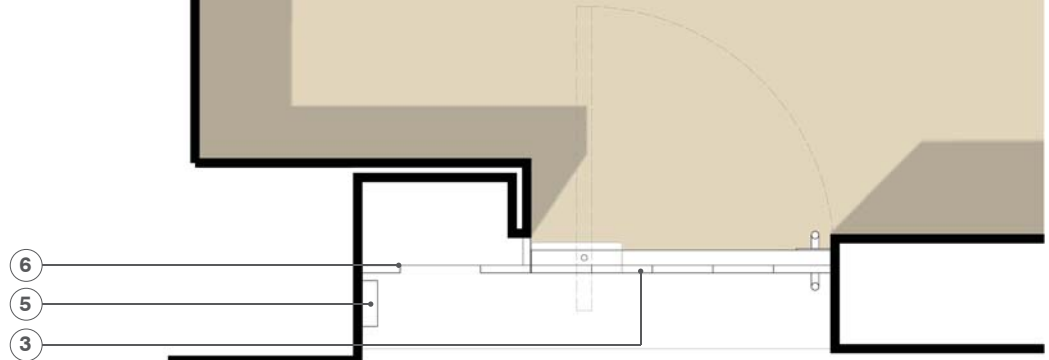
PROPOSED DRAWINGS
DETAILS

KEY

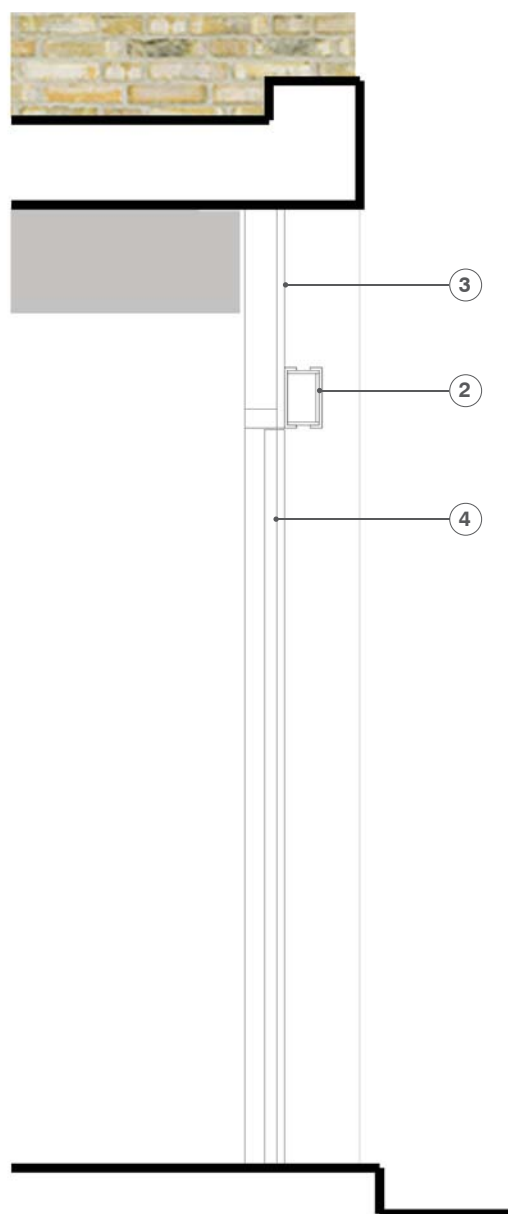
- 1. Black anodised metal capping
- 2. Black brushed stainless steel steelbox with perforated lettering and concealed LED strip lighting
- 3. Black stained timber cladding
- 4. Hardwood door, finished with black stained timber cladding
- 5. Door entry system
- 6. Letterboxes
- 7. Black brushed stainless steel kickplate



Elevation



Plan



Section

OFFICE ENTRANCE DOOR DETAIL. DRAWING no. 2300. 1:25@A3



THE GOOD MIXER. 30 INVERNESS STREET. LONDON. NW1 7HJ

PROPOSED SCHEDULE
SCHEDULE OF ACCOMMODATION

Total Building <i>incl. Services / Circulation</i>	764.7 m.sq	(GIA)	Basement	169.5 m.sq	(GIA)	Second Floor	164.2 m.sq	(GIA)
Total A4 Public House	282.0 m.sq	(GIA)	<i>Pub/Barrel store</i>	<i>85.6 m.sq</i>	<i>(NIA)</i>	<i>Room 1</i>	<i>65.1 m.sq</i>	<i>(NIA)</i>
<i>265.1 m.sq</i>	<i>(NIA)</i>		<i>Commercial Kitchen</i>	<i>23.9 m.sq</i>	<i>(NIA)</i>	<i>Room 2</i>	<i>29.2 m.sq</i>	<i>(NIA)</i>
			<i>WC</i>	<i>14.4 m.sq</i>	<i>(NIA)</i>	<i>Room 3</i>	<i>14.7 m.sq</i>	<i>(NIA)</i>
			<i>Bike Store (B1)</i>	<i>14.2 m.sq</i>	<i>(NIA)</i>	<i>Room 4</i>	<i>18.3 m.sq</i>	<i>(NIA)</i>
			<i>Refuse/Recycle Store (B1)</i>	<i>7.6 m.sq</i>	<i>(NIA)</i>	<i>WC</i>	<i>6.3 m.sq</i>	<i>(NIA)</i>
						<i>Hall</i>	<i>2.4 m.sq</i>	<i>(NIA)</i>
Total B1	482.7 m.sq	(GIA)	Total A4	136.7 m.sq	(GIA)	Total B1	164.2 m.sq	(GIA)
<i>Total B1</i>	<i>360.0 m.sq</i>	<i>(NIA)</i>	<i>Total A4</i>	<i>123.9 m.sq</i>	<i>(NIA)</i>	<i>Total B1</i>	<i>127.3 m.sq</i>	<i>(NIA)</i>
			Total B1	32.8 m.sq	(GIA)			
			<i>Total B1</i>	<i>21.8 m.sq</i>	<i>(NIA)</i>			
			Ground Floor	172.1 m.sq	(GIA)	Third Floor	94.7 m.sq	(GIA)
			<i>Pub</i>	<i>137.7 m.sq</i>	<i>(NIA)</i>	<i>Room 1</i>	<i>66.5 m.sq</i>	<i>(NIA)</i>
			<i>WC</i>	<i>3.5 m.sq</i>	<i>(NIA)</i>	<i>WC</i>	<i>6.3 m.sq</i>	<i>(NIA)</i>
			<i>Office Lobby (B1)</i>	<i>17.1 m.sq</i>	<i>(NIA)</i>	<i>Hall</i>	<i>2.4 m.sq</i>	<i>(NIA)</i>
			Total A4	145.3 m.sq	(GIA)	<i>Terrace</i>	<i>25.9 m.sq</i>	
			<i>Total A4</i>	<i>141.2 m.sq</i>	<i>(NIA)</i>	Total B1	94.7 m.sq	(GIA)
			Total B1	26.8 m.sq	(GIA)	<i>Total B1</i>	<i>66.5 m.sq</i>	<i>(NIA)</i>
			<i>Total B1</i>	<i>17.1 m.sq</i>	<i>(NIA)</i>			
			First Floor	164.2 m.sq	(GIA)			
			<i>Room 1</i>	<i>65.1 m.sq</i>	<i>(NIA)</i>			
			<i>Room 2</i>	<i>29.2 m.sq</i>	<i>(NIA)</i>			
			<i>Room 3</i>	<i>14.7 m.sq</i>	<i>(NIA)</i>			
			<i>Room 4</i>	<i>18.3 m.sq</i>	<i>(NIA)</i>			
			<i>WC</i>	<i>6.3 m.sq</i>	<i>(NIA)</i>			
			<i>Hall</i>	<i>2.4 m.sq</i>	<i>(NIA)</i>			
			Total B1	164.2 m.sq	(GIA)			
			<i>Total B1</i>	<i>127.3 m.sq</i>	<i>(NIA)</i>			